

# COUNTY ADMINISTRATION OFFICE RENOVATION (PHASE 1)

23-T00040/AP Q22

County of Hernando  
15470 Flight Path Drive  
Brooksville, FL 34604



County of Hernando  
County Administration Office Renovation (Phase 1)

- I. Quote Instructions .....
- II. Scope of Work .....
- III. Pricing Proposal .....
- IV. Vendor Questionnaire.....

Attachments:

A - Sample Work Authorization Agreement

B - CA Office Reno Phase 1 Plans (CD)

## 1. Quote Instructions

### A. TIME OF COMPLETION:

- A. Vendor/Contractor agrees that the work will be substantially complete within days to substantial completion (45) calendar days after the commencement date indicated in the Notice to Proceed and ready for final payment within days to final completion (60) calendar days after the date indicated on the Notice to Proceed. Completion time includes material ordering lead times. Materials shall not be ordered by the Vendor/Contractor until the Notice to Proceed has been issued.

### B. LIQUIDATED DAMAGES:

- A. Vendor/Contractor hereby agrees that time is of the essence and that a precise determination of actual damages which could be incurred by the County for delay in the completion of the work provided herein would be difficult to ascertain. Accordingly the parties agree that the liquidated damages for those items of damage not otherwise provided for by the Quote Documents, for each and every day that the time consumed in completing the work provided for herein exceeds the time allowed in achieving Substantial Completion and/or Final Completion therefore shall be in accordance with the amount(s) of enter amount of one hundred fifty dollars (\$150.00). The parties specifically agree that the liquidated damages provided herein do not constitute a penalty. The amount of liquidated damages occasioned by the Vendor/Contractor's delay will be deducted and retained out of the monies payable to the Vendor/Contractor. If not so deducted the Vendor/Contractor and sureties for the Vendor/Contractor shall be liable thereof.

### D. PERFORMANCE AND PAYMENT BOND: - Not Required if Quote is under \$200,000

- A. A Performance and Payment Bond issued in a sum equal to one hundred (100%) percent of the total awarded Contract amount by a surety company considered satisfactory by the County and otherwise authorized to transact business in the State of Florida will be required from the successful Bidder for purposes of insuring the faithful performance of the obligations imposed by the resulting Contract and for purposes of protecting the County from lawsuits for non-payment of debts as might be incurred during the successful Bidder's performance under such Contract. When applicable, the performance and payment bond form will be included in the Contract Documents and said form must be properly executed by the surety company and successful Bidder within fifteen (15) calendar days after notification by the County of the County's intent to award the Contract.

- B. If, within fifteen (15) calendar days after notification by the County of the County's intent to award a Contract, the successful Bidder refuses or otherwise neglects to execute the required written Contract or fails to furnish the required Performance and Payment Bond, the amount of the Bidder's Bid security (check or Bid Bond) shall be forfeited and the same shall be retained by the County. No plea of mistake in the Bid or misunderstanding of the conditions of forfeiture shall be available to the Bidder for the recovery of his Bid security or as a defense to any action based upon the neglect or refusal to execute a written Contract.
  
- C. The surety company must provide an "Increase Rider" to the Performance and Payment Bond or execute the "Consent of Surety and Increase of Penalty" form provided by the County if the Contract is increased by change order.

## 2. Scope of Work

### 2.1. County Administration Office Renovation (Phase 1)

Create office area within large meeting room and three individual offices in existing storage room.

Work to be performed per plans and will include

- constructing new walls
- electrical to include
  - re-locate
  - modify
  - or add power & lighting,
- Mechanical
  - remove existing plenum & duct work,
  - install new plenum, ducts, & grills,
- Data
  - add chases in walls for data cabling,
- Ceiling
  - install wall molding and
  - relocate or install 2 & 4 foot ceiling grid tees.

Electrical, Building, and Mechanical Permits will be required.

### 3. Pricing Proposal

Line Item	Description	Quantity	Unit of Measure	Unit Cost	Total
1	Permitting	1	Lump Sum		
2	Mobilization	1	Lump Sum		
3	Materials and labor to construct new walls per plan	109	Per Lineal Foot		
4	Material and labor to re-locate, modify, and add power & lighting. Include Data chases in walls	1	Lump Sum		
5	Material and labor to remove existing plenum, ducts, and grills. Install new plenum, ducts and grills per plans	1	Lump Sum		
6	Material and labor to install ceiling wall moulding and relocate or add 2 & 4 four-foot ceiling grid tee's per plans	1	Lump Sum		
<b>TOTAL</b>					

## 4. Vendor Questionnaire

### 4.1. Bid Confirmation\*

The undersigned, hereinafter called “Bidder”, having visited the site of the proposed project and familiarized himself with the local conditions, nature and extent of the work, and having examined carefully the agreement form, General Conditions, Special Conditions, Supplementary Conditions for Federal/State Requirements, plans and specifications and other contract documents, with the bond requirements herein, proposed to furnish all labor, materials, equipment and other necessary items, facilities and services for the proper execution and completion of the subject project in full accordance with the drawings and specifications prepared in accordance with your Advertisement of Bids, instruction to bidders, agreement and all other documents related thereto on file in the office of the Hernando County Procurement Department and if awarded the Contract, to complete said work within the time limits specified for their bid price.

Please confirm

\*Response required



**BOARD OF COUNTY COMMISSIONERS  
HERNANDO COUNTY, FLORIDA  
SAMPLE WORK AUTHORIZATION AGREEMENT**

This Contract, entered into this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_, by and between the Hernando County Board of County Commissioners, hereafter called the COUNTY, and \_\_\_\_\_ hereinafter called the VENDOR/CONTRACTOR. Owner and Vendor/Contractor, in consideration of the mutual covenants hereinafter set forth, agree as follow:

**CONSTRUCTION SERVICES FOR PROJECTS UNDER \$500K - RFQ NO. 23-T00040/AP**

**PROJECT NAME AND QUOTE NUMBER**

**ARTICLE 1 – CONTRACT DOCUMENTS**

**1.01** The Vendor/Contractor shall furnish all labor, equipment and materials and perform the work per Construction Project in strict accordance with the General Conditions, Special Conditions, Supplementary Conditions, Exhibits, Plans, Specifications, and other Contract Documents, all of which are made a part hereof and designated as follows:

A. The Contract Documents for ITB 23-T00040/AP consist of the following:

**Solicitation-Offer-Award**

**Advertisement of Request for Qualifications**

**Definitions**

**Solicitation Document**

**General Conditions for Quotes**

**Special Conditions for Quotes**

**Construction Conditions**

**Scope of Work**

**Technical Specifications**

**Required Forms**

**Request for Quote – PROJECT NAME AND NUMBER**

**Work Authorization and Required Documents After Award**

**Construction Agreement and Required Documents After Award**

**Request for Quote Exhibits**

Exhibit A – General Requirements and Technical Specifications  
Exhibit B – Plans/Drawings

All addenda issued by the County prior to the receipt of Quotes and all supplementary drawings issued after award of the Contract become part of the Contract Document.

Amending and Supplementing Contract Documents:

The Contract Documents may be amended to provide for additions, deletions, and revisions in the work or to modify the terms and conditions thereof by Change Order.

The requirements of the Contract Documents may be supplemented, and minor variations and deviations in the work may be authorized, by one or more of the following ways:

1. A Field Order;
2. Engineer's approval of a shop drawing or sample; or -
3. Engineer's written interpretation or clarification per the provisions described in the Contract Documents.

In resolving such conflicts, errors and discrepancies, the documents shall be given preference in the following order: Agreement, Specifications, Drawings, Solicitation Instructions. Within the specifications the order of preference shall





# HERNANDO COUNTY FLORIDA BOARD OF COUNTY COMMISSIONERS

## COUNTY ADMINISTRATION OFFICE RENOVATION (PHASE 1)

### COUNTY COMMISSIONERS

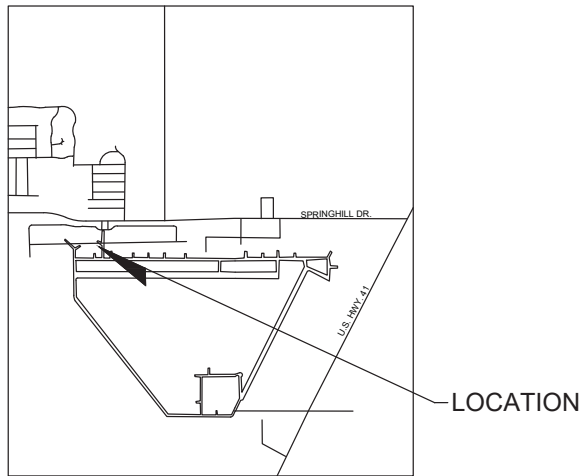
- DISTRICT 1 - RYAN AMSLER
- DISTRICT 2 - BRIAN HAWKINS
- DISTRICT 3 - JOHN ALLOCCO
- DISTRICT 4 - JERRY CAMPBELL
- DISTRICT 5 - STEVE CHAMPION

COUNTY ADMINISTRATOR - JEFF RODGERS

### DRAWING INDEX

#### SHEET NUMBER      DRAWING DESCRIPTION

- G0 COVER
- A0 ABBREVIATIONS AND GENERAL NOTES
- A1 BUILDING LAYOUT & AREA OF WORK
- A2 AREA OF WORK
- A3 NEW OVERALL LAYOUT
- A4 NEW WALLS
- A5 EXISTING REFLECTIVE CEILING
- A6 NEW REFLECTIVE CEILING
- A7 DETAILS
- M0 MECHANICAL LEGEND & NOTES
- M1 EXISTING MECHANICAL DEMOLITION
- M2 NEW MECHANICAL
- E0 ELECTRICAL LEGEND & NOTES
- E1 EXISTING POWER & DATA
- E2 NEW POWER & DATA
- E3 EXISTING LIGHTING
- E4 NEW LIGHTING
- E5 EXISTING PANEL SCHEDULE
- LS1 LIFE SAFETY EXITS & CALCULATIONS



PROJECT LOCATION MAP - N.T.S.

