

HERNANDO COUNTY ZONING AMENDMENT PETITION



Application to Change a Zoning Classification

Application request (check one):
Rezoning [] Standard [] PDP
Master Plan [x] New [] Revised
PSFOD [] Communication Tower [] Other
PRINT OR TYPE ALL INFORMATION

File No. _____ Official Date Stamp:
H-24-56
Received
SEP 4 2024
Planning Department
Hernando County, Florida

Date: 09/04/2024

APPLICANT NAME: Harvey Schonbrun, As Trustee

Address: 102 E. Martin Luther King Blvd.
City: Tampa State: FL Zip: 33603
Phone: 813-238-6111 Email: marc@mypropertyhelper.com
Property owner's name: (if not the applicant)

REPRESENTATIVE/CONTACT NAME:

Company Name: ProCivil 360, LLC
Address: 12 S. Main Street
City: Brooksville State: FL Zip: 34601
Phone: 352-593-4255 Email: permitting@procivil360.com

HOME OWNERS ASSOCIATION: [] Yes [x] No (if applicable provide name)

Contact Name:
Address: City: State: Zip:

PROPERTY INFORMATION:

- 1. PARCEL(S) KEY NUMBER(S): 415134
2. SECTION 19, TOWNSHIP 23S, RANGE 18E
3. Current zoning classification: PDP(REC)
4. Desired zoning classification: PDP(SF)
5. Size of area covered by application: 5.3 Acres
6. Highway and street boundaries: Linden Drive and Mandrell Avenue
7. Has a public hearing been held on this property within the past twelve months? [] Yes [x] No
8. Will expert witness(es) be utilized during the public hearings? [] Yes [x] No (If yes, identify on an attached list.)
9. Will additional time be required during the public hearing(s) and how much? [] Yes [x] No (Time needed:)

PROPERTY OWNER AFFIDIVAT

I, Harvey Schonbrun, have thoroughly examined the instructions for filing this application and state and affirm that all information submitted within this petition are true and correct to the best of my knowledge and belief and are a matter of public record, and that (check one):

- [] I am the owner of the property and am making this application OR
[x] I am the owner of the property and am authorizing (applicant):
and (representative, if applicable): ProCivil 360, LLC
to submit an application for the described property.

Signature of Property Owner

STATE OF FLORIDA
COUNTY OF HERNANDO HILLSBOROUGH

The foregoing instrument was acknowledged before me this 03rd day of August, 2024, by HARVEY SCHONBRUN who is personally known to me or produced via as identification.

