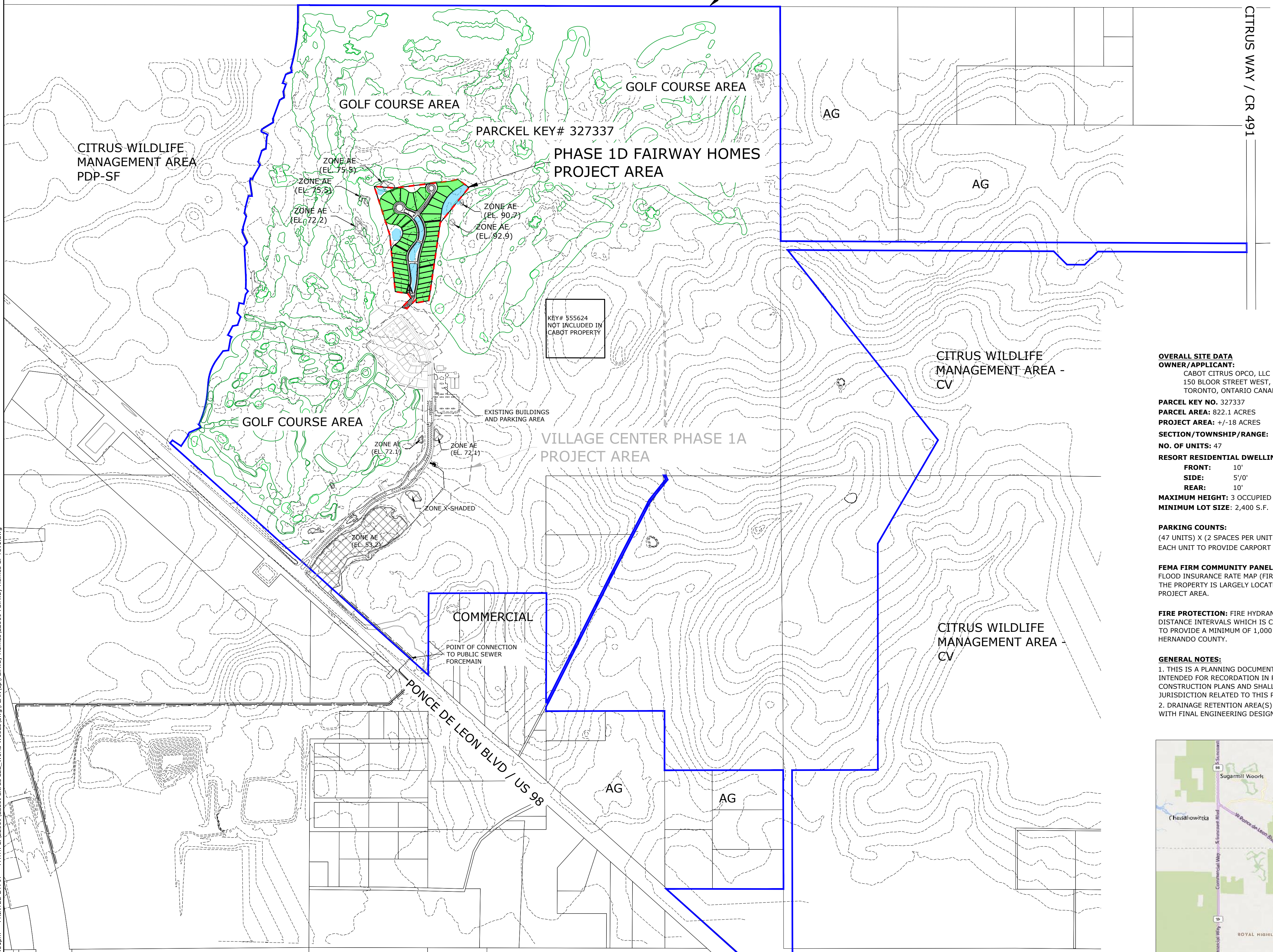
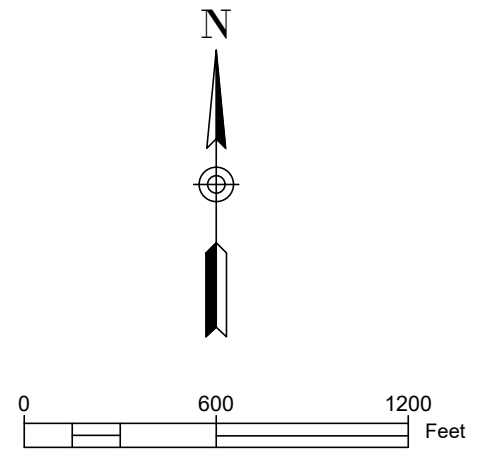