PARCEL R-Z HAI 182393 0000 0370  
HERNANDO COUNTY, FLORIDA

HERNANDO COUNTY  
B.O.C.C  
FACILITIES DIVISION  
1525 EAST JEFFERSON ST.  
BROOKSVILLE FL. 34601

Project Location:  
HERNANDO COUNTY  
ADMINISTRATION

15470 FLIGHT PATH DR.  
BROOKSVILLE FL. 34604

#### Revisions:

No.	Description	Date:



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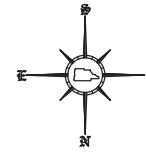
COVER

Drawing Number:

**G0**

Drawn by: SDB  
Scale:





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Revisions:

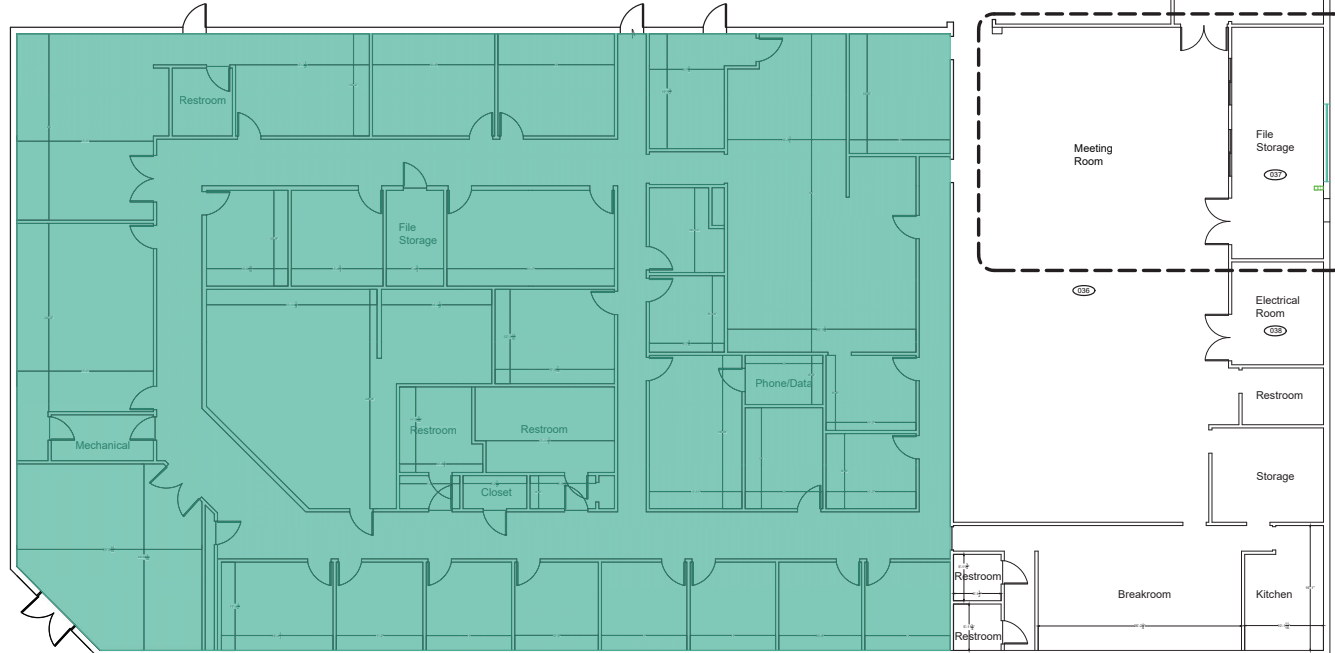
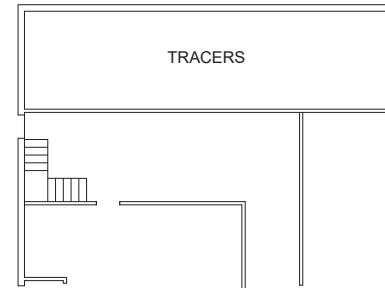
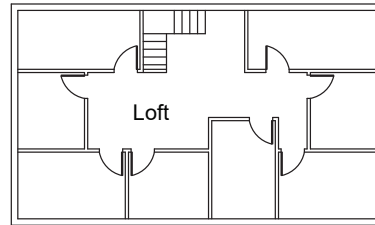
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Drawing Title:  
**BUILDING LAYOUT &  
AREA OF WORK**

Drawing Number:  
**A1**

Drawn by: SDB  
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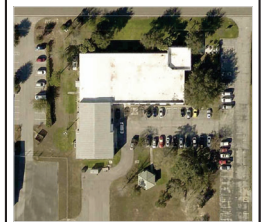
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Revisions:

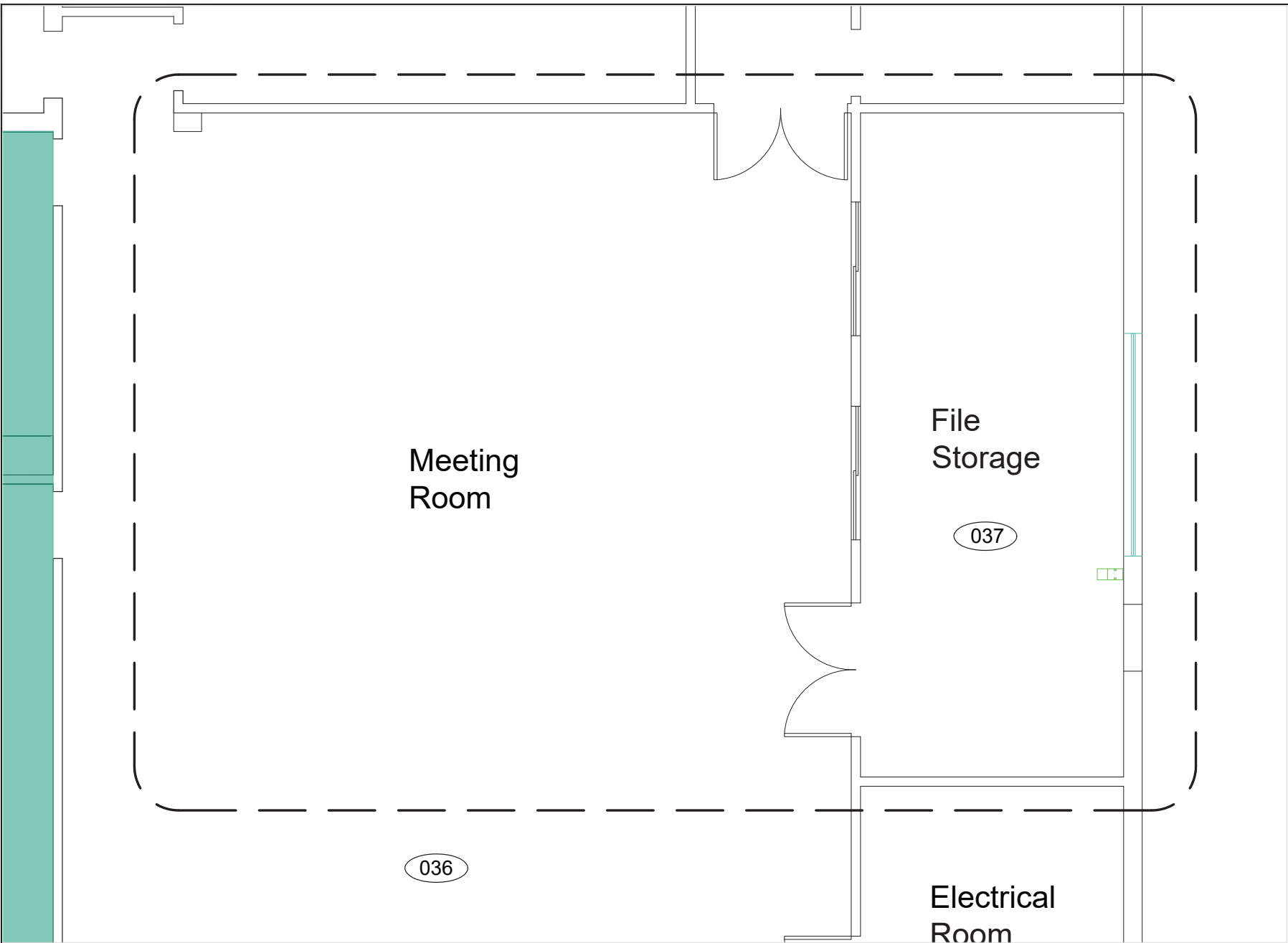
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Drawing Title:  
AREA OF WORK

Drawing Number:  
**A2**

Drawn by: SDB  
Scale: 1/4" = 1'



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ADMINISTRATION**

15470 FLIGHT PATH DR.  
BROOKSVILLE FL. 34604

Revisions:

No.	Description	Date:

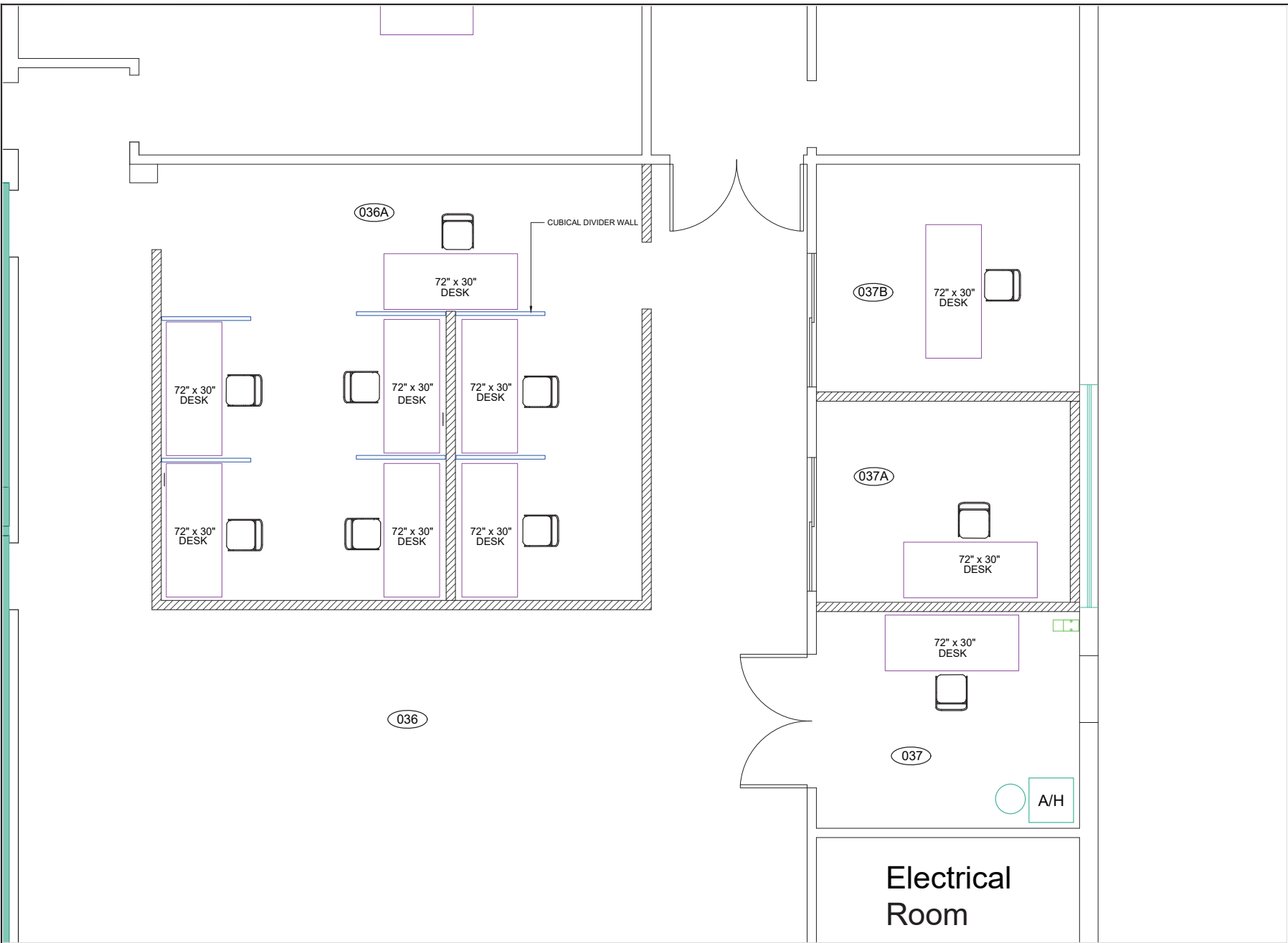


Drawing Title:  
**NEW OVERALL  
LAYOUT**

Drawing Number:

**A3**

Drawn by: SDB  
Scale: 1/4" = 1'



**Electrical  
Room**

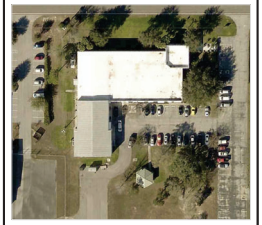
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15470 FLIGHT PATH DR.  
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Revisions:

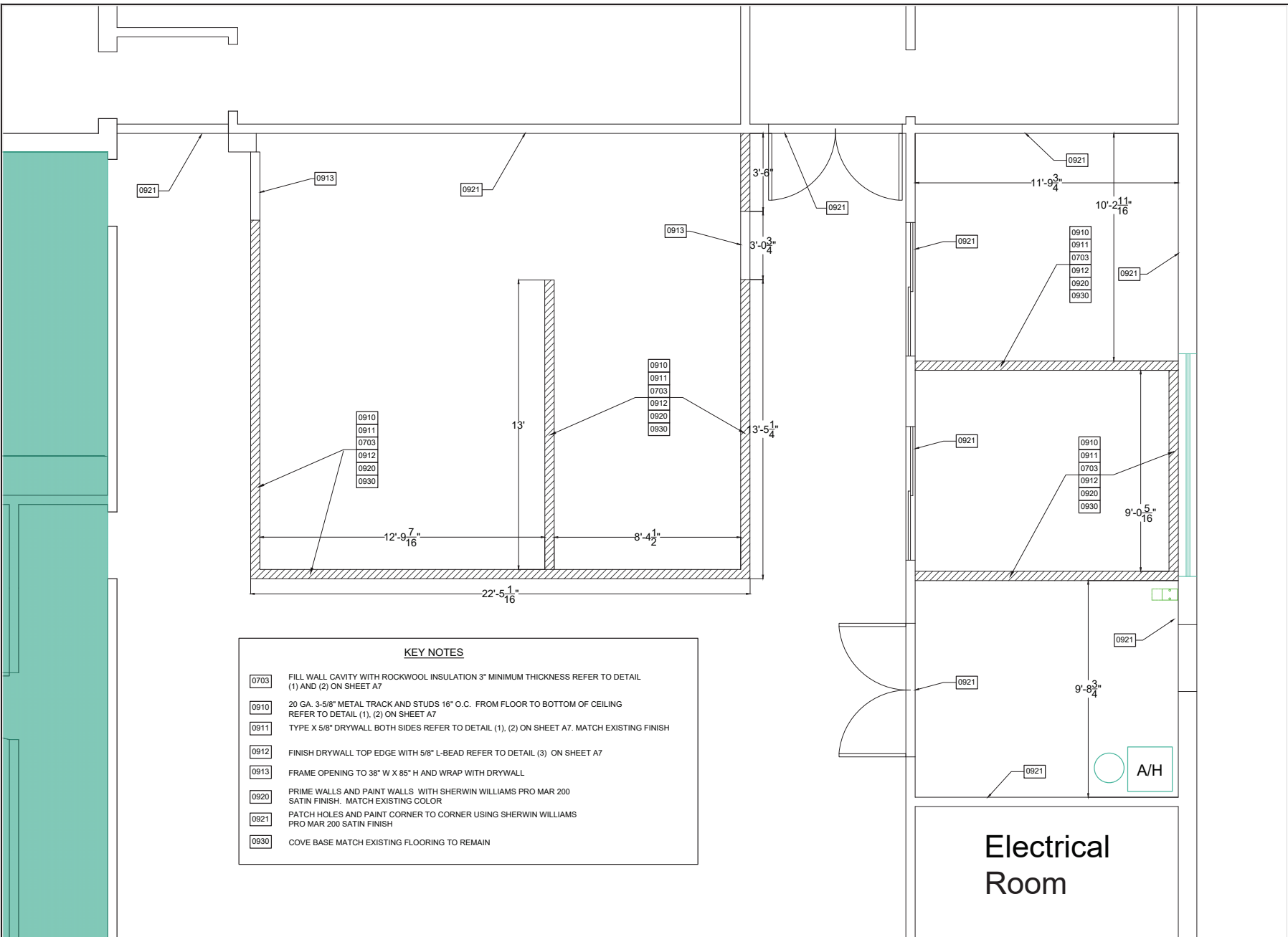
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Drawing Title:  
**NEW WALLS**

Drawing Number:  
**A4**

Drawn by: SDB  
 Scale: 1/4" = 1'



KEY NOTES

- [0703] FILL WALL CAVITY WITH ROCKWOOL INSULATION 3" MINIMUM THICKNESS REFER TO DETAIL (1) AND (2) ON SHEET A7
- [0910] 20 GA. 3-5/8" METAL TRACK AND STUDS 16" O.C. FROM FLOOR TO BOTTOM OF CEILING REFER TO DETAIL (1), (2) ON SHEET A7
- [0911] TYPE X 5/8" DRYWALL BOTH SIDES REFER TO DETAIL (1), (2) ON SHEET A7. MATCH EXISTING FINISH
- [0912] FINISH DRYWALL TOP EDGE WITH 5/8" L-BEAD REFER TO DETAIL (3) ON SHEET A7
- [0913] FRAME OPENING TO 38" W X 85" H AND WRAP WITH DRYWALL
- [0920] PRIME WALLS AND PAINT WALLS WITH SHERWIN WILLIAMS PRO MAR 200 SATIN FINISH. MATCH EXISTING COLOR
- [0921] PATCH HOLES AND PAINT CORNER TO CORNER USING SHERWIN WILLIAMS PRO MAR 200 SATIN FINISH
- [0930] COVE BASE MATCH EXISTING FLOORING TO REMAIN

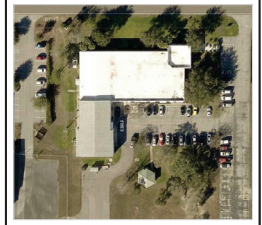
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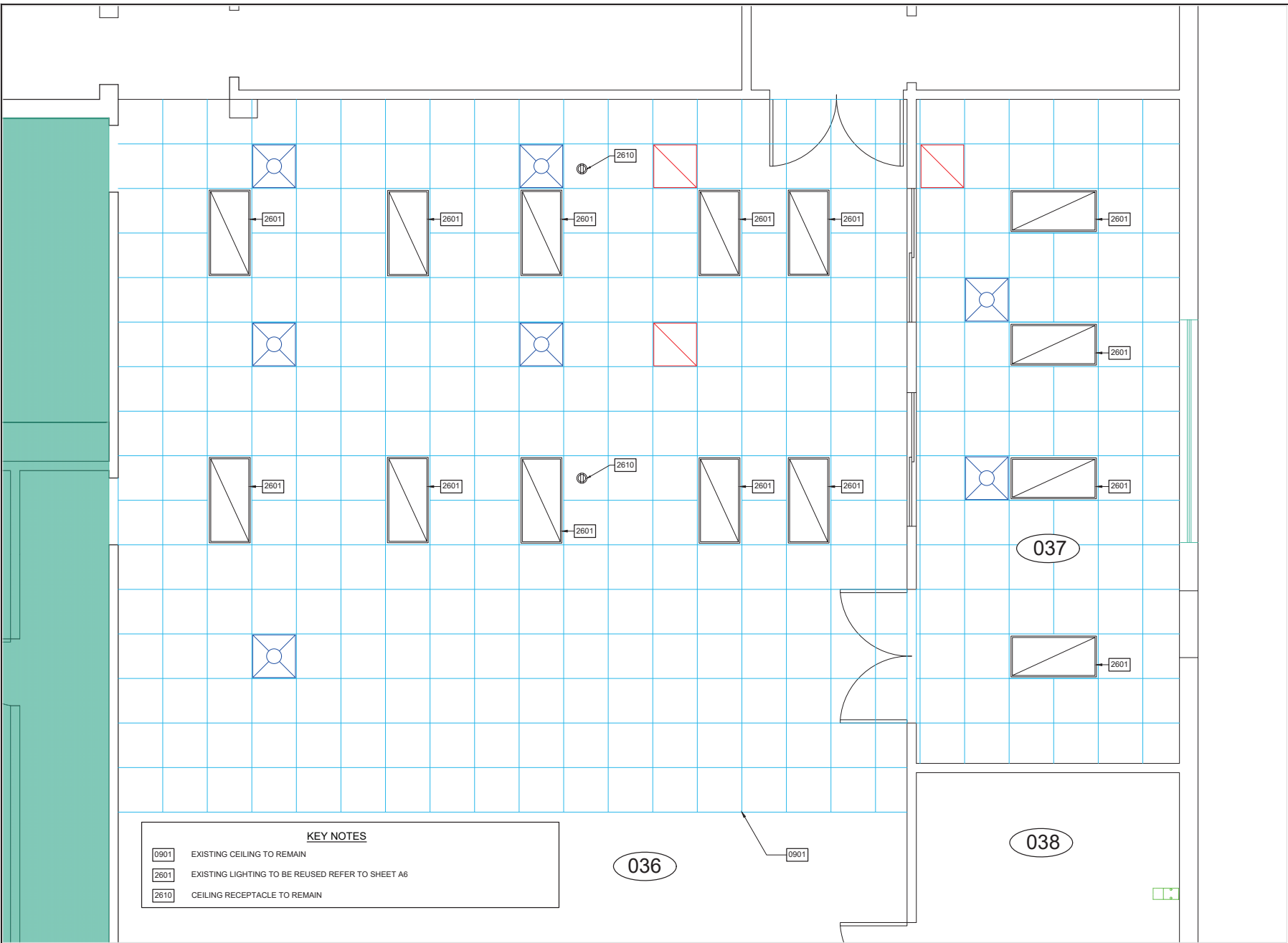
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Drawing Title:  
**EXISTING  
REFLECTIVE CEILING**

Drawing Number:  
**A5**

Drawn by: SDB  
Scale: 1/4" = 1'



**KEY NOTES**

0901 EXISTING CEILING TO REMAIN

2601 EXISTING LIGHTING TO BE REUSED REFER TO SHEET A6

2610 CEILING RECEPTACLE TO REMAIN

Revisions:

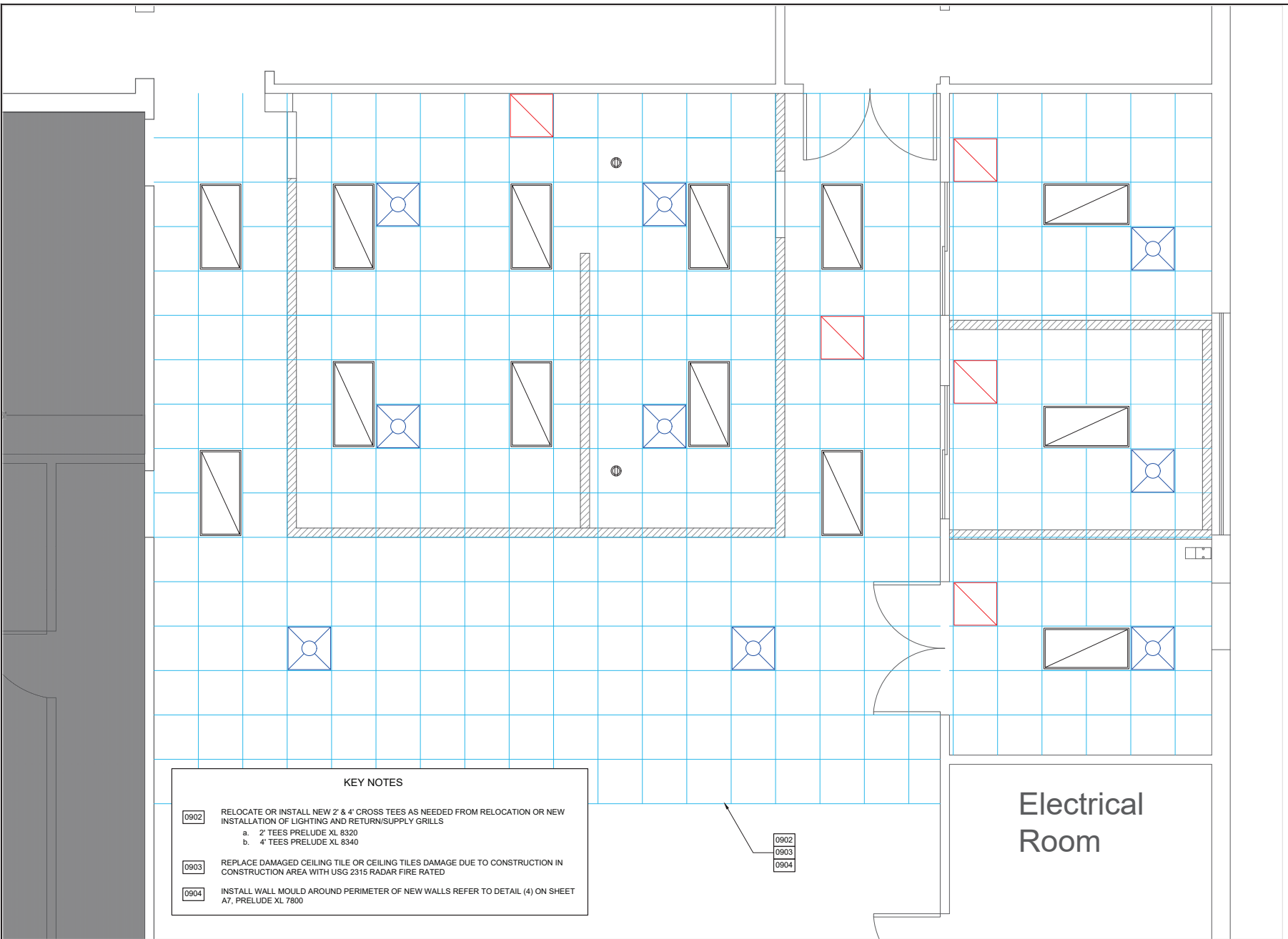
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Drawing Title:  
**NEW REFLECTIVE  
 CEILING**

Drawing Number:  
**A6**

Drawn by: SDB  
 Scale: 1/4" = 1'



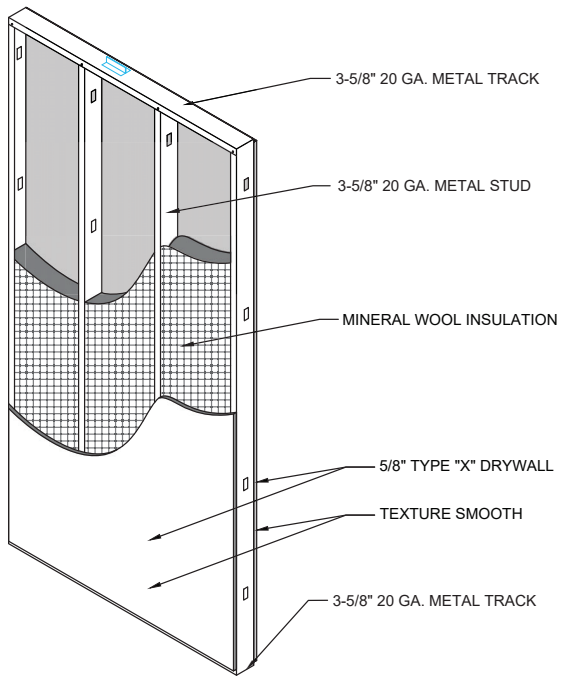
**KEY NOTES**

- 0902 RELOCATE OR INSTALL NEW 2' & 4' CROSS TEES AS NEEDED FROM RELOCATION OR NEW INSTALLATION OF LIGHTING AND RETURN/SUPPLY GRILLS
  - a. 2' TEES PRELUDE XL 8320
  - b. 4' TEES PRELUDE XL 8340
- 0903 REPLACE DAMAGED CEILING TILE OR CEILING TILES DAMAGE DUE TO CONSTRUCTION IN CONSTRUCTION AREA WITH USG 2315 RADAR FIRE RATED
- 0904 INSTALL WALL MOULD AROUND PERIMETER OF NEW WALLS REFER TO DETAIL (4) ON SHEET A7, PRELUDE XL 7800

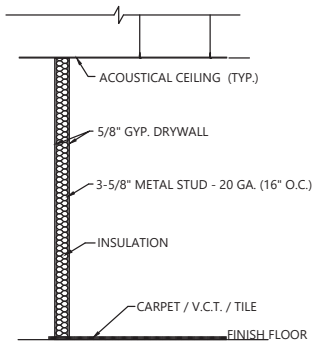
0902  
 0903  
 0904

**Electrical  
 Room**



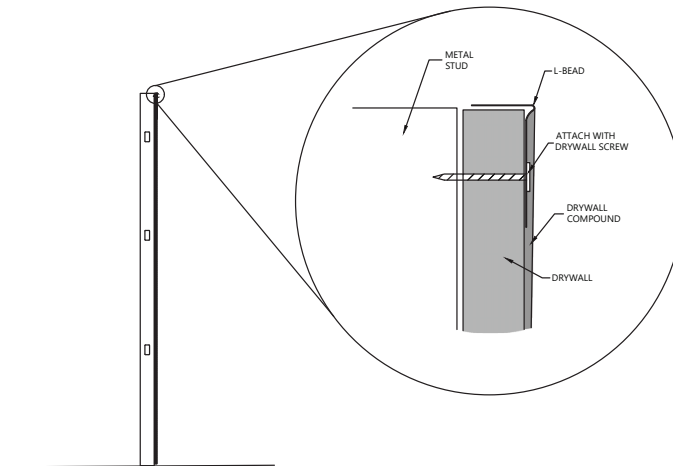


(1)



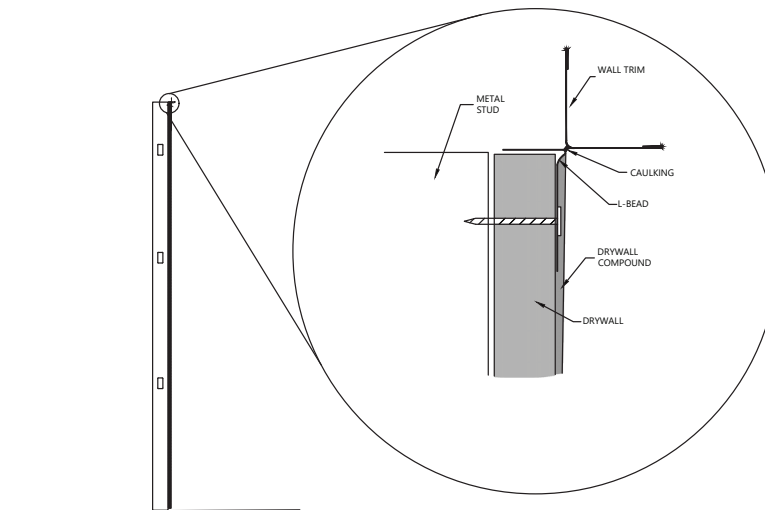
TYPICAL INTERIOR STUD WALL TO CEILING

(2)



L-Bead Detail  
ClarkDietrich #200-B (M20B)

(3)



ANGLED WALL MOULD DETAIL

(4)

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Revisions:

No.	Description	Date:



Drawing Title:  
DETAILS

Drawing Number:  
**A7**













Drawn by: SDB  
Scale: 1/4" = 1'

## HVAC ABBREVIATIONS

AFD	- ADJUSTABLE FREQUENCY DRIVE	MBH	- THOUSAND BTUs PER HOUR
AFF	- ABOVE FINISH FLOOR	MCA	- MINIMUM CIRCUIT AMPS
AFR	- ABOVE FINISH ROOF	MOCOP	- MAXIMUM OVER CURRENT PROTECTION
AJUH	- AIR HANDLING UNIT	MOD	- MOTOR OPERATED CONTROL DAMPER
AP	- ACCESS PANEL	NC	- NORMALLY CLOSED
BOP	- BOTTOM OF PIPE	NO	- NORMALLY OPEN
BHP	- BRAKE HORSEPOWER	NTS	- NOT TO SCALE
BTU	- BRITISH THERMAL UNIT	OA	- OUTDOOR AIR
CL	- CENTER LINE	OAL	- OUTSIDE AIR LOUVER
CFM	- CUBIC FEET PER MINUTE	PSI	- POUNDS PER SQUARE INCH
CD	- CEILING DIFFUSER	PVC	- POLYVINYL CHLORIDE PIPE
CT	- COOLING TOWER	RA	- RETURN AIR
CV	- CONSTANT AIR VOLUME	RHC	- REHEAT COIL
CU	- CONDENSING UNIT	RPM	- REVOLUTIONS PER MINUTE
DN	- DOWN	RS/L	- REFRIGERANT SUCTION AND LIQUID LINES
EAT	- ENTERING AIR TEMPERATURE	RTU	- ROOF TOP UNIT
ESP	- EXTERNAL STATIC PRESSURE	SA	- SUPPLY AIR
EWI	- ENTERING WATER TEMPERATURE	SP	- STATIC PRESSURE
FB	- FILTER BOX	TSP	- TOTAL STATIC PRESSURE
FCU	- FAN COIL UNIT	UNO	- UNLESS NOTED OTHERWISE
FD	- FIRE DAMPER	V/PH	- VOLTS / PHASE
FF	- FINAL FILTER	VAV	- VARIABLE AIR VOLUME
FLA	- FULL LOAD AMPS	VFD	- VARIABLE FREQUENCY DRIVE
FPM	- FEET PER MINUTE		
KW	- KILOWATT		
LAT	- LEAVING AIR TEMPERATURE		
LWT	- LEAVING WATER TEMPERATURE		
LD	- LINEAR DIFFUSER		

## HVAC LEGEND

NOTE: SOME SYMBOLS SHOWN ON THIS LEGEND MAY NOT PERTAIN TO THIS PROJECT.

	CEILING SUPPLY DIFFUSER
	CEILING RETURN
	CEILING EXHAUST
	THERMOSTAT / TEMPERATURE SENSOR
	HUMIDISTAT / HUMIDITY SENSOR
	CARBON DIOXIDE SENSOR
	ADJUSTABLE DAMPER
	EXISTING FLEX DUCT
	FLEX DUCT
	DUCT BOARD, FIRST DIMENSION IS WIDTH
	METAL DUCT, FIRST DIMENSION IS WIDTH
	DUCT BOARD TRI-BOX, DUCT SIZE TO DETERMINE TRI-BOX SIZE

## GENERAL HVAC NOTES

- CONNECTION TO EQUIPMENT SHALL BE VERIFIED WITH MANUFACTURER'S CERTIFIED DRAWINGS. TRANSITIONS TO ALL EQUIPMENT SHALL BE VERIFIED AND PROVIDED FOR EQUIPMENT FURNISHED.
- DIMENSIONS SHALL BE FIELD-VERIFIED AND COORDINATED PRIOR TO PROCUREMENT OR FABRICATION. COORDINATE THE WORK WITH OTHER TRADES INVOLVED. FIELD MODIFICATIONS SUCH AS OFFSETS IN PIPING OR DUCTWORK (INCLUDING DIVIDED DUCTWORK) NEEDED DUE TO OBSTRUCTIONS OR INTERFERENCE SHALL BE PROVIDED AT NO ADDITIONAL COST. FOR PROJECTS INVOLVING RENOVATION, COORDINATE NEW WORK WITH EXISTING ELEMENTS SUCH AS THE BUILDING STRUCTURE AND ARCHITECTURAL FEATURES, SPRINKLER PIPE, LIGHTS, PLUMBING, AND ELECTRICAL CONDUIT.
- DUCT CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SMACNA DUCT CONSTRUCTION STANDARD.
- PROVIDE AIR TURNING VANES IN ALL 90 DEGREE RECTANGULAR DUCT ELBOWS.
- DUCT SIZES AND ALL OPENINGS THROUGH BUILDING CONSTRUCTION SHALL SUIT EQUIPMENT FURNISHED.
- LOCATE THERMOSTATS, TEMPERATURE SENSORS, HUMIDISTAT, AND HUMIDITY SENSORS AT 48" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE. COORDINATE LOCATIONS WITH OTHER EQUIPMENT, FURNITURE, AND DOOR SWING
- ALL EQUIPMENT, DUCTWORK, ETC. SHALL BE SUPPORTED. PROVIDE ADDITIONAL SUPPORTS AS REQUIRED TO PROVIDE A VIBRATION-FREE, RIGID INSTALLATION.
- ALL DUCT SIZES SHOWN ARE INSIDE CLEAR DIMENSIONS.
- DAMPERS AND INSIDES OF DUCTS VISIBLE THROUGH GRILLES, REGISTERS AND DIFFUSERS SHALL BE PAINTED FLAT BLACK.
- REFER TO TYPICAL DETAILS FOR PIPING AND INSTALLATION OF EQUIPMENT.
- TRAPPED CONDENSATE DRAINS FROM ALL MECHANICAL EQUIPMENT SHALL BE PROVIDED FOR PROPER DRAINAGE TO SUIT EQUIPMENT FURNISHED.
- ACCESS PANELS IN DUCTWORK AND CEILING SHALL BE PROVIDED WHERE REQUIRED FOR OPERATION, BALANCING OR MAINTENANCE OF ALL MECHANICAL EQUIPMENT.
- ALL DUCTWORK AND PIPING IS SHOWN SCHEMATICALLY. PROVIDE ALL TRANSITIONS, TURNING VANES, ELBOWS, FITTING, ETC., TO ALLOW SMOOTH FLOWS. ALL SPLIT DUCT FITTINGS SHALL TRANSITION TO FULL SIZE OF THE SUM OF BOTH BRANCHES, UPSTREAM OF SPLIT.
- VERIFY FINISH WITH OWNER PRIOR TO PURCHASING GRILLES, REGISTERS, DIFFUSERS, LOUVERS AND OTHER AIR DISTRIBUTION DEVICES.
- PROVIDE FLEXIBLE DUCT CONNECTIONS ON ALL DUCTWORK CONNECTING TO EACH FAN, AIR HANDLING UNIT, AND FAN COIL UNITS.
- PROVIDE TRANSITIONS AT DIFFUSER NECKS AS REQUIRED TO MATCH SIZES OF FLEX DUCTS TO BE CONNECTED.
- ALL EQUIPMENT, DUCTWORK, ETC., TO BE REMOVED SHALL REMAIN PROPERTY OF THE OWNER OR DISPOSED OF LEGALLY, AS DIRECTED BY OWNER.
- MAINTAIN CLEARANCE OF A MINIMUM OF 6" BETWEEN DUCTWORK, PIPING, EQUIPMENT, ETC., AND ALL FIRE RATED AND FIRE/SMOKE RATED PARTITIONS, TO ALLOW FOR INSPECTIONS OF FIRE RATED WALLS.
- LOCATED ALL OUTSIDE AIR INTAKES A MINIMUM OF 10' CLEAR FROM ALL PLUMBING VENTS AND EXHAUST AIR DISCHARGE LOCATIONS.
- DUCT RUNOUTS TO DIFFUSERS SHALL MATCH THE SIZE OF THE DIFFUSER NECK. FLEX DUCT RUNOUTS SHALL BE A MAXIMUM OF 6' IN LENGTH. SUPPORT ALL RUNOUTS WITH APPROPRIATE HANGERS. FLEX DUCT SHALL NOT SAG OR BE CRIMPED.
- THE CONDENSATE DRAIN LINE SHALL HAVE A TRAP AT THE AIR HANDLING UNIT. TRAP SHALL BE FULL SIZE OF UNIT CONNECTION. PROVIDE CLEAN OUTS IN ALL CHANGES OF DIRECTION. MINIMUM PITCH 1/8" PER FOOT. CONDENSATE DRAIN SHALL RUN TO CONDENSATE OUTSIDE OR EXISTING DRYWELL. INSULATE ALL INTERIOR CONDENSATE PIPING WITH FLEXIBLE UNICELLULAR FOAM (ARMAFLEX OR EQUIVALENT) INSULATION TO PREVENT SWEATING. CONDENSATE DRAIN LINES AND TRAPS IN MECHANICAL ROOMS SHALL BE INSULATED COPPER OR PVC AND SHALL BE RIGIDLY SUPPORTED.
- AIR HANDLING UNITS SHALL HAVE AN AUXILIARY DRAIN PAN 3" LARGER THAN UNIT EACH WAY. DRAIN PAN SHALL HAVE A FLOAT SWITCH TO DE-ENERGIZE THE AHU IN EVENT OF A CONDENSATE OVERFLOW CONDITION.
- AIR HANDLING UNITS SHALL BE PLACED ON A 1/4" NEOPRENE PAD WITHIN AN AUXILIARY DRAIN PAN
- CONDENSING UNITS SHALL BE PLACED ON A CONCRETE PAD 6" THICK BY 6" LARGER EACH WAY THAN UNIT.
- CONCRETE SLAB/PAD IS TO HAVE NO CONTACT WITH ANY METAL PORTION OF THE EQUIPMENT OR THAT EQUIPMENT SUPPORT. PROVIDE 1/4" THICK RED OR BLACK, RUBBER PAD UNDER THE ENTIRE METAL SURFACE INTENDED TO REST ON THE CONCRETE PAD.
- ALL EXTERIOR FASTENERS, ANCHORS, SUPPORTS, AND MOUNTING HARDWARE SHALL BE NOT DIPPED GALVANIZED OR STAINLESS STEEL.
- PRIOR TO SUBSTANTIAL COMPLETION, A COMPLETED CERTIFIED TEST AND BALANCE REPORT SHALL BE SUBMITTED TO OWNER FOR REVIEW.
- ALL THERMOSTAT/WALL SENSORS SHALL BE LABELED WITH THE AH/CU MARK OF THE ITEM BEING CONTROLLED.
- ALL ADDITIONAL REQUIREMENTS SHALL BE NOTED IN PLANS OR SPECIFICATIONS.

SOME GENERAL MECHANICAL NOTES MAY NOT PERTAIN TO THIS PROJECT

HERNANDO COUNTY  
B.O.C.C  
FACILITIES DIVISION  
1525 EAST JEFFERSON ST.  
BROOKSVILLE FL. 34601

Project Location:

HERNANDO COUNTY  
ADMINISTRATION

15470 FLIGHT PATH DR.  
BROOKSVILLE FL. 34604

Revisions:

No.	Description	Date:



Drawing Title:

MECHANICAL LEGEND  
& NOTES

Drawing Number:

**MO**

Drawn by: SDB  
Scale: 1/4" = 1'

Revisions:

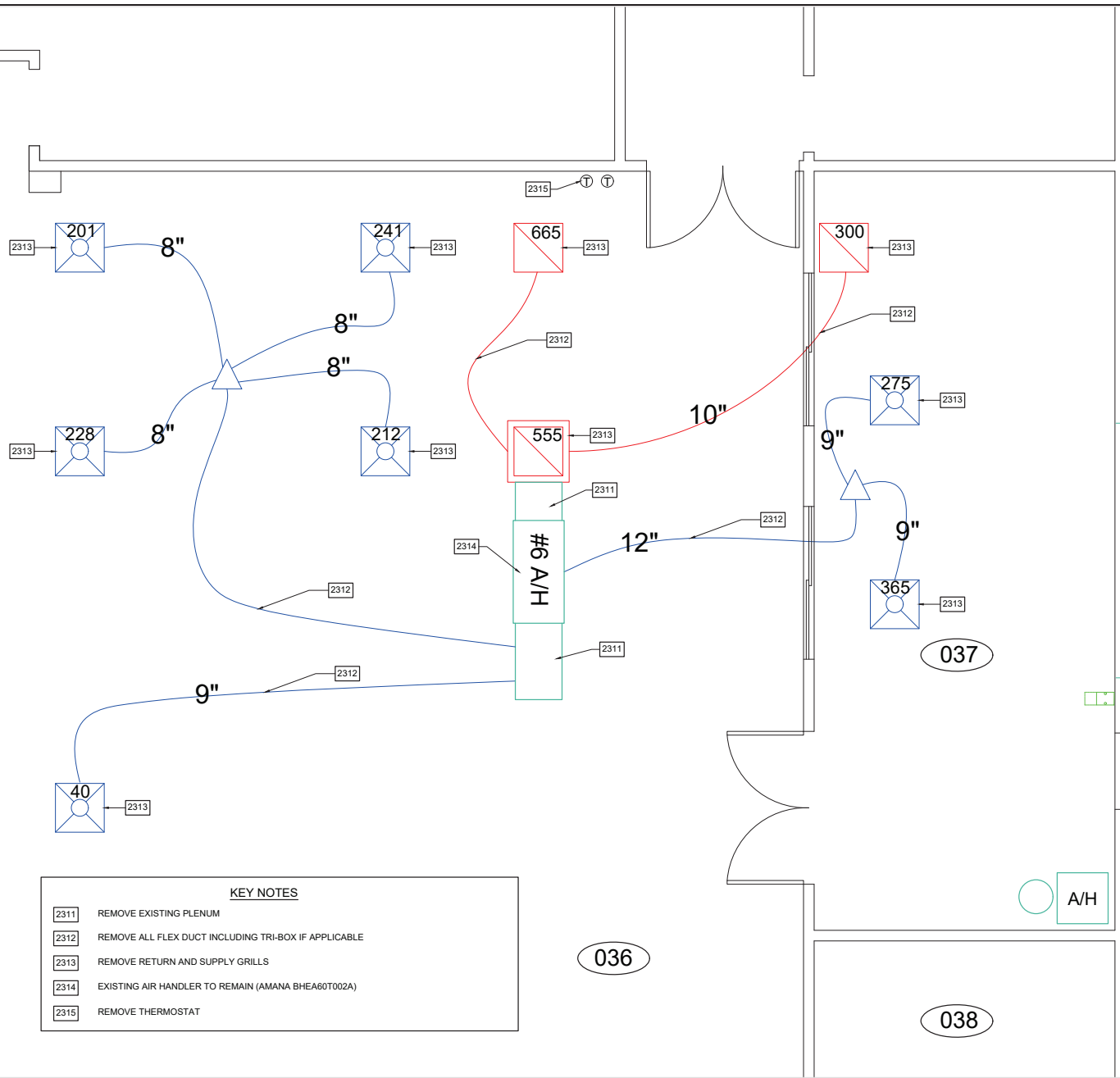
No.	Description	Date:



Drawing Title:  
**EXISTING MECHANICAL  
 DEMOLITION**

Drawing Number:  
**M1**

Drawn by: SDB  
 Scale: 1/4" = 1'



**KEY NOTES**

- 2311 REMOVE EXISTING PLENUM
- 2312 REMOVE ALL FLEX DUCT INCLUDING TRI-BOX IF APPLICABLE
- 2313 REMOVE RETURN AND SUPPLY GRILLS
- 2314 EXISTING AIR HANDLER TO REMAIN (AMANA BHEA60T002A)
- 2315 REMOVE THERMOSTAT

Revisions:

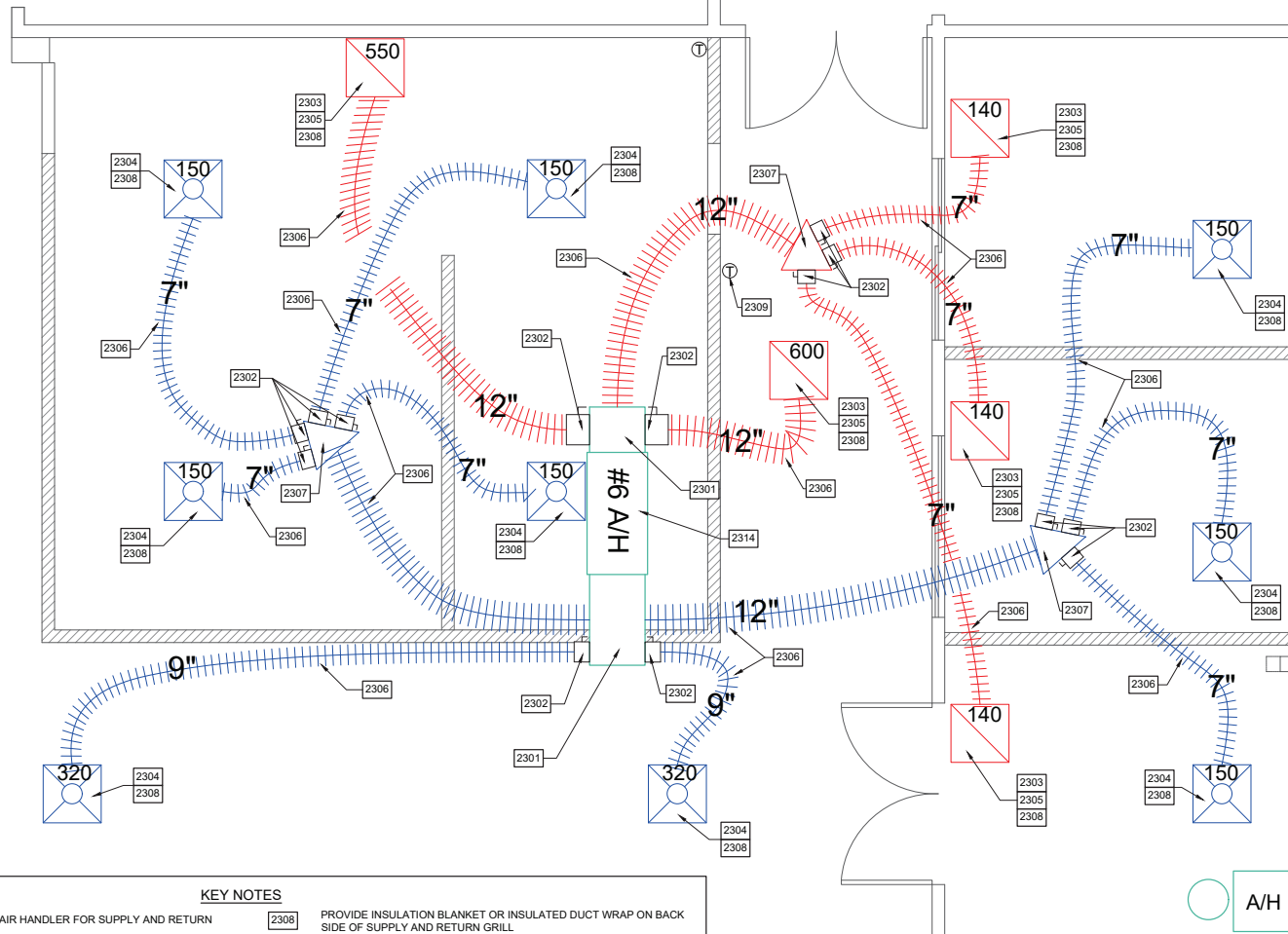
No.	Description	Date:



Drawing Title:  
**NEW MECHANICAL**

Drawing Number:  
**M2**

Drawn by: SDB  
Scale: 1/4" = 1'



KEY NOTES

- |      |   |      |   |
|------|---|------|---|
| 2301 | INSTALL NEW R6 PLENUM ON AIR HANDLER FOR SUPPLY AND RETURN  | 2308 | PROVIDE INSULATION BLANKET OR INSULATED DUCT WRAP ON BACK SIDE OF SUPPLY AND RETURN GRILL |
| 2302 | INSTALL BALANCING DAMPER                                    | 2309 | INSTALL NEW HONEYWELL T6 PRO PROGRAMMABLE THERMOSTAT AND NEW THERMOSTAT WIRE              |
| 2303 | PRICE INDUSTRIES MODEL PDR STEEL PERFORATED RETURN DIFFUSER | 2314 | EXISTING AIR HANDLER TO REMAIN (AMANA BHEA60T002A)  |
| 2304 | PRICE INDUSTRIES MODEL PDF STEEL PERFORATED SUPPLY DIFFUSER |      |   |
| 2305 | RADIATION DAMPER RUSKIN MODEL CFDR                          |      |   |
| 2306 | FLEX DUCT SHALL HAVE A MINIMUM RATING OF R6                 |      |   |
| 2307 | TRI-BOX TO BE SIZED ACCORDANTLY MINIMUM RATING OF R6        |      |   |

Electrical  
Room

# ELECTRICAL ABBREVIATIONS

NOTE: SOME ABBREVIATIONS SHOWN MAY NOT PERTAIN TO THIS PROJECT

A/C	- AIR CONDITIONING	KW	- KILOWATT
AC	- ALTERNATING CURRENT	KWH	- KILOWATT HOURS
ABV CLG	- ABOVE CEILING	LBS	- POUNDS
ADA	- AMERICANS WITH DISABILITIES ACT	LED	- LIGHT EMITTING DIODE
AF	- AMPERE FRAME	LP	- LIGHTNING PROTECTION
AFB	- ABOVE FINISH FLOOR	LT	- LIGHT
AFG	- ABOVE FINISH GRADE	LTG	- LIGHTING
AHU	- AIR HANDLER UNIT	MAX	- MAXIMUM
AIC	- AMPERE INTERRUPTING CAPACITY	MCA	- MINIMUM CIRCUIT AMPS
AL	- ALUMINUM	MCB	- MAIN CIRCUIT BREAKER
AMP	- AMPERE	MCC	- MOTOR CONTROL CENTER
ANSI	- AMERICAN NATIONAL STANDARD INSTITUTE	MCP	- MAIN SERVICE DISTRIBUTION PANEL
ASA	- AMERICAN STANDARDS ASSOCIATION	MIC	- MICROPHONE
AT	- AMPERE TRIP	MIN	- MINIMUM
ATS	- AUTOMATIC TRANSFER SWITCH	MLO	- MAIN LUGS ONLY
AUX	- AUXILIARY	MOCB	- MAXIMUM OVERCURRENT PROTECTION
AWG	- AMERICAN WIRE GAUGE	MSB	- MOUNTED
BC	- BARE COPPER	MTD	- MOUNTING
BIL	- BASIC IMPULSE LEVEL	MTR	- MOTOR
BAS	- BUILDING AUTOMATION SYSTEM	MTS	- MANUAL TRANSFER SWITCH
BMS	- BUILDING MANAGEMENT SYSTEM	MVA	- MEGA VOLT AMPS
BRK	- BREAKER	N	- NEUTRAL
C	- CONDUIT OR RACEWAY	NC	- NORMALLY CLOSED
CAB	- CABINET	NEC	- NATIONAL ELECTRICAL CODE
CKT	- CIRCUIT	NEMA	- NATIONAL ELECTRICAL MANUFACTURES ASSOCIATION
CBM	- CERTIFIED BALLAST MANUFACTURES	NFPA	- NATIONAL FIRE PROTECTION ASSOCIATION
CATV	- CABLE TELEVISION	NF	- NON-FUSED
CCTV	- CLOSED CIRCUIT TELEVISION	NE	- NON-LEAD
CLEC	- CLOCK EQUIPMENT CABINET	NO	- NORMALLY OPEN
COAX	- COAXIAL CABLE	OL	- OVERLOAD
COND	- CONDUCTOR	OSHA	- OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION
CONN	- CONNECTION	P	- POLE
CPU	- CENTRAL PROCESSING UNIT	PB	- PULL BOX
CT	- CURRENT TRANSFORMER	PF	- POWER FACTOR
CU	- COPPER	PNL	- PANEL
DC	- DIRECT CURRENT	PR	- PAIR
DEG	- DEGREE	PRI	- PRIMARY
DF	- DEMAND FACTOR	PWR	- POWER
DISC	- DISCONNECT	REC	- RECEPTACLE
DISC SW	- DISCONNECT SWITCH	RGS	- RIGID GALVANIZED STEEL CONDUIT
DN	- DOWN	RLA	- RUNNING LOAD AMPERES
DPST	- DOUBLE POLE SINGLE THROW	RMS	- ROOT-MEANS-SQUARE
EDH	- ELECTRIC DUCT HEATER	RPM	- REVOLUTIONS PER MINUTE
EMT	- ELECTRIC METALLIC TUBING	RTU	- ROOF TOP UNIT
EO	- ELECTRICALLY OPERATED	SCA	- SHORT CIRCUIT AMPERES
EOL	- END OF LINE	SD	- SMOKE DETECTOR
ETL	- EXISTING TO REMAIN	SEC	- SECONDARY
EWC	- ELECTRIC WATER COOLER	S/N	- SOLID NEUTRAL
FA	- FIRE ALARM	SPD	- SURGE PROTECTIVE DEVICE
FAAP	- FIRE ALARM ANNUNCIATOR PANEL	SPKR	- SPEAKER
FATC	- FIRE ALARM TERMINAL CABINET	SPST	- SINGLE POLE SINGLE THROW
FBC	- FLORIDA BUILDING CODE	SS	- STAINLESS STEEL
FCL	- FAN COIL UNIT	SST	- SOLID STATE TRIP
FLA	- FULL LOAD AMPERES	STD	- SHORT TIME TRIP
FPL	- FAN POWERED UNIT	SW	- SWITCH
FT	- FEET OR FOOT	SWB	- SWITCHBOARD
GF	- GROUND FAULT	SWGR	- SWITCH GEAR
GFA	- GROUND FAULT ALARM	TEL	- TELEPHONE
GFCI	- GROUND FAULT CIRCUIT INTERRUPTER	TRANS	- TRANSFORMER
GND	- GROUND	TV	- TELEVISION
HP	- HORSEPOWER	TYP	- TYPICAL
HOA	- HAND-OFF-AUTOMATIC	UG	- UNDERGROUND
HORIZ	- HORIZONTAL	UON	- UNLESS OTHERWISE NOTED
IC	- INTERCOM	UL	- UNDERWRITERS LABORATORIES
IEEE	- INSTITUTE OF ELECTRICAL AND ELECTRONIC ENGINEERS	VA	- VOLT AMPERE
IN	- INCHES	W	- WIRE
IT	- INSTANTANEOUS TRIP	WP	- WEATHER PROOF
JB	- JUNCTION BOX		
KV	- KILOVOLT		
KVA	- KILOVOLT AMPERES		

# GENERAL ELECTRICAL NOTES

NOTE: SOME GENERAL NOTES SHOWN MAY NOT PERTAIN TO THIS PROJECT

- ALL ELECTRICAL WORK SHALL MEET ALL OF THE REQUIREMENTS OF THE FLORIDA BUILDING CODE (FBC) 8TH EDITION (2023), THE CODE INCLUDES THE 2020 FBC BUILDING, MECHANICAL, PLUMBING, FUEL GAS AND ENERGY CONSERVATION VOLUMES, 2017 NATIONAL ELECTRIC CODE, AND 7TH EDITION OF THE FLORIDA FIRE PREVENTION CODE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND VERIFY THE EXISTING CONDITIONS TO GAIN KNOWLEDGE OF THE SCOPE OF WORK INVOLVED.
- "PROVIDE" SHALL MEAN "FURNISH AND INSTALL"
- IN GENERAL THESE DRAWINGS ARE SCHEMATIC IN NATURE AND SHOULD NOT BE SCALED. IT SHALL NOT BE INTENT OF THESE PLANS AND / OR SPECIFICATION TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. PROVIDE ALL ITEMS NECESSARY FOR A COMPLETE AND OPERATIONAL SYSTEM.
- ELECTRICAL INSTALLATION SHALL BE COORDINATED WITH ALL OTHER TRADES. NO COST SHALL BE ASSOCIATED WITH ILL-TIMED INSTALLATION INCLUDING ANY REPAIRS OR REPLACEMENTS.
- ALL CONDUIT AND BOXES SHALL BE CONCEALED UNLESS OTHERWISE NOTED. ALL CONDUIT RUNS ARE SCHEMATIC IN NATURE. EXACT ROUTING TO BE DETERMINED IN THE FIELD UNLESS OTHERWISE NOTED.
- APPLY A BITUMASTIC COATING FOR ALL CONDUITS PENETRATING FLOOR SLABS FROM BELOW GRADE.
- PROVIDE ALL REQUIRED PULL BOXES, JUNCTION BOXES, ETC. FOR A COMPLETE INSTALLATION.
- PATCH, REPAIR AND REPAINT ALL WALLS THAT HAVE BEEN DAMAGED DUE TO ELECTRICAL ROUGH-IN. REMOVE ANY UNUSED CONDUIT AND WIRE.
- PROVIDE FIRE=STOPPING AT ALL FIRE WALL PENETRATIONS. USE A U.L. APPROVED SYSTEM LISTED FOR THE ASSOCIATED INSTALLATION.
- ALL CIRCUITS SHALL CONTAIN A SEPARATE, GREEN, COPPER GROUNDING CONDUCTOR.
- ALL RECEPTACLES SHALL HAVE A GROUND TERMINAL.
- WHEN REUSING OR EXTENDING EXISTING CIRCUITS, VERIFY ALL CIRCUIT NUMBERS AND VERIFY ANY EXISTING LOAD. CIRCUITS MAY BE PICKED UP AT AN EXISTING JUNCTION BOX IF AVAILABLE RATHER THAN PROVIDING A SEPARATE HOMERUN TO A PANEL.
- PANEL BOARDS SHALL BE ACCURATELY LABELED TO IDENTIFY FINAL CIRCUIT NUMBER UTILIZED, THEIR LOAD AND LOCATION.
- PROVIDE SEPARATE NEUTRAL CONDUCTOR FOR ALL 120V SINGLE POLE CIRCUITS PER NEC ARTICLE 210.4. BREAKER HANDLE TIES ARE UNACCEPTABLE.
- PROVIDE FIRE RETARDANT U.L. APPROVED SEALANT ON ALL PENETRATIONS OF FIRE RATED PARTITIONS, WALLS AND STRUCTURAL SLABS.

# ELECTRICAL LEGEND

NOTE: SOME SYMBOLS SHOWN ON THIS LEGEND MAY NOT PERTAIN TO THIS PROJECT

	NOTE: DIAGONAL MARKS INDICATED ON DEVICE CONNECTED TO EMERGENCY CIRCUIT		BRANCH CIRCUIT BOARD, OVER 240 VOLTS, SURFACE MOUNTED
	SINGLE POLE SWITCH		BRANCH CIRCUIT BOARD, OVER 240 VOLTS, FLUSH MOUNTED
	THREE-WAY SWITCH		BRANCH CIRCUIT BOARD, UNDER 240 VOLTS, SURFACE MOUNTED
	FOUR-WAY SWITCH		BRANCH CIRCUIT BOARD, UNDER 240 VOLTS, FLUSH MOUNTED
	SINGLE RECEPTACLE		LED OR FLUORESCENT FIXTURE 2'X4' LAY-IN <small>(DIAGONAL HALF SHADE INDICATE FIXTURE TO EMERGENCY CIRCUIT OR PROVIDE INTEGRAL EMERGENCY BATTERY PACK) NOTE: 247 INDICATES LIGHT TO BE ON AT ALL TIMES</small>
	DUPLEX RECEPTACLE		LED OR FLUORESCENT FIXTURE 2'X2' LAY-IN <small>(DIAGONAL HALF SHADE INDICATE FIXTURE TO EMERGENCY CIRCUIT OR PROVIDE INTEGRAL EMERGENCY BATTERY PACK) NOTE: 247 INDICATES LIGHT TO BE ON AT ALL TIMES</small>
	TWO DUPLEX RECEPTACLE (QUAD) WITH COMMON PLATE		LINEAR LED, FLUORESCENT WALL OR CEILING MOUNTED
	DUPLEX RECEPTACLE MOUNTED ABOVE CEILING		EXTERIOR PEDESTRIAN SIDEWALK BOLLARD OR POST-TOP LIGHT FIXTURE
	TWP DUPLEX RECEPTACLE (QUAD) MOUNTED ABOVE CEILING		LED, FLUORESCENT, HID, RECESSED, PENDANT OR SURFACE CEILING
	DUPLEX RECEPTACLE EACH RECEPTACLE ON SEPARATE CIRCUIT		LED, FLUORESCENT, HID WALL MOUNT
	SPLIT WIRE CONTROLLED DUPLEX RECEPTACLE		EMERGENCY TWIN-HEAD LIGHT WITH INTEGRAL BATTERY PACK, WALL MOUNTED
	GFCI RECEPTACLE: "WP" INDICATES CAST METAL "IN-USE" WATERPROOF COVER, WEATHER-RESISTANT LISTED		EXIT LIGHT CEILING MOUNTED ( DIRECTIONAL ARROWS AS INDICATED, SHADED QUADRANT INDICATES FACE(S) OF FIXTURE)
	TWO GFCI RECEPTACLE (QUAD) WITH COMMON COVER PLATE		EXIT LIGHT WALL MOUNTED ( DIRECTIONAL ARROWS AS INDICATED, SHADED QUADRANT INDICATES FACE(S) OF FIXTURE)
	DUPLEX RECEPTACLE, CEILING MOUNTED		DISCONNECT SWITCH, SIZE/FUSE# OF POLES
	TWO DUPLEX RECEPTACLE, CEILING MOUNTED		TRANSFORMER
	FLOOR BOX WITH DUPLEX RECEPTACLE WITH APPROPRIATE FLANGE		AUTOMATIC TRANSFER SWITCH
	FLOOR BOX, TWO DUPLEX RECEPTACLE (QUAD) WITH APPROPRIATE FLANGE		GENERATOR
	RECEPTACLE, 1PH-125/240V, AMP/VOLT/POLE		LIGHTING CIRCUIT (HIGH OR LOW VOLTAGE-PANEL NUMBER) (CIRCUIT NUMBER)
	SPECIAL PURPOSE RECEPTACLE, NEMA CONFIGURATION AS NOTED		POWER CIRCUIT (HIGH OR LOW VOLTAGE-PANEL NUMBER) (CIRCUIT NUMBER)
	JUNCTION BOX		EMERGENCY CIRCUIT (HIGH OR LOW VOLTAGE-PANEL NUMBER) (CIRCUIT NUMBER)
	POWER POLE JUNCTION BOX IN CEILING		WALL MOUNTED EXHAUST FAN
	DATA WALL BOX (NUMBER IN SYMBOL INDICATES NUMBER OF PORTS)		
	DATA CEILING BOX (NUMBER IN SYMBOL INDICATED NUMBER OF PORTS)		
	TELEPHONE		
	TELEVISION WALL BOX		
	PULL BOX		
	CARD READER		
	CAMERA		

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ADMINISTRATION**

15470 FLIGHT PATH DR.  
BROOKSVILLE FL. 34604

Revisions:

No.	Description	Date:



Drawing Title:  
**ELECTRICAL LEGEND  
& NOTES**

Drawing Number:  
**E0**

Drawn by: SDB  
Scale: 1/4" = 1'

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Revisions:

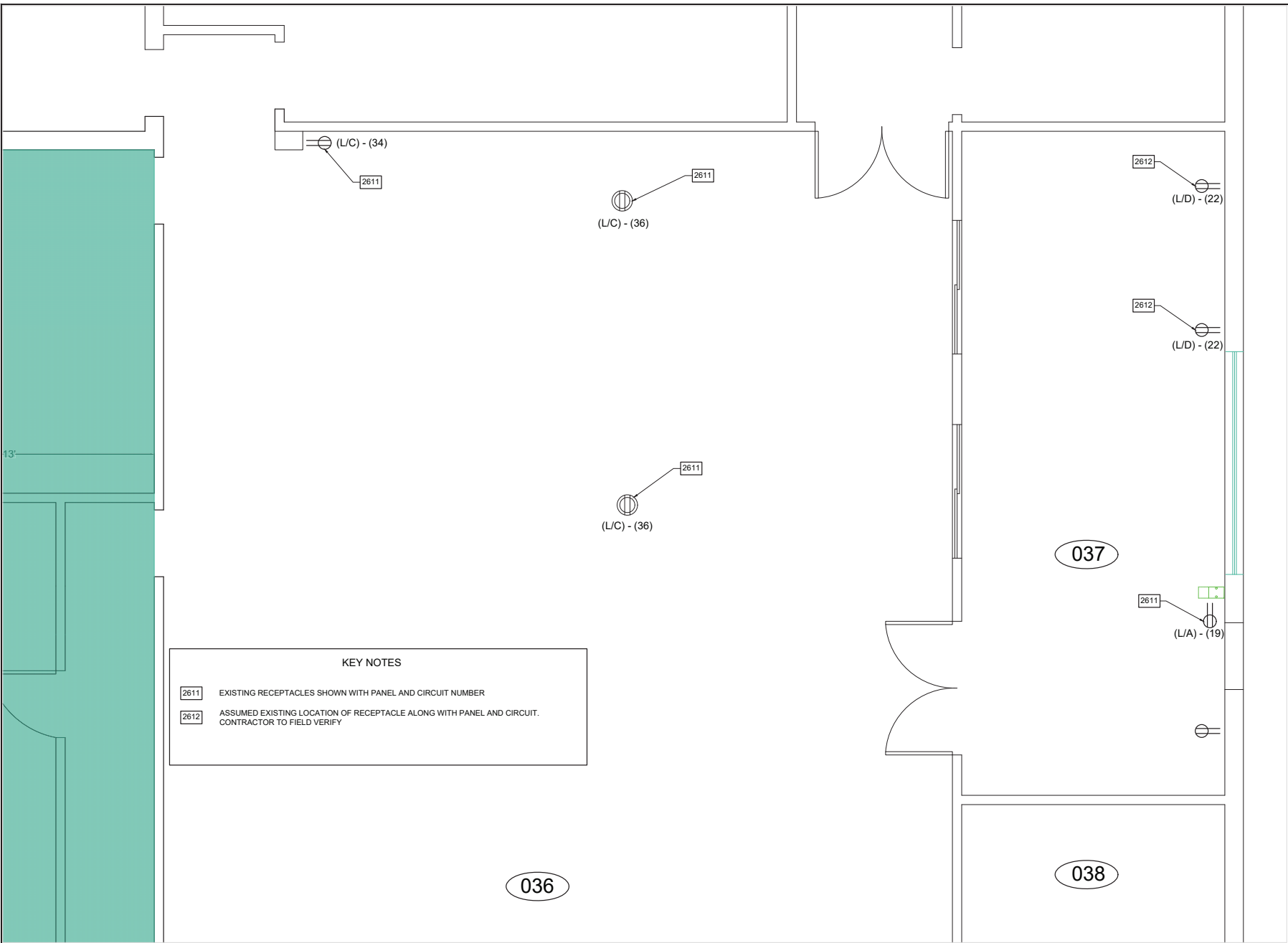
No:	Description	Date:



Drawing Title:  
**EXISTING POWER &  
DATA**

Drawing Number:  
**E1**

Drawn by: SDB  
Scale: 1/4" = 1'



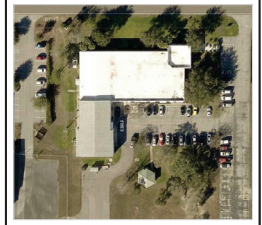
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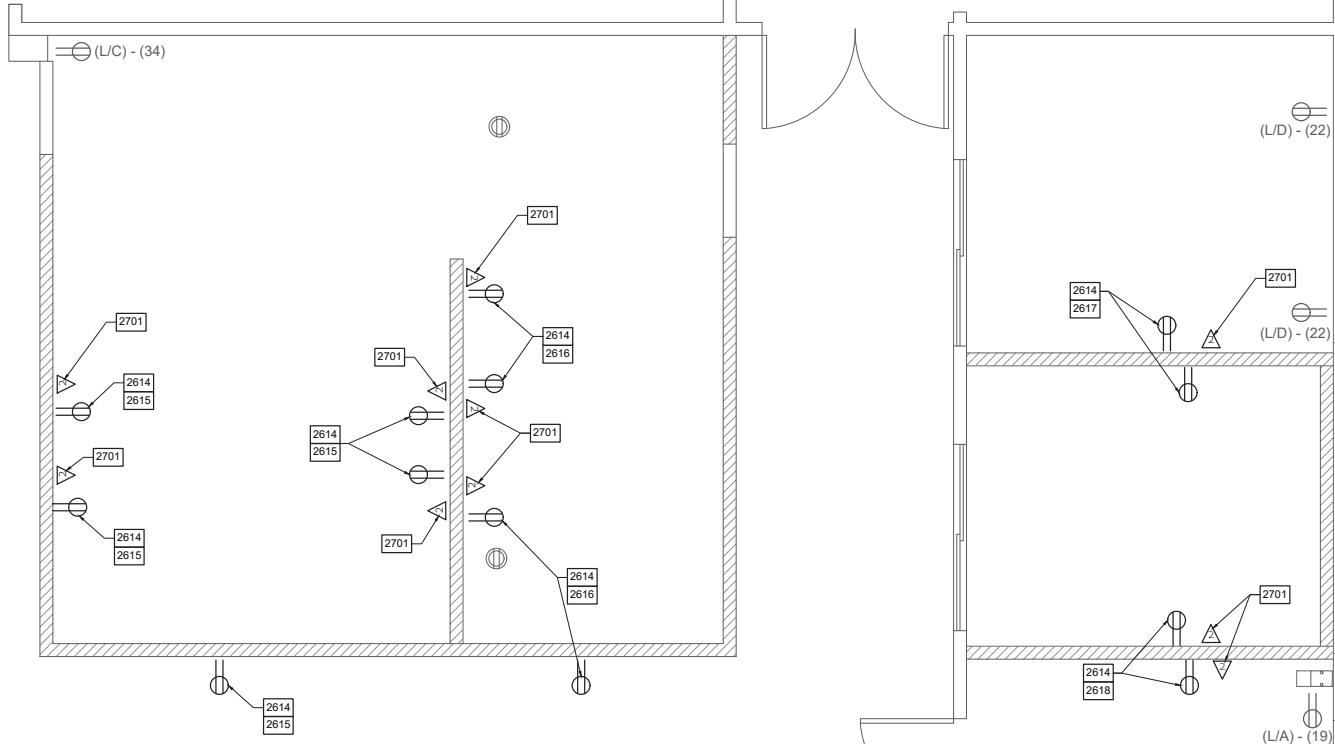


Drawing Title:  
**NEW POWER & DATA**

Drawing Number:  
**E2**

Drawn by: SDB  
Scale: 1/4" = 1'

**Electrical  
Room**



**KEY NOTES**

- 2614 15AMP DUPLEX RECEPTACLE 18" AFF UNLESS OTHERWISE NOTED.
- 2615 CONTRACTOR TO LOCATE AVAILABLE EXISTING CIRCUIT FOR RECEPTACLE, REFER TO SHEET E0 NOTE 13
- 2616 CONTRACTOR TO LOCATE AVAILABLE EXISTING CIRCUIT FOR RECEPTACLE, REFER TO SHEET E0 NOTE 13
- 2617 CONTRACTOR TO VERIFY EXISTING CIRCUIT LOAD (L/D) - (22) BEFORE USING, REFER TO SHEET E0 NOTE 13
- 2618 CONTRACTOR TO VERIFY EXISTING CIRCUIT LOAD (L/A) - (19) BEFORE USING, REFER TO SHEET E0 NOTE 13
- 2701 DATA CHASE SHALL CONSIST OF A FOUR SQUARE METALLIC BOX AT 18" AFF UNLESS OTHERWISE NOTED, SINGLE GANG PLASTER RING, ONE INCH EMT RAN FROM FOUR SQUARE BOX TO MINIMUM 8" ABOVE CEILING HEIGHT AND CAPPED WITH AN INSULATED BUSHING AT END. OWNER TO INSTALL DATA CABLE

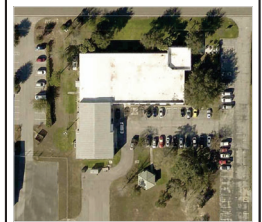
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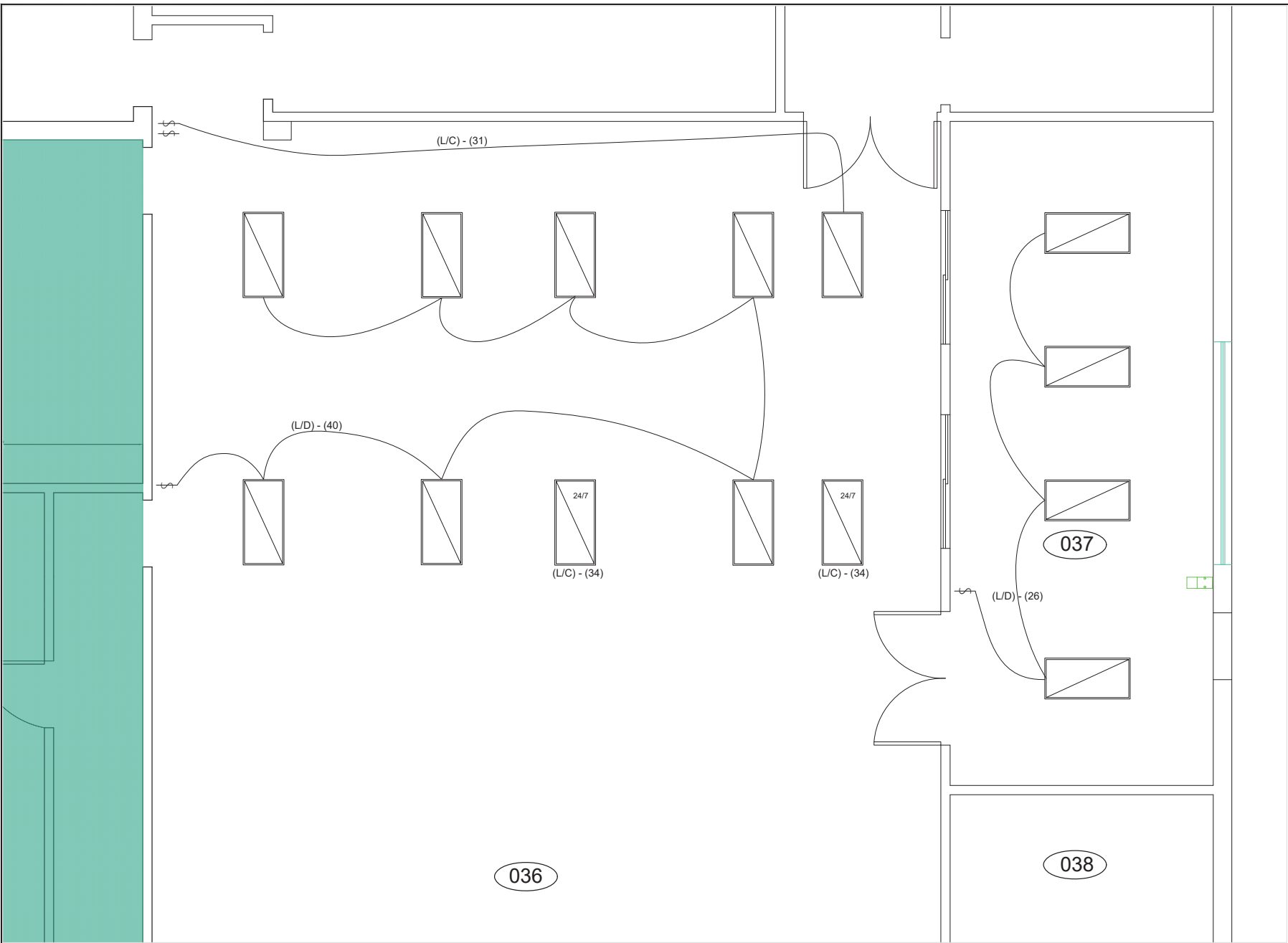
No:	Description	Date:



Drawing Title:  
**EXISTING LIGHTING**

Drawing Number:  
**E3**

Drawn by: SDB  
Scale: 1/4" = 1'





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Revisions:

