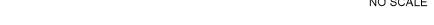


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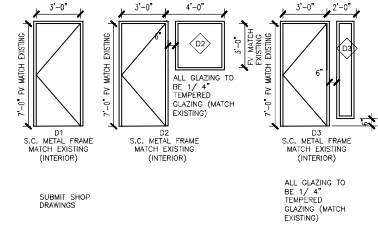
DRAWING INDEX



REMODEL GENERAL NOTES

- CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID AND BECOME AWARE OF ALL EXISTING CONDITIONS AFFECTING THEIR WORK PRIOR TO BID.
- CONTRACTOR SHALL VERIFY THAT EXISTING ELECTRICAL WORK TO REMAIN IS PROPERLY INSTALLED IN ACCORDANCE WITH APPLICABLE CODES.
- CONTRACTOR WILL NOT SUBMIT CHANGE ORDER REQUESTS PERTAINING TO CORRECTIVE ACTION FOR THESE ITEMS, RATHER INCLUDE IN ORIGINAL BID ANY COSTS ASSOCIATED WITH CORRECTIVE ACTION. ADDITIONALLY, ANY CORRECTIVE ACTIONS DISCOVERED THROUGH DEMOLITION SHALL BE PERFORMED WITH APPROVED CHANGE-ORDER SUBMITTED PRIOR TO PERFORMING WORK.
- CONTRACTOR IS ADVISED THAT EXISTING LOADS AND CONTROLS TO REMAIN INCLUDE HVAC, SIGN CIRCUIT, AND EXISTING RECEPTACLES (WHERE COMPATIBLE WITH THE RENOVATION). CARE SHOULD BE TAKEN TO ENSURE THESE LOADS ARE PROPERLY CONNECTED UPON COMPLETION.
- CONTRACTOR IS TO VERIFY ALL LOADS LABELED AS "ASSUMED ACTIVE" IN THE PANEL SCHEDULES WHICH REMAIN. CONTRACTOR SHALL RECORD AMP PROBE READINGS WITH LOADS ENERGIZED AND REFLECT ON AS-BUILT PANEL SCHEDULES.
- CONTRACTOR SHALL REMOVE THOSE ITEMS WHICH ARE NOT REUSED DUE TO RENOVATIONS AND PROPERLY DISPOSE OF OFF SITE. THIS INCLUDES BUT IS NOT LIMITED TO LINE AND LOW VOLTAGE CONDUCTIONS, RACEWAYS, SAFETY SWITCHES, LIGHT FIXTURES, RECEPTACLES, ETC.
- WHERE PANEL SCHEDULES INDICATE NEW CIRCUIT BREAKERS ARE TO BE INSTALLED, CONTRACTOR SHALL MAINTAIN PANELBOARD/LOAD CENTER UL AND AIC RATING.
- CONTRACTOR SHALL REPLACE DEFECTIVE LAMPS AND BALLASTS AND CLEAN LENS/ LOUVER/ FIXTURE FOR FIXTURES WHICH ARE TO REMAIN.
- CONTRACTOR SHALL SCHEDULE ANY DISRUPTION WHICH MAY OCCUR TO OTHER TENANTS IN THE BUILDING WITH THOSE TENANTS AND THE LANDLORD ONE WEEK PRIOR TO THE REQUIRED EVENT

DOOR AND HARDWARE TYPES



DEMOLITION NOTES

- COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- PROVIDE AND MAINTAIN BARRICADES, LIGHTING AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT WORKERS AND OCCUPANTS OF THE BUILDING.
- ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT THE SPREAD OF DUST, FLAMES, SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. UPON COMPLETION OF WORK, REMOVE PARTITIONS AND REPAIR SURFACES DAMAGED TO MATCH ADJACENT SURFACES.
- IF DEMOLITION IS PERFORMED IN EXCESS OF WHAT IS REQUIRED, RESTORE AFFECTED AREAS AT NO ADDITIONAL COST TO THE OWNER.
- REMOVE FROM THE SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT AND FIXTURES AS REQUIRED FOR NEW WORK.
- REMOVE ABANDONED HVAC EQUIPMENT INCLUDING DUCTWORK.
- REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLES AND DEVICES, INCLUDING THE CONTENTS OF FLOOR CELL, RACEWAY SYSTEMS, UNLESS OTHERWISE NOTED.
- REMOVE EXISTING FLOOR FINISHES AND PREPARE SUBFLOOR AS REQUIRED TO RECEIVE NEW FLOOR FINISHES UNLESS OTHERWISE NOTED.
- REMOVE EXISTING CEILING, DUCTWORK, LIGHTING AND OTHER CEILING MOUNTED DEVICES, UNLESS OTHERWISE NOTED.
- FOR ALL ITEMS SCHEDULED FOR REMOVAL AND REINSTALLATION, CONTRACTOR SHALL VERIFY AND DOCUMENT, IN WRITING, THE CONDITION AND FUNCTIONALITY OF THE ITEM(S) PRIOR TO REMOVAL. ANY DAMAGE TO ITEM(S) NOT DOCUMENTED SHALL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