CITRUS COUNTY
 CABOT CITRUS OPCO LLC
 OWNED PROPERTY



LEGEND

	RESORT RESIDENTIAL
	DRAINAGE
	PRIVATE R/W
	FLOOD ZONE
	CONDITIONAL PLAT LIMITS
	GOLF COURSE FEATURE
	EXISTING CONTOUR LINE

OVERALL SITE DATA
OWNER/APPLICANT:
 CABOT CITRUS OPCO, LLC
 150 BLOOR STREET WEST, SUITE 310
 TORONTO, ONTARIO CANARDO M5S2X9

PARCEL KEY NO. 327337
PARCEL AREA: 822.1 ACRES
PROJECT AREA: +/-18 ACRES
SECTION/TOWNSHIP/RANGE: 11,02,12,13,14/21S/18E
NO. OF UNITS: 47

RESORT RESIDENTIAL DWELLING:
FRONT: 10'
SIDE: 5/0'
REAR: 10'
MAXIMUM HEIGHT: 3 OCCUPIED STORIES
MINIMUM LOT SIZE: 2,400 S.F.

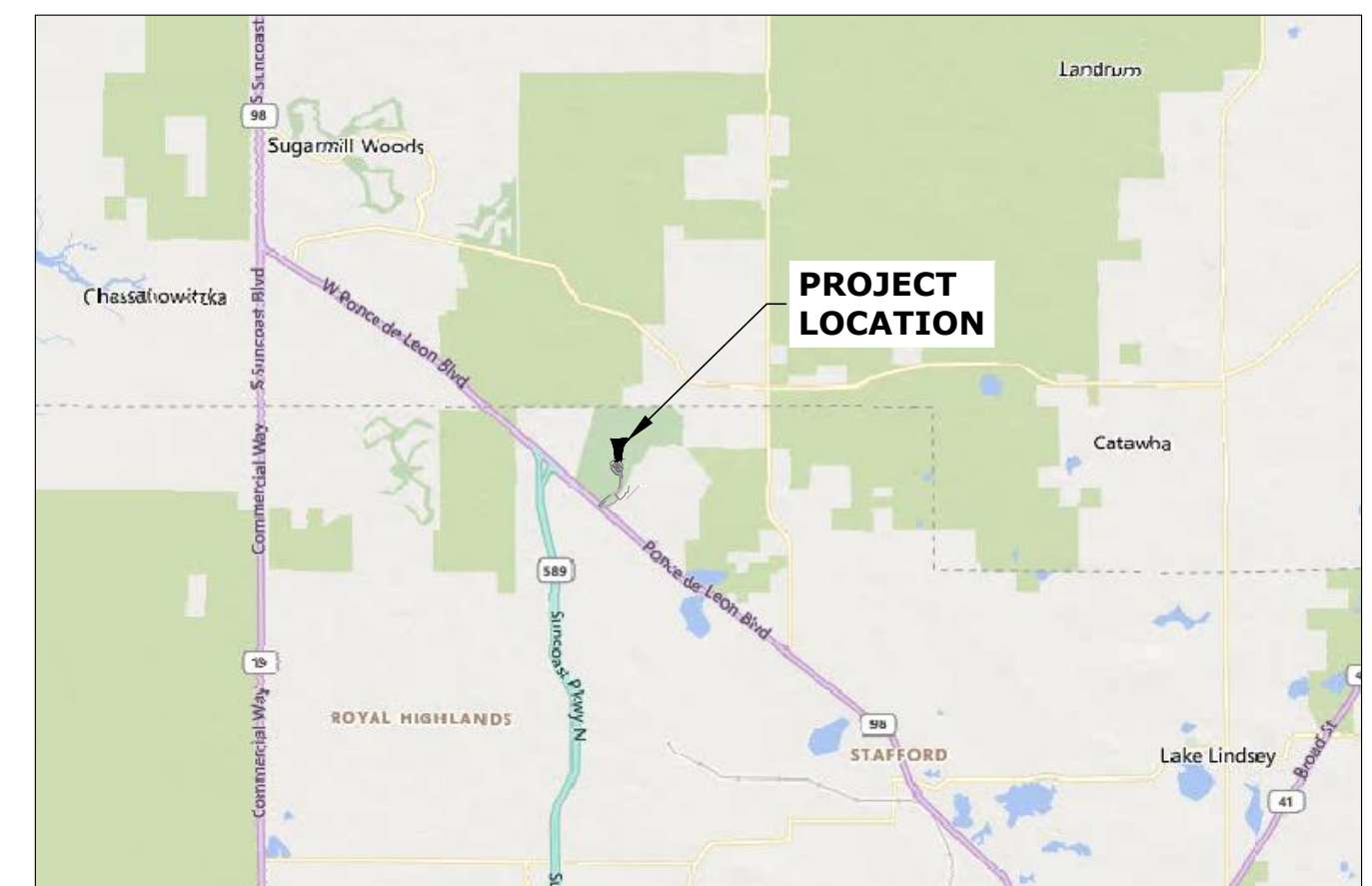
PARKING COUNTS:
 (47 UNITS) X (2 SPACES PER UNIT) = 94 SPACES REQ.
 EACH UNIT TO PROVIDE CARPORT OR GARAGE PARKING FOR 2 CARS = 94 SPACES PROVIDED



FEMA FIRM COMMUNITY PANELS: THE PROJECT IS LOCATED ON FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) 12053C0061D EFFECTIVE DATE 2/2/2012 AND 12053C0061D EFFECTIVE DATE 2/2/2012. THE PROPERTY IS LARGELY LOCATED WITHIN ZONE X WITH A SMALL AREA OF ZONE AE IN THE NORTH WEST CORNER OF THE PROJECT AREA.

FIRE PROTECTION: FIRE HYDRANTS WILL BE PLACED THROUGHOUT THE COMMUNITY AT A MINIMUM OF 250' CURB LINE DISTANCE INTERVALS WHICH IS CONSISTENT WITH COUNTY STANDARDS. THE POTABLE WATER SYSTEM WILL BE DESIGNED TO PROVIDE A MINIMUM OF 1,000 GPM FOR USE IN FIREFIGHTING AS REQUIRED BY NFPA GUIDELINES AS REQUIRED BY HERNANDO COUNTY.

GENERAL NOTES:
 1. THIS IS A PLANNING DOCUMENT AND IS NOT TO BE CONSIDERED A FINAL DESIGN OR CONSTRUCTION PLAN; ALSO, NOT INTENDED FOR RECORDATION IN PUBLIC RECORDS. DRAINAGE AND UTILITY EASEMENTS WILL BE INCLUDED IN FINAL CONSTRUCTION PLANS AND SHALL MEET THE REQUIREMENTS OF HERNANDO COUNTY AND ANY AGENCIES HAVING JURISDICTION RELATED TO THIS PROJECT.
 2. DRAINAGE RETENTION AREA(S) ARE CONCEPTUALLY LOCATED, THE ACTUAL SIZE AND LOCATION WILL BE DETERMINED WITH FINAL ENGINEERING DESIGN.



LOCATION MAP
 N.T.S.

OVERALL LOCATION
 CABOT CITRUS FARMS PHASE 1D
 FAIRWAY HOMES

Engineering
 Surveying
 Environmental
 Transportation
 Construction Management

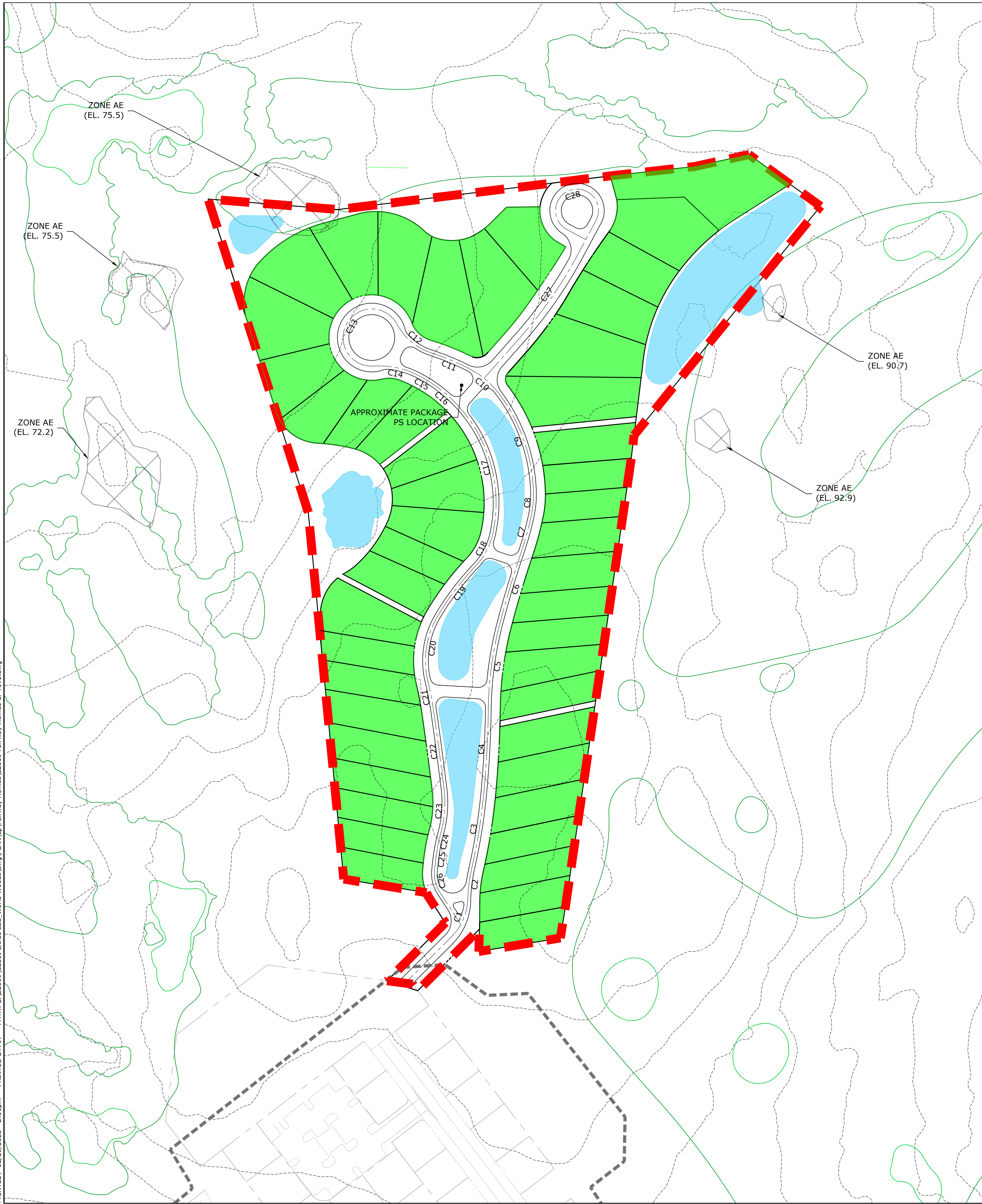
Coastal
 engineering associates, inc.
 966 Candlelight Boulevard - Brooksville - Florida 34601
 (352) 796-9423 - Fax (352) 799-8359
 EB-0000142

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DATE	REV. BY/REV. NO.	REVISION
12/20/2023	JY 1	RESPONSE TO COUNTY COMMENTS

PRINTED: 12/20/2023 - 2:51pm PRINTED BY: JY PATH: L:\22009\Cabot Citrus LLC World Woods\dwg\PLAN\cp\Fairway Homes\22009 Fairway Homes CP rev1.dwg

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CURVE NO.	RADIUS
C1	100.00
C2	250.35
C3	1060.47
C4	1835.88
C5	622.33
C6	1849.42
C7	565.89
C8	173.79
C9	300.68
C10	150.00
C11	429.06
C12	105.00
C13	50.00
C14	150.00
C15	250.73

CURVE NO.	RADIUS
C16	250.73
C17	250.73
C18	118.37
C19	480.38
C20	153.38
C21	627.24
C22	6206.12
C23	200.45
C24	238.04
C25	429.96
C26	59.54
C27	750.00
C28	37.50

LEGEND

- RESORT RESIDENTIAL
- CLUBHOUSE TRACT
- DRAINAGE
- FLOODZONE
- CONDITIONAL PLAT LIMITS
- GOLF COURSE FEATURE
- EXISTING COUNTER LINE

LAND USE TABLE			
LAND USE	ACRES	UNITS	DENSITY
RESORT RESIDENTIAL	11.29	47 UNITS	
DRAINAGE	1.97		
PRIVATE R/W	3.29		
OPEN SPACE TRACT	1.45		
TOTAL	18.0000		

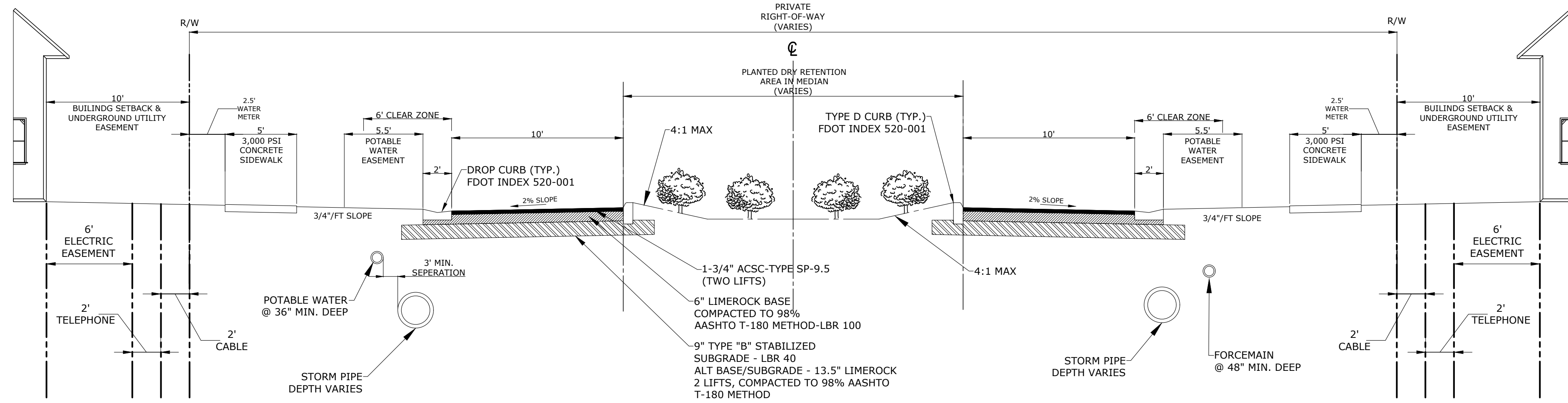
NOTE:
 1. RECREATION AND OPEN SPACE REQUIREMENT WILL BE MET BY THE EXISTING GOLF COURSES LOCATED ON THE PROPERTY
 2. PRESERVED VEGETATION REQUIREMENTS ARE MET BY EXISTING AREAS LOCATED WITHIN GOLF GOURSE AREA

CONDITIONAL PLAT
CABOT CITRUS FARMS PHASE 1D
FAIRWAY HOMES

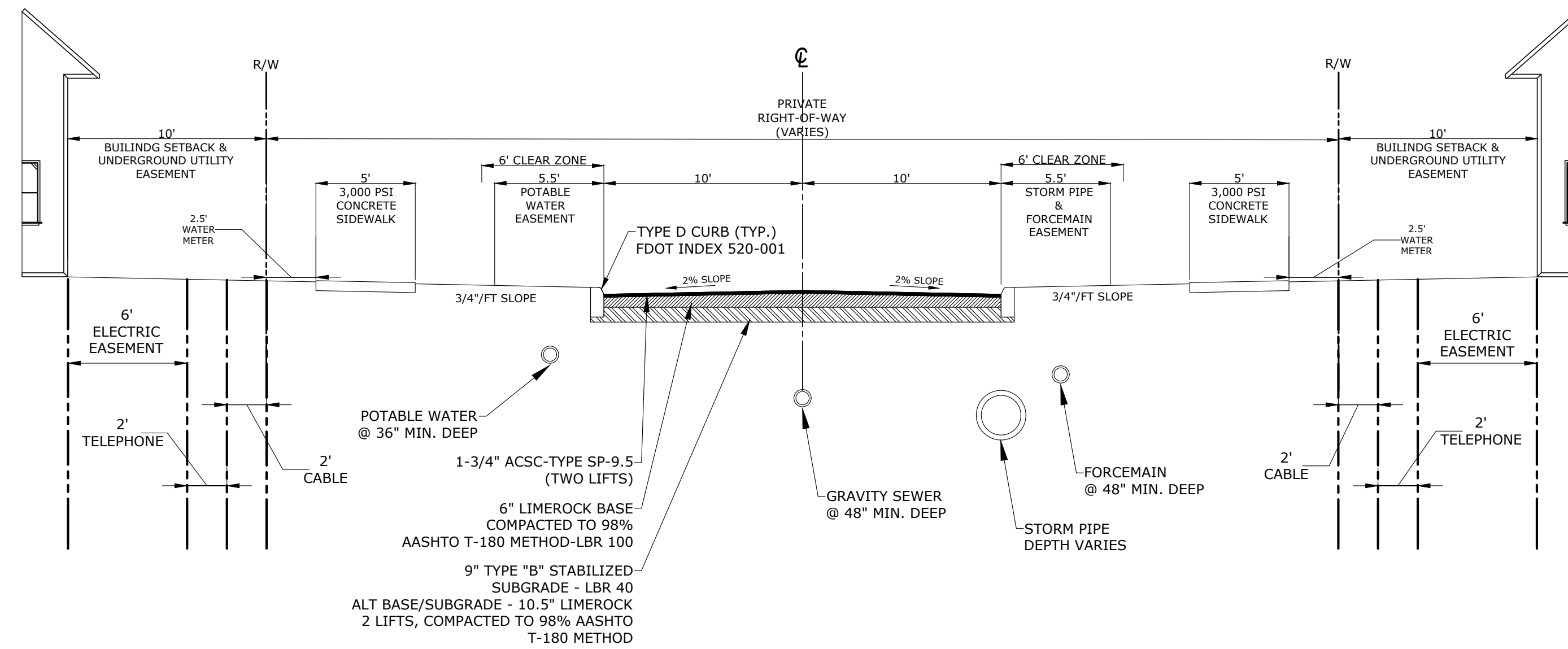
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DATE	REV. BY/REV. NO.	REVISION
12/20/2023	JY / 1	RESPONSE TO COUNTY COMMENTS
-	-	-
-	-	-
-	-	-
-	-	-



SECTION A-A
N.T.S.
CLOSED DRAINAGE
DESIGN SPEED 25 MPH



SECTION B-B
N.T.S.
CLOSED DRAINAGE
DESIGN SPEED 25 MPH

TYPICAL CROSS SECTIONS

CABOT CITRUS FARMS PHASE 1D
FAIRWAY HOMES

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12/20/2023	JY	1	-