Signature of Notary Public

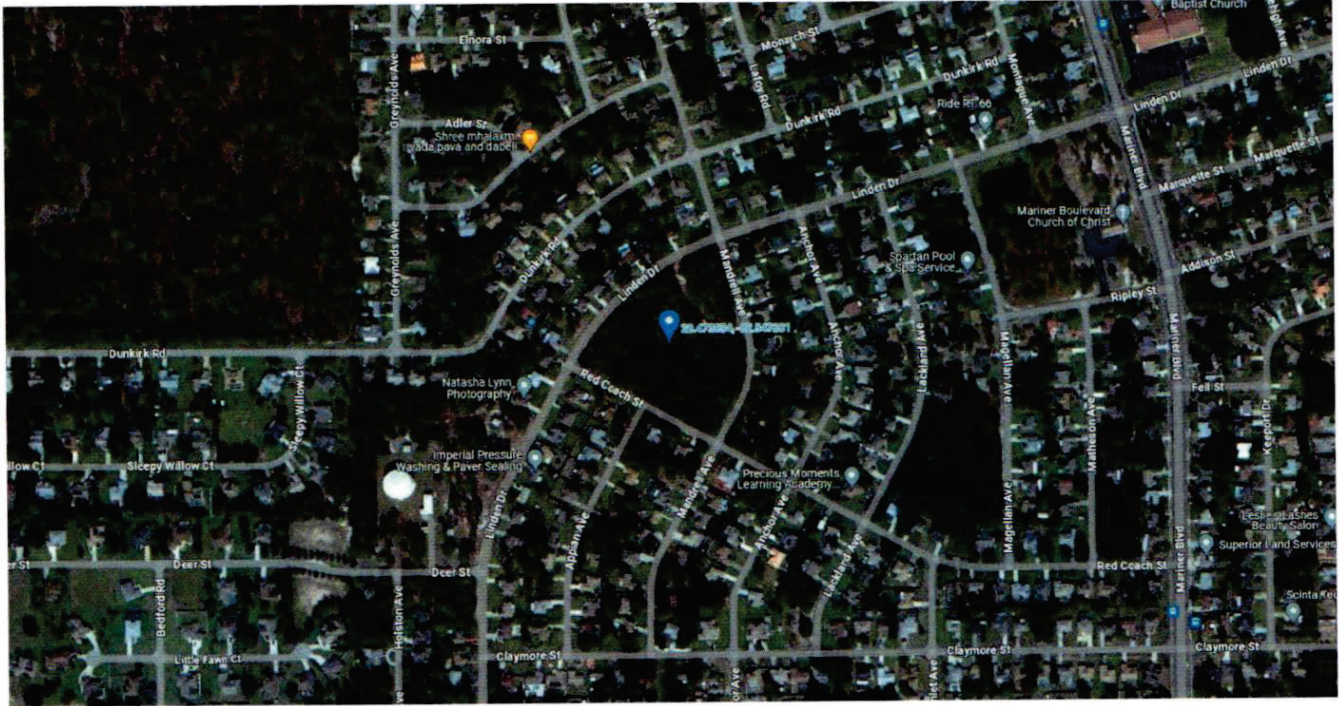
NOTARY PUBLIC
JENNIFER L. SMITH
Commission # HH 041527
Expires September 17, 2024
Bonded Thru Budget Notary Services

Effective Date: 11/8/16 Last Revision: 11/8/16

Notary Seal/Stamp

NARRATIVE
FOR
Hamburg Subdivision
Rezoning
September 2024

Project Location: The property in question is 5.3 acres. It is located on Linden Drive, Red Coach, and Mandrell Avenue. It is an existing parcel of property that was platted as a future park by the Deltona Corporation, but dedicated to Hernando County by plat. The County, some time ago decided to sell many surplus properties, designated as parks. This is included. of them.



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Present Zoning: The land is presently zoned PDP (REC).

Hamburg Zoning Map



Present Land use: The land is currently designated as Residential. (no map available through County GIS)

Hamburg FLUM Map



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Desired Zoning: The applicant is desirous to rezone the property to PDP(SF).

Summary of Request: The applicant is desirous to rezone the property to PDP(SF) to allow the use of the property for single family residential use.

Proposed Setbacks: Front: 25'
 Sides: 10'
 Rear: 20'

All future homes would meet these setbacks.

Buffers: Since this project fronts on three streets and has no contiguous boundary with any other property owners, the establishment of project buffers is requested to be waived. The existing retention area is the only portion of the proposed lots which is not a street. However, the retention area is a part of this property, and no longer owned by the County. The proposed use is residential which is in harmony with the adjacent neighborhood.

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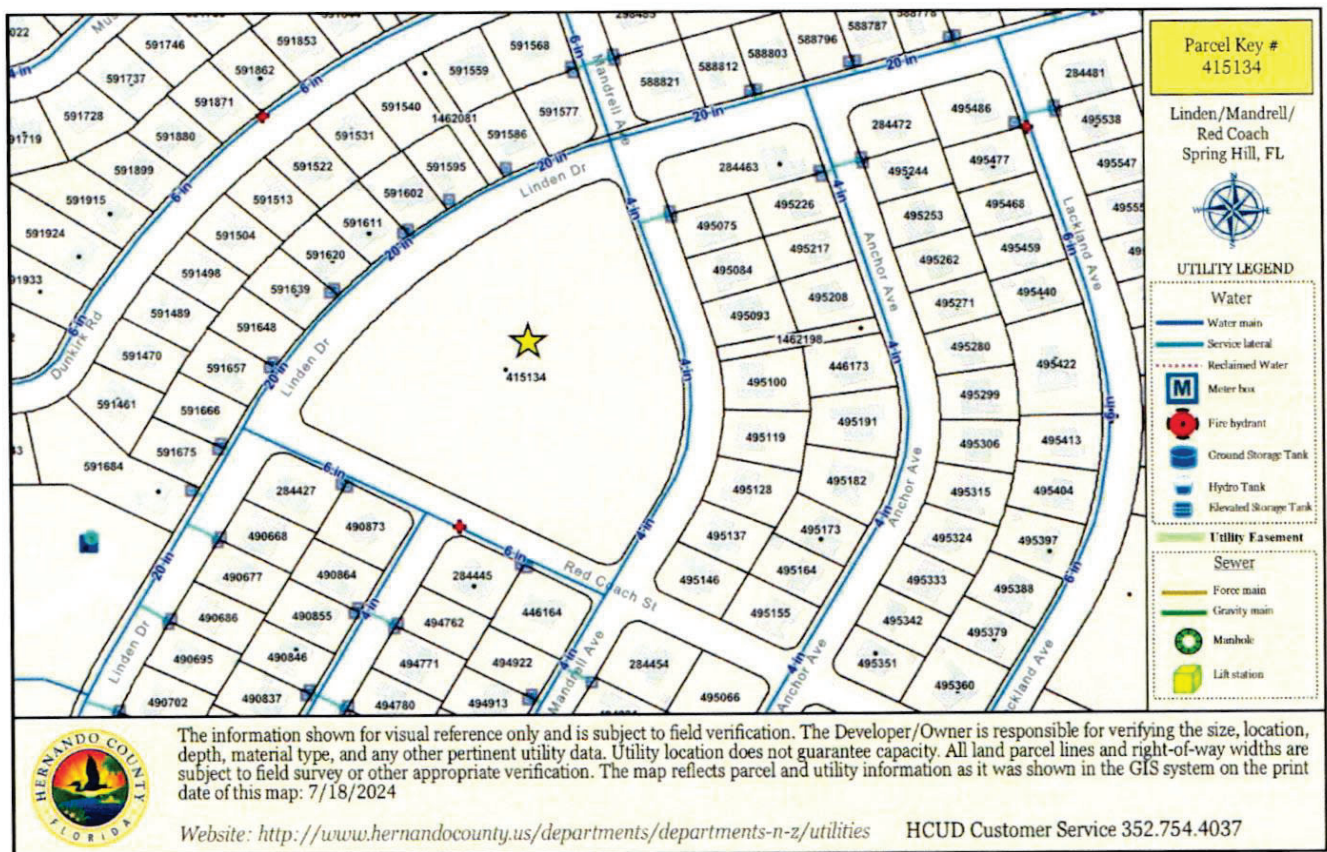
Soils: According to information found on the NRCS database, the existing soils are Candler fine sand. The soils are well drained soils, this is typical in this area.



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Sanitary Sewer: The future homes will be served by individual lot septic tanks. A calculation of the maximum density based on septic tanks is performed to determine the maximum lots. $5.3 \text{ acres} * 43560 \text{ sf/ac} = 230,868 \text{ sf} / 21,500 \text{ sf} = 11$, therefore 11 septic systems could be located on the subject property. The proposed subdivision will have 8 lots. Even though the eight lots would not be required to meet the 21,500 sf rule, we have designed each to meet that square footage.

Potable Water: HCUD has water facilities in the streets surrounding the project. Each individual lot would be required to request service connection to HCUD at the time of a building permit. There is no need to construct any additional water system to accommodate the proposed lots.



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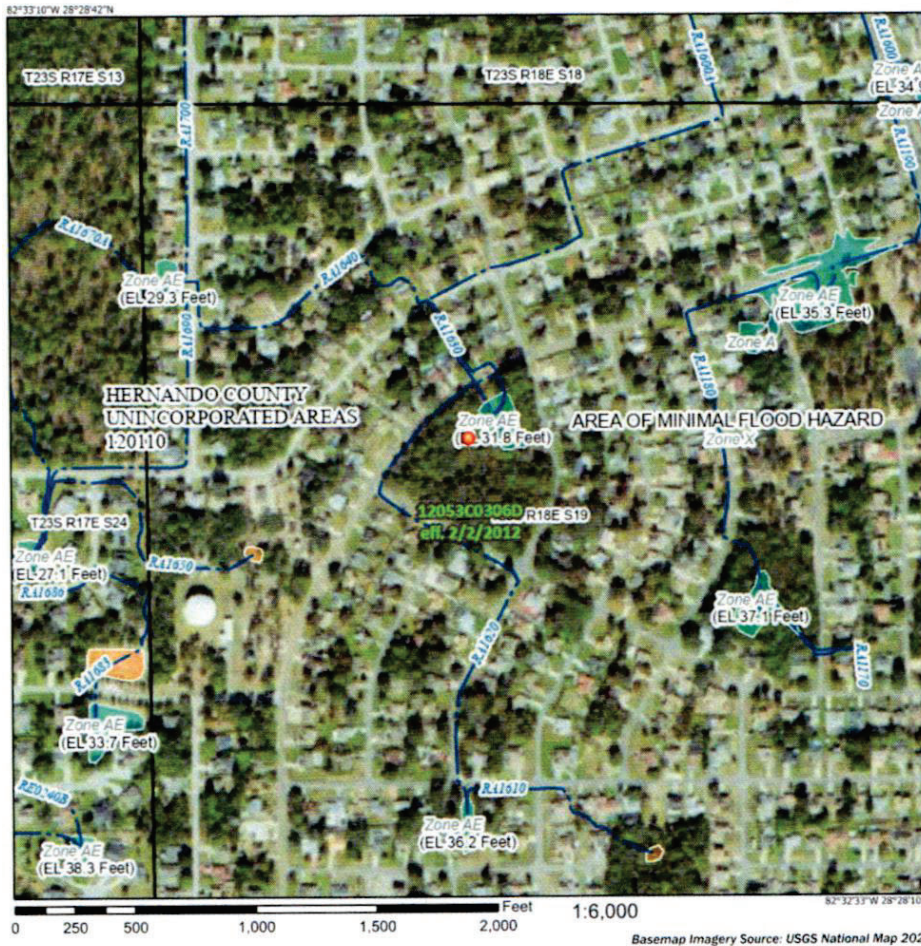
Environmental: The existing soils and vegetation support habitat for gopher tortoise. The Developer shall, prior to any construction, conduct a wildlife assessment. Available mapping and site inspection ensure there are no wetlands or surface waters on-site.



NARRATIVE FOR Hamburg Subdivision Rezoning September 2024

Floodplain: The project is located within the Weeki Wachee Basin. The FEMA map indicates the entire project is located in a Zone X, an area of minimal flooding with the exception of the existing retention area in the northeast corner. That area is denoted as AE Flood Zone with a 31.8 elevation. This area is not a wetland, nor surface water. It will be incorporated into the overall drainage design for the project, so as not to cause flood plain encroachment. When drainage modeling is performed, the basis of calculations shall be to no raise the flood elevation above the BFE of 31.8.

National Flood Hazard Layer FIRMette



Legend

- SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT
- Without Base Flood Elevation (BFE)
Zone A, V, AE0
 - With BFE or Depth Zone AE, AG, AH, VE, AR
 - Regulatory Floodway
 - 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone F
 - Future Conditions 1% Annual Chance Flood Hazard Zone F
 - Area with Reduced Flood Risk due to Levee. See Notes. Zone F
 - Area with Flood Risk due to Levee Zone D
 - NO SCREEN Area of Minimal Flood Hazard Zone X
 - Effective LOMRs
 - Area of Undetermined Flood Hazard Zone D
 - Channel, Culvert, or Storm Sewer
 - Levee, Dike, or Floodwall
 - Cross Sections with 1% Annual Chance Water Surface Elevation
 - Coastal Transect
 - Base Flood Elevation Line (BFE)
 - Limit of Study
 - Jurisdiction Boundary
 - Coastal Transect Baseline
 - Profile Baseline
 - Hydrographic Feature
 - Digital Data Available
 - No Digital Data Available
 - Unmapped
- MAP PANELS
- The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

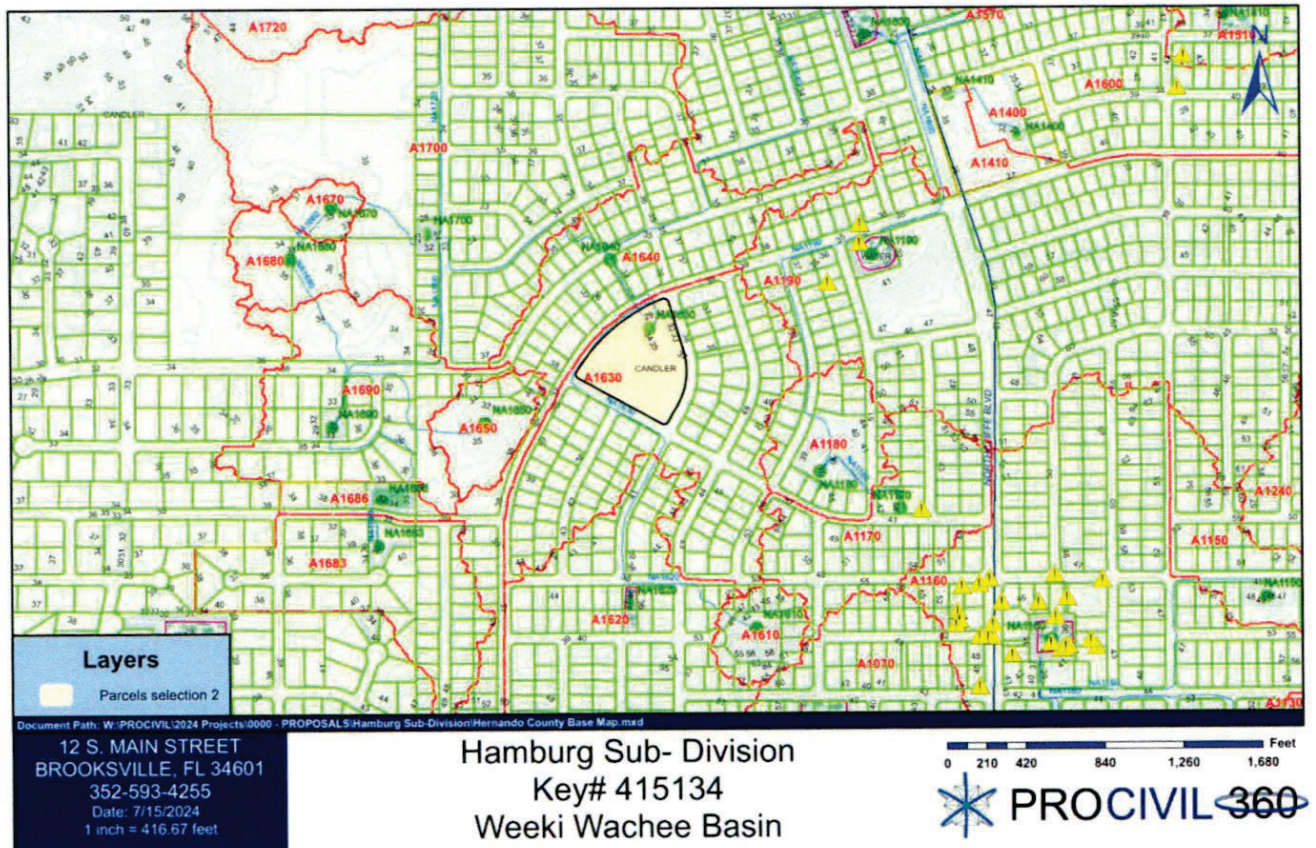
This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 7/15/2024 at 9:03 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

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Drainage: If approved, the project will be reviewed for drainage improvements and its effect on neighboring lands by Hernando County and the Southwest Florida Water Management District (SWFWMD). The site has no positive discharge. The surrounding properties and streets provide runoff to this existing retention area. The design modeling shall be for the entire 100 year – 24 hour event. This design incorporates the requirement of water quality capture and recovery. The re-constructed retention area will accept runoff from off-site sources, as it does at this time. The entire basin contributing runoff to this low area is approximately 37 acres. Therefore approximately 32 acres of off-site runoff is accepted and accounted for. Due to this, the existing retention is presumed to be required to be enlarged.



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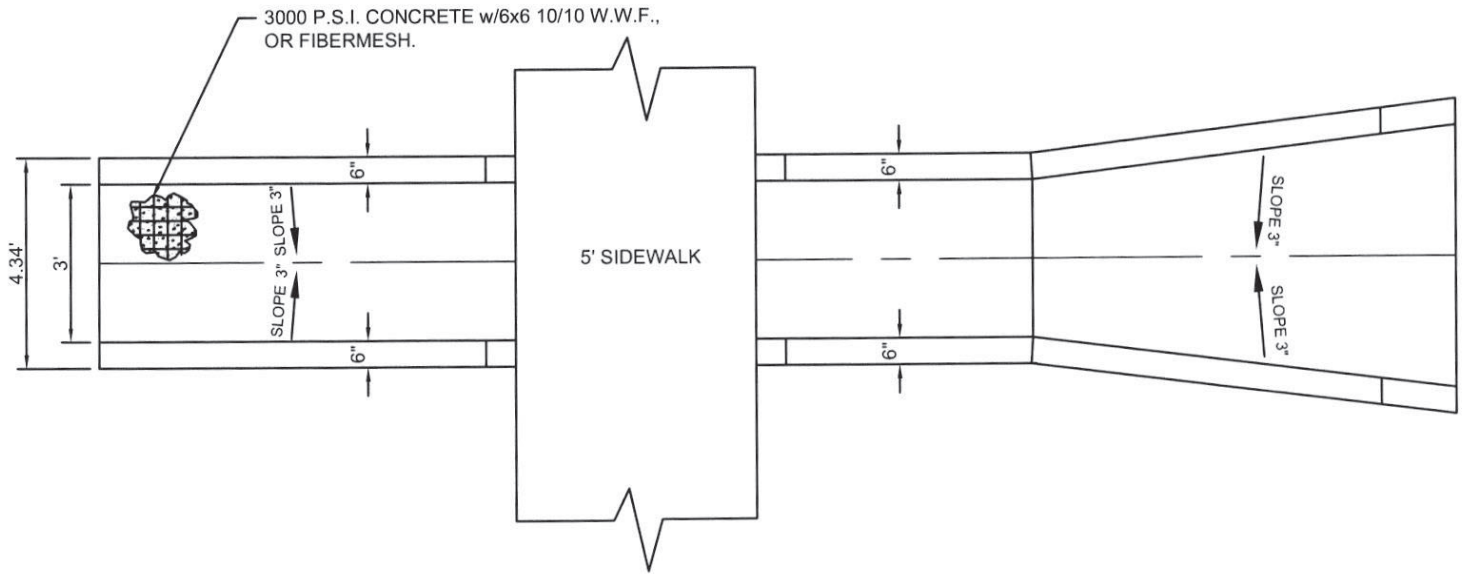
Streets: The surrounding streets exist. No new streets or right-of-ways will be required for this site.

Access: The site is accessed from Linden Drive, Red Coach, and Mandrell Avenue. Each individual lot will be responsible to apply for its own driveway permit through the County's right-of-way use permit.

Traffic: Based on the latest tables from the ITE manual, the proposed project may generate up to 8 Peak PM Trips. This will be further addressed at the time of concurrency.

Dedicated Public Improvements: There will be no dedicated improvements. The only construction necessary to develop these lots shall be the re-construction of the retention area to meet current rules and regulations. Once again, there will be **NO:**

1. New Streets
2. Water Distribution
3. Sewer Collection
4. Overall Drainage system.



NOTES:

1. 3/4" CHAMFER ON ALL EXPOSED CONCRETE EDGES.
2. ENERGY DISSIPATION REQUIRED ON ALL OUTFALLS AND SHALL BE DESIGNED BY THE ENGINEER OF RECORD.

PLAN VIEW

SIDEWALK CHASE DETAIL

NTS