ROOM FINISH SCHEDULE & SPECIFICATIONS

ROOM	ROOM NAME	FLOOR	BASE	WALLS					MAIL	HEIGHT	NOTES: 1.
119A	OFFICE 119A	CPT-1	VB-1	P-1	P-1	P-1	P-1	ACT	ETR		
119B	OFFICE 119B	CPT-1	VB-1	P-1	P-1	P-1	P-1	ACT	ETR		
214C	OFFICE 214C	CPT-1	VB-1	P-1	P-1	P-1	P-1	ACT	ETR		
214D	PLOTTER ROOM	VCT-1 (ETR)	VB-1	P-1	P-1	P-1	P-1	ACT	ETR		
PAINT											
P-1 (WALLS) MANF: SHERWIN WILLIAMS TYPE: SATIN, ORANGE PEEL COLOR: MATCH EXISTING LOW VOC P-2 (DOOR FRAMES) MANF: SHERWIN WILLIAMS TYPE: SATIN COLOR: MATCH EXISTING LOW VOC											
BASE VB-1 VINYL BASE, JONSONITE (ROLL TYPE), COLOR: MATCH EXISTING											
FLOOR VCT-1 (ETR) (EXISTING TO REMAIN) MANNING COMMERCIAL PRODUCT NAME: DESIGNER ESSENTIALS - 12x12 CPT-1 MATCH EXISTING CARPET MILLIKEN CARPET TILE - 36x36 (SOURCE FROM EXISTING STOCK FROM AUDITORIUM SALVAGE- COORDINATE WITH OWNER)											

FINISH NOTES

- ALL NEW WALLS TO BE FINISHED TO A LEVEL, A STANDARD AND SANDED. PAINT SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND SHALL PROVIDE A SMOOTH "CLEANABLE" FINISHED SURFACE WITH A UNIFORM COLOR THROUGHOUT. ALL WALLS THAT ARE TO BE PAINTED SHALL RECEIVE (2) TWO COATS MIN. OF LATEX PAINT OR MORE AS REQUIRED FOR COMPLETE COVERAGE OVER A COAT OF PRIMER OF SIMILAR COLOR.
- ALL DOOR FRAMES SHALL RECEIVE (2) TWO COATS MIN. OF ENAMEL PAINT OVER (1) ONE COAT OF FACTORY PRIMER. REFER TO FINISH SPECS FOR FRAME COLOR. NEW DOORS SHALL BE STAINED/PAINTED TO MATCH EXISTING FINISH OF ADJACENT DOORS AND FRAMES.
- COORDINATE AND VERIFY ALL FINISHES AND LOCATIONS WITH THE ARCHITECT.
- RECTIFIED CERAMIC TILE SHALL BE INSTALLED PER MANF. RECOMMENDATIONS WITH GROUT SEPARATIONS NO GREATER THAN 3/16". BASE SHALL BE COVE-TYPE BASE. TILE SHALL HAVE A SLIP RESISTANCE SUITABLE FOR (WET) LOCATIONS. WAINSCOT SHALL BE 4'-0" MIN. WITH COVE CAP TILE AT TOP AND EXPOSED CORNERS.

GENERAL CONDITIONS

- DO NOT SCALE DRAWINGS. CONTRACTOR SHALL RELY ON WRITTEN DIMENSIONS AS GIVEN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATIONS. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND COORDINATED WITH ALL OF THE WORK OF ALL OF THE TRADES. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION BEFORE THE COMMENCEMENT OR RESUMPTION OF WORK.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING SITE AND/OR BUILDING CONDITIONS PRIOR TO CONSTRUCTION.
- ALL INTERIOR DIMENSIONS ARE FINISHED FACE TO FINISHED FACE; UNLESS OTHERWISE NOTED.
- ALL WORK SHALL CONFORM WITH DRAWINGS AND SPECIFICATIONS IN ACCORDANCE WITH ALL APPLICABLE GOVERNING MUNICIPAL AND REGULATORY AGENCIES, CODES, AND REQUIREMENTS. IT SHALL BE UNDERSTOOD THAT ALL INTENDED WORK IS SUBJECT TO REVIEW AND INTERPRETATION BY THE ADMINISTRATIVE AUTHORITY HAVING JURISDICTION, AND IN NO CASE SHALL WORK BE PERFORMED WITHOUT THE REVIEW AND WRITTEN APPROVAL OF SAID AUTHORITY.
- THE SPACE SHALL BE THOROUGHLY CLEANED, INCLUDING WINDOWS BEFORE TURNOVER TO THE OWNER.
- ALL WORK IS TO BE FREE OF DEFECTS FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. ALL SUCH DEFECTS SHALL BE CORRECTED BY THE CONTRACTORS AT NO EXPENSE TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CONDITIONS FROM DAMAGE DURING CONSTRUCTION.
- ABBREVIATIONS USED THROUGHOUT THE PLANS ARE THOSE IN COMMON USE. NOTIFY THE ARCHITECT OF ANY ABBREVIATIONS IN QUESTION.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL SUPPLY ALL MATERIAL AND LABOR, EXCEPT THOSE ITEMS SPECIFICALLY SHOWN OR NOTED AS PROVIDED BY OTHERS, TO PROVIDE FOR A COMPLETE AND FUNCTIONING INSTALLATION AS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL TURN OVER ANY WRITTEN OPERATING INSTRUCTIONS AND GUARANTEES FOR EQUIPMENT TO THE OWNER UPON COMPLETION OF THE PROJECT.
- ALL MATERIAL AND WORK SHALL BE GUARANTEED IN WRITING FOR A PERIOD OF ONE (1) YEARS FROM THE DATE OF FINAL BUILDING DEPARTMENT INSPECTION.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL SECURE ALL PERMITS REQUIRED BY LOCAL AND STATE AGENCIES FOR THIS BUILDING PROJECT.
- NOTHING IN THESE SPECIFICATIONS SHALL BE INTERPRETED SO AS TO ELIMINATE ANY REQUIREMENTS OR PROVISIONS OF THE BUILDING CODE. ALL MATERIAL AND INSTALLATION SHALL BE IN FULL COMPLIANCE WITH ALL LOCAL AND STATE CODES AND LOCAL ORDINANCES. A CERTIFICATE OF OCCUPANCY SHALL BE DELIVERED TO THE OWNER BY THE CONTRACTOR WITH DIGITAL COPY TO THE ARCHITECT.
- ITEMS FURNISHED BY LANDLORD, OWNER, OR EQUIP. SUPPLIER/INSTALLER SHALL COMPLY WITH ALL LOCAL CODES AND REGULATIONS.

DOOR SCHEDULE

NUMBER (LOCATION)	DOOR		TYPE	MATL	FRAME			HDW NO	FIRE RATING	NOTES	REMARKS	REMARKS LEGEND
	W	H			TYPE	MATL	DETAIL					
119A OFFICE 119A DOOR	3'-0"	7'-0"	D2	S.C.	KNOCK DOWN	STEEL	1/A3.0 2/A3.0	2	NONE			
119B OFFICE 119B DOOR	3'-0"	7'-0"	D2	S.C.	KNOCK DOWN	STEEL	1/A3.0 2/A3.0	2	NONE			
214C OFFICE 214 C DOOR	3'-0"	7'-0"	D3	S.C.	KNOCK DOWN	STEEL	1/A3.0 2/A3.0	2	NONE			
214D PLOTTER ROOM DR	3'-0"	7'-0"	D2	S.C.	KNOCK DOWN	STEEL	1/A3.0 2/A3.0	2	NONE			

DOOR NOTES

- ALL EXIT DOOR HARDWARE SHALL ALLOW DOORS TO BE OPENED IN THE DIRECTION OF EXIT WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- THRESHOLDS SHALL NOT EXCEED A MAXIMUM HEIGHT OF 1/2"
- THE MAXIMUM EXTERIOR DOOR OPENING EFFORTS SHALL BE 8.5 LBS.
- HINGES FOR OUT-SWINGING EXTERIOR DOORS SHALL BE EQUIPPED WITH NON-REMOVABLE HINGE PINS.
- ALL DOORS AND DOOR HARDWARE TO BE COMMERCIAL GRADE WITH LEVER HANDLES MEETING ADA REQUIREMENTS. REFER TO THE HARDWARE SCHEDULE FOR THE FUNCTION AND REQUIRED HARDWARE AT EACH DOOR.
- HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE.
- ALL WOOD DOORS TO BE 1 3/4" THICK.
- ALL DOOR CLOSERS TO ALLOW 110° TO 130° SWING.

HARDWARE SET 1	MANUFACTURER / PRODUCT DESCRIPTION	FINISH
(3) HINGES	MCKINNEY TA2714 (4.5" X 4.5")	MATCH EXISTING
(1) PASSAGE SET	SARGENT 8255 LNL	MATCH EXISTING
(1) OPERATING TRIM	MCKINNEY 51M	GREY
(3) SILENCERS	SARGENT 361 Q	MATCH EXISTING
(1) DOOR STOP (FLR)	ROCKWOOD LOW DOME 411	MATCH EXISTING

HARDWARE SET 2	MANUFACTURER / PRODUCT DESCRIPTION	FINISH
(3) HINGES	MCKINNEY TA2714 (4.5" X 4.5")	MATCH EXISTING
(1) LOCKSET	SARGENT 8255 LNL	MATCH EXISTING
(1) OPERATING TRIM	MCKINNEY 51M	GREY
(3) SILENCERS	MCKINNEY 51M	GREY
(1) DOOR STOP (FLR)	ROCKWOOD LOW DOME 411	MATCH EXISTING

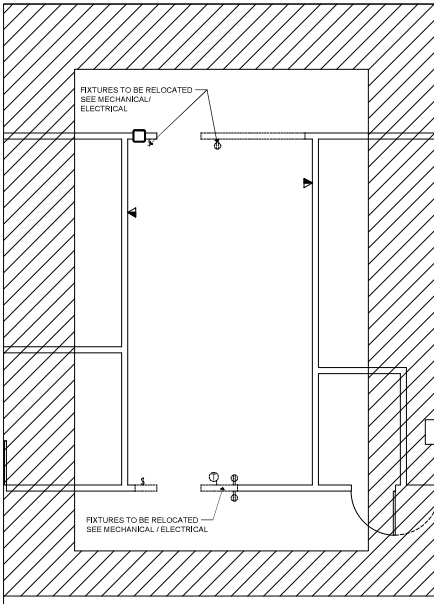


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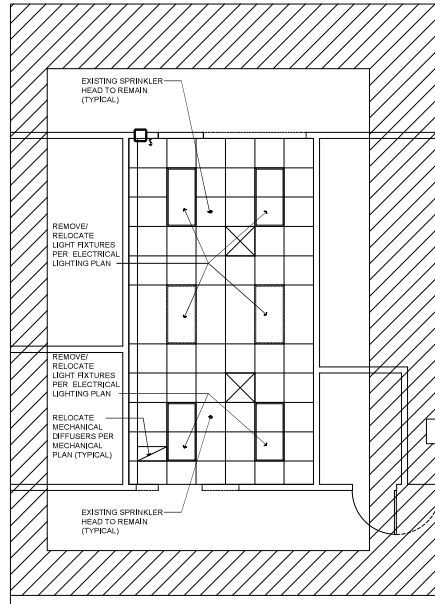
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GENERAL
NOTES
&
SCHEDULES

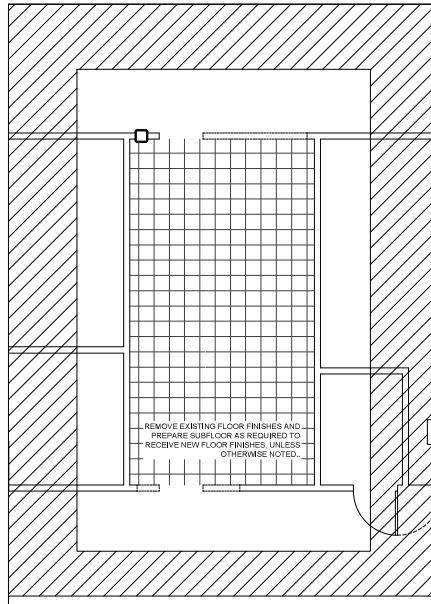
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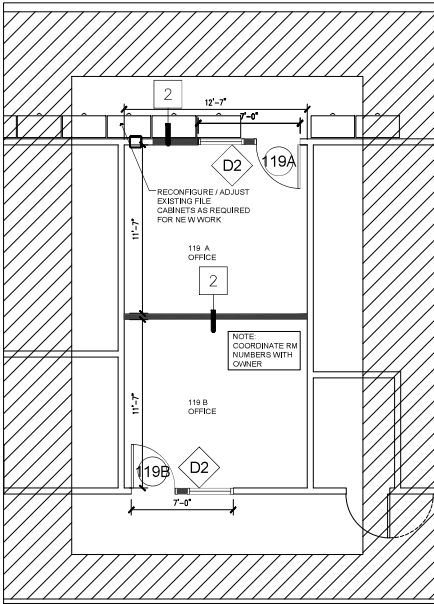
1 FIRST FLOOR — DEMOLITION PLAN
1/4" = 1'-0"



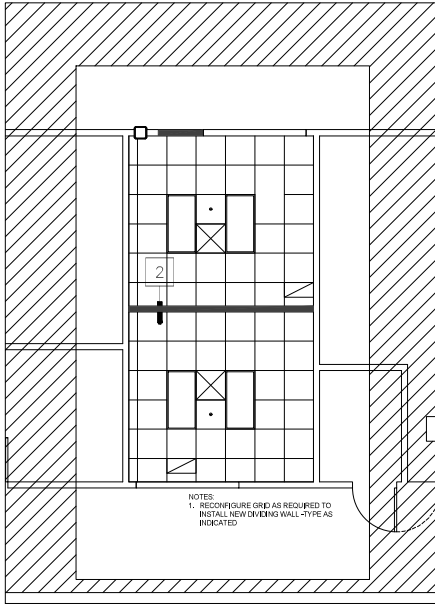
2 FIRST FLOOR — DEMOLITION REFLECTED CEILING PLAN
1/4" = 1'-0"



3 FIRST FLOOR — DEMOLITION FINISH PLAN
1/4" = 1'-0"



4 FIRST FLOOR — FLOOR PLAN
1/4" = 1'-0"



5 FIRST FLOOR — REFLECTED CEILING PLAN
1/4" = 1'-0"

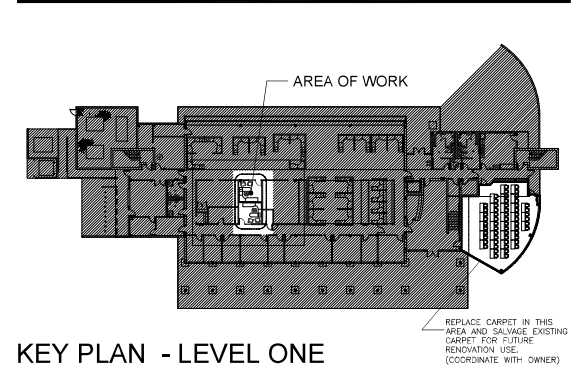
GENERAL NOTES - NEW FLOOR PLAN	
1.	SUCH TRADE IS RESPONSIBLE FOR IMPROVED AROUND OTHER RESPECTIVE PENETRATIONS THROUGH A FIRE RATED ASSEMBLY.
2.	ALL FIRE RATED ASSEMBLIES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION FOR TABULATION.
3.	ADD NOTES ADDITIONAL INSULATION BATT INSULATION FROM FLOOR TO TOP OF PARTITION.
4.	ALL WOOD BLOCKING AND FRAMING TO BE RE-REINFORCED.
5.	ALL PLUMBING AND HEATING OUTSIDE OF 10' MIN WALL UNLESS NOTED OTHERWISE SEE PARTITION SCHEDULE FOR ACTUAL PARTITION DETS.
6.	NEW FLOOR FINISHES TO BE LOCATED AT EACH REQUIRED ONE HOUR FIRE RESISTANCE CABINET 547 TO TOP OF EXISTING MAX. VERTICAL LOCATION WITH LOCAL FIRE DEPARTMENT.
7.	NEW FLOOR FINISHES TO BE LOCATED AT EACH REQUIRED ONE HOUR FIRE RESISTANCE CABINET 547 TO TOP OF EXISTING MAX. VERTICAL LOCATION WITH LOCAL FIRE DEPARTMENT.
8.	UNDER NOTED CONTINGENT NEW GLASS TO BE A MINIMUM OF 1/4" TEMPERED TYPICAL.
9.	PROVIDE ALL REQUIRED FLOOR TRANSITION STRIPS FROM DENSE FIBER MATERIAL.
10.	ALL NEW WALLS TO RECEIVE UNFACED SOUND BATT INSULATION (SEE SECTION).

KEYED NOTES - NEW FLOOR PLAN	
1.	INSTALL NEW TEMPERED GLASS NEW WINDOWS—SEE SECTION 14 SHEET A30 AND ASSOCIATED DETAILS, TYPICAL.
2.	NEW INTERIOR STORE FRONT SYSTEM (BASE OF DESIGN—VARIATION FROM INTERIOR FRAMING SYSTEM, GLASS 1/4" TEMPERED TYPICAL.)
3.	ADD NEW REINFORCING CHAIRS TO HIGH RATED WALLS.
4.	ADJUST FINISHES PLANS
5.	ENTERING OFFICE FURNITURE TO REMAIN
6.	ENTERING OFFICE FURNITURE—RECORD REQUIRED.

SYMBOL LEGEND

RECEPTACLE (WHITE)	EMERGENCY LIGHTS AND BATTERY PACK
GFI RECEPTACLE (WHITE)	EXIT LIGHTS W/ BATTERY PACK
SPECIAL PURPOSE RECEPT./J-BOX 220V	DATA J-BOX WITH 3/4" CONDUIT TO CEILING FOR (2) CAT 6 (WHITE)
2 X 4 LAY-IN LED LIGHT FIXTURE	ELECTRICAL PANEL
SPECIAL PURPOSE DISCONNECT	\$PC SINGLE POLE SWITCH WITH EXTERIOR PHOTOCELL
100 WATT STANDARD INCANDESCENT LIGHT FIXTURE (USE LED LAMP)	\$OS OCCUPANCY SENSOR LIGHT SWITCH PER FBC/NEC
	\$D SINGLE POLE SWITCH WITH 600 WATT RATED DIMMER
	EXISTING SPRINKLER HEAD

PARTITION SCHEDULE - SYMBOL LEGEND	
KEY:	
INDICATES FIRE RATED WALL ASSEMBLIES (EXISTING TO REMAIN) SEE WALL TAGS FOR PARTITION TYPE AND CONSTRUCTION	1 PARTITION TO UNDERSIDE OF DECK - NON-RATED 5/8" TYPE "X" GYPSUM BOARD BOTH SIDES ON 3 5/8" METAL STUDS AT 16" O.C.— (SEE PARTITION TABLE THIS SHEET FOR STUD GAUGE/SIZE), METAL STUDS AND GYPSUM BOARD FROM FLOOR TO UNDERSIDE OF DECK TOTAL THICKNESS = 4 7/8" (VARIES AT VOID WALLS - SEE PLAN)
INDICATES EXISTING PARTITION WALL TO REMAIN	2 PARTITION TO 6" ABOVE CEILING - NON-RATED 5/8" TYPE "X" GYPSUM BOARD BOTH SIDES ON 3 5/8" STUDS AT 16" O.C.— (SEE PARTITION TABLE THIS SHEET FOR STUD GAUGE/SIZE), METAL STUDS AND GYPSUM BOARD FROM FLOOR TO 6" ABOVE ADDITIONAL CEILING GRID TOTAL THICKNESS = 4 7/8" (TYPICAL SECTION 1.3 - SHEET A3.0)
INDICATES NEW PARTITION WALLS SEE WALL TAG FOR PARTITION TYPE AND CONSTRUCTION	3 PARTITION TO UNDERSIDE OF DECK - 1 HR. RATED 5/8" TYPE "X" GYPSUM BOARD BOTH SIDES ON 3 5/8" METAL STUDS AT 16" O.C.— (SEE PARTITION TABLE THIS SHEET FOR STUD GAUGE/SIZE), METAL STUDS AND GYPSUM BOARD FROM FLOOR TO UNDERSIDE OF DECK ABOVE.
INDICATES NEW BULKHEAD ABOVE	
INDICATES NEW VIEW WINDOW TAG (SEE DETAILS)	
INDICATES DOOR TAG (SEE DETAILS)	



KEY PLAN - LEVEL ONE

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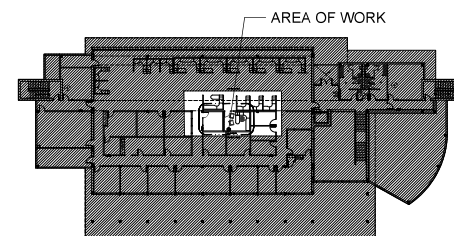
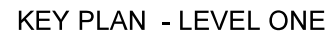
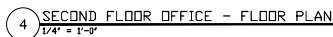
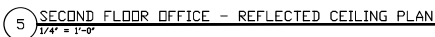
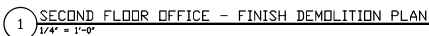
**HUDC OFFICE
TENANT IMPROVEMENTS**

15345 CORTEZ BLVD., BROOKSVILLE, FLORIDA
34613

**FIRST FLOOR
INTERIOR
ALTERATION
PLANS**

A1.1

024.003 03.12.25



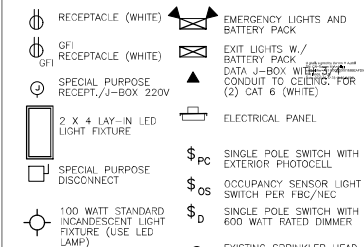
GENERAL NOTES - NEW FLOOR PLAN

1. EACH TRADE RESPONSIBLE FOR INSTALLING IS TO PROVIDE THEIR RESPECTIVE TRADE PATENTIS THROUGH A SITE PATED ASSEMBLY.
2. ALL TRADE PATED ASSEMBLIES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION OF PATED ASSEMBLY.
3. SUBMITTALS ACCORDING TO THE SUBMITTAL SCHEDULE FROM FLOOR TO FLOOR TO TRADE PARTIES.
4. ALL WOOD FLOORING IS TO BE ADJACENT TO THE RESIDENT.
5. ALL PLUMBING AND ELECTRICAL WORK IS TO BE COMPLETED PRIOR TO THE START OF THE FINISH TRADES.
6. THE EXHIBITS TO BE LOCATED AT EACH REQUIRED EXHIBIT MOUNT THE EXHIBITS, CHAIN AT 30° TO THE HORIZONTAL AND 180° TO THE VERTICAL. THE EXHIBITS SHALL BE IDENTIFIED BY THE TRADE PARTIES.
7. THE EXHIBITS TO BE LOCATED AT EACH REQUIRED EXHIBIT MOUNT THE EXHIBITS, CHAIN AT 30° TO THE HORIZONTAL AND 180° TO THE VERTICAL. THE EXHIBITS SHALL BE IDENTIFIED BY THE TRADE PARTIES.
8. THE EXHIBITS TO BE LOCATED AT EACH REQUIRED EXHIBIT MOUNT THE EXHIBITS, CHAIN AT 30° TO THE HORIZONTAL AND 180° TO THE VERTICAL. THE EXHIBITS SHALL BE IDENTIFIED BY THE TRADE PARTIES.
9. PROVIDE ALL REQUIRED FLOOR TRANSITIONS FROM EXHIBIT AREA TO RESIDENTIAL AREA.
10. ALL NEW WALLS TO RECEIVE UNFINISHED SOUND BATT INSULATION (SEE SECTION).

KEYED NOTES - NEW FLOOR PLAN

1. INSTALL NEW TEMPERED GLASS VIEW WINDOWS—SEE SECTION 11.4 SHEET A3.0 AND ASSOCIATED DETAILS, TYPICAL.
2. NEW REPAIR SCRE FROM SYSTEM, BASE OF DESIGN: KAWNEER InFrame™ Inframe Framing System, GLASSING OF TEMPERED GLASS.
3. ADD NEW FIRE EXTINGUISHER CABINETS IN NON RATED WALLS.
4. ALIGN FINISHED PLACES
5. EXISTING OFFICE FURNITURE TO REMAIN.
6. EXISTING OFFICE FURNITURE—RECONFIGURED.

SYMBOL LEGEND



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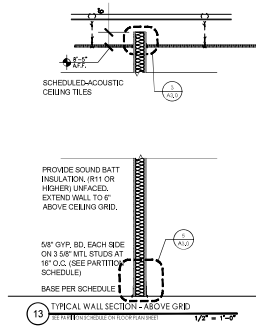
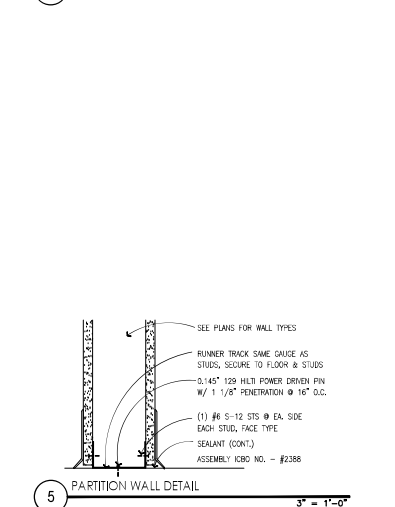
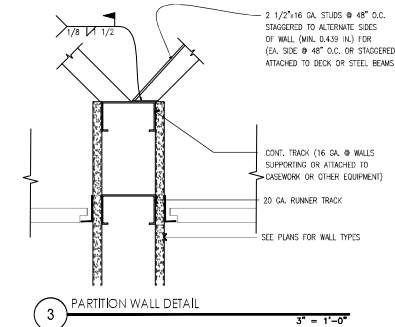
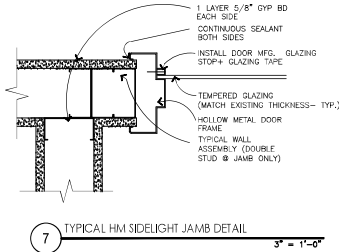
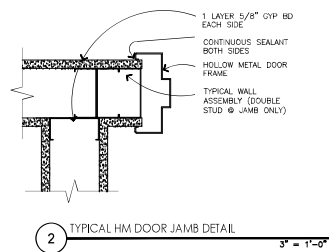
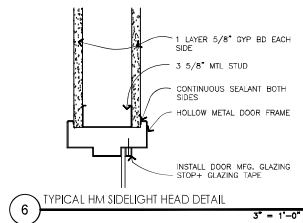
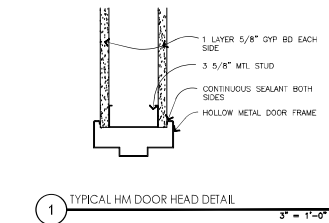
1 SECOND FLOOR
SECOND FLOOR
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PLANS

HUDC OFFICE
TENANT IMPROVEMENTS

15365 CORTEZ BLVD., BROOKSVILLE, FLORIDA
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TYPICAL INTERIOR NON-LOAD BEARING METAL STUD PARTITIONS							
STUD FRAMING TO BE USED:				BOTTOM TRACK THICKNESS REQUIRED:		TOP SLIP TRACK THICKNESS REQUIRED:	
MEMBER SIZE		SPACING (IN)	ALLOWABLE HEIGHT (FT-IN)	M/S Gauge		M/S Gauge	
SSWA	DEFINITION			M/S	Gauge	M/S	Gauge
162125H18	1 5/8" 25 GA GRN	16	35-1	30	20W	33	20
202125H18	2 1/2" 25 GA GRN	16	35-1	30	20W	33	20
202125H20	2 1/2" 20 GA RE	16	16-2	30	20W	43	18
202130H20	2 1/2" 20 GA CL	16	13-0	33	20	43	18
202130H43	2 1/2" 18 GA CL	16	14-2	33	20	43	18
302125H43	3 5/8" 25 GA GRN	16	15-2	30	20W	33	18
302125H50	3 5/8" 20 GA RE	16	16-2	30	20W	43	18
302125H54	3 5/8" 18 GA CL	16	17-2	33	20	43	18
302125H43	3 5/8" 18 GA CL	16	16-2	33	20	43	18
302125H47	4" 20 GA CL	16	15-2	30	20	34	16
603125H43	6" 18 GA CL	16	28-4	33	20	34	16
603125H44	6" 18 GA CL	16	30-4	33	20	46	14
803125H47	8" 14 GA CL	16	32-2	33	20	46	14
803125H47	8" 12 GA CL	16	30-4	43	18	46	14
803125H47	8" 18 GA CL	16	35-2	33	20	46	14
803125H44	8" 14 GA CL	16	30-4	33	20	46	14
803125H47	8" 14 GA CL	16	41-1	33	20	97	12
803125H47	8" 12 GA CL	16	45-4	43	18	97	12
116125H20	1 5/8" 25 GA GRN	24	6-2	30	20W	33	20
202125H20	2 1/2" 25 GA GRN	24	6-2	30	20W	33	20
202125H43	2 1/2" 20 GA CL	24	6-2	30	20W	33	20
202130H20	2 1/2" 20 GA CL	24	11-2	33	20	34	16
202130H43	2 1/2" 18 GA CL	24	12-4	33	20	34	16
302125H20	3 5/8" 25 GA GRN	24	6-2	30	20W	43	18
302125H43	3 5/8" 20 GA RE	24	12-1	30	20W	43	18
302125H43	3 5/8" 20 GA CL	24	12-2	30	20W	43	18
302125H43	3 5/8" 18 GA CL	24	12-2	33	20	43	18
302125H43	3 5/8" 18 GA CL	24	16-2	33	20	46	14
603125H43	6" 18 GA CL	24	34-2	33	20	46	14
603125H44	6" 18 GA CL	24	36-2	33	20	46	14
603125H44	6" 14 GA CL	24	38-2	33	20	97	12
803125H47	8" 12 GA CL	24	31-4	43	18	97	12
803125H43	8" 20 GA CL	24	30-2	33	20	97	12
803125H43	8" 18 GA CL	24	31-2	43	18	97	12
803125H44	8" 14 GA CL	24	33-2	43	18	97	12
803125H47	8" 14 GA CL	24	35-1	43	18	97	12
803125H47	8" 12 GA CL	24	35-1	43	18	97	12

SHAFT WALL FRAMING			
SHAFTWALL STUD	SPACING (IN)	ALLOWABLE HEIGHT (FT-IN)	TOP AND BOTTOM TRACKS
2 1/2" 25 GA GRN	24	12-2	2 1/2" - 24 GA, MINOR
2 1/2" 20 GA GRN	24	15-2	2 1/2" - 24 GA, MINOR
4" 20 GA CL	24	13-4	4" - 20 GA, MINOR
4" 20 GA CL	24	15-2	4" - 20 GA, MINOR
6" 20 GA CL	24	23-1	6" - 20 GA, MINOR
6" 20 GA CL, E	24	25-1	6" - 20 GA, MINOR

- ### TABLE NOTES
- TABLE IS BASED ON STUD PROPERTIES ALONG WITH SHEATHING ON ONE SIDE. FRAMING SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING STUDS OF THE APPROPRIATE GAUGE AND SPACING TO WITHSTAND APPLIED LOADS AND PARTITION HEIGHTS.
 - THE TABLE IS BASED ON STEEL STUD MANUFACTURER'S ASSOCIATION (SSMA).
 - PARTITIONS SHALL BE DESIGNED, AT A MINIMUM, FOR A LATERAL LOAD OF 5 PSF WITH A MAXIMUM HORIZONTAL DEFLECTION OF 1/240.
 - SHAFTWALL SHALL BE DESIGNED, AT A MINIMUM, FOR A LATERAL LOAD OF 5 PSF WITH A MAXIMUM HORIZONTAL DEFLECTION OF 1/240. SPECIAL CONDITIONS MAY APPLY FOR HIGH RISE PROJECTS, SMOKE EVACUATION SYSTEMS, AND HIGH SPEED ELEVATORS. CONFIRM SHAFT PRESSURE LOADS WITH ELEVATOR AND MECHANICAL SUBCONTRACTORS.
 - YIELD STRENGTH FOR STUDS AND TRACKS SHALL BE: $F_y = 33,000$ PSI.
 - ATTACH STUD TO BOTTOM TRACK WITH #10 SCREWS THROUGH EACH FLANGE. ATTACH TRACK TO SLAB WITH POWER ACTUATED FASTENERS (PAF) ACCORDING TO THE FOLLOWING GUIDELINES:
 - POST-TENSIONED AND NON POST-TENSIONED SLABS: ATTACH TRACK TO SLAB WITH 1 PAF MIN SHANK DIAMETER = 5/16"
 - MAX EMBEDMENT = 3/4" AT EACH STUD LOCATION FOR WALLS UP TO 20'-0" TALL. SPACE FASTENERS AT 12" O.C. FOR WALLS UP TO 40'-0" TALL. CONTACT ARCHITECT OR ENGINEER FOR WALLS GREATER THAN 40'-0" TALL.
 - ATTACH TOP TRACK TO ROOF DECK WITH A MINIMUM OF ONE #10 SCREW SPACED AT 12" O.C. IF SHEATHING IS NOT APPLIED TO BOTH SIDES. FULL HEIGHT, ADD HORIZONTAL BRIDGING AT 6'-0" O.C. VERTICALLY. SEE BRIDGING THROUGH RUN-OUTS AND END BRIDGING DETAILS.

- ### PARTITION NOTES
- PROVIDE VERTICAL AND HORIZONTAL CONTROL JOINTS IN GYP BD SURFACES AT 30'-0" O.C. MAX.
 - ALL GYP BD IS 5/8" TYPE "X" UNLESS NOTED OTHERWISE.
 - PROVIDE MOISTURE RESISTANT GYP BD AT ALL TOILET ROOM PARTITIONS UNLESS NOTED OTHERWISE. PROVIDE TILE BACKER BOARD BEHIND ALL C.T. AND THIN STONE FACING.
 - PROVIDE SOLID BLOCKING WITH PARTITIONS AT WALL, HUNG EQUIPMENT AND AS NOTED. ALL WOOD BLOCKING SHALL BE FIRE RESISTANT.
 - SPACE STUDS AT 24" O.C. UNLESS NOTED OTHERWISE OR REQUIRED FOR SPAN.
 - PROVIDE AT A MINIMUM 30 MIL (20 GAUGE) TRAINING AT DOOR JAMBS. STUDS AT JAMBS TO CONTINUE TO UNDERSIDE OF DECK ABOVE.
 - PROVIDE 1" DEEP LED TRACKS AT UNDERSIDE OF FLOOR OR ROOF DECKS FOR ALL PARTITIONS L.V.C.
 - PARTITIONS WITH TILE OR THIN STONE FACINGS SHALL USE AT A MINIMUM 30 MIL (20 GAUGE) MEMBERS AND BE DESIGNED FOR A MAXIMUM DEFLECTION OF L/360 AND HAVE A STUD SPACING OF 16" O.C. MAXIMUM.
 - WHERE RATED PARTITIONS INTERSECT COLUMNS, MAINTAIN INTEGRITY OF THE FIRE RATING AT COLUMNS WHERE EXISTING.
 - ADD ACOUSTICAL BATTIS TO STUD CAVITIES WHERE SHOWN ON PLAN AND WHERE SPECIFICALLY SHOWN IN THE PARTITION TYPE. WHERE SPECIFICALS SHOWN IN THE PARTITION TYPE.
 - FOR FINISHMENTS THROUGH PARTITIONS, SEE FIRE RATIO DETAIL IN THIS SHEET AND/OR DETAILS PROVIDED BY OTHER DISCIPLINES. EACH TRADE IS RESPONSIBLE FOR FIRE STOPPING AROUND THEIR RESPECTIVE PENETRATIONS THROUGH A FIRE RATED ASSEMBLY.
 - ALL PLAN DIMENSIONS ARE NOMINAL. FACE OF FINISH WALL UNLESS OTHERWISE NOTED. SEE PARTITION SCHEDULE FOR ACTUAL PARTITION SIZES.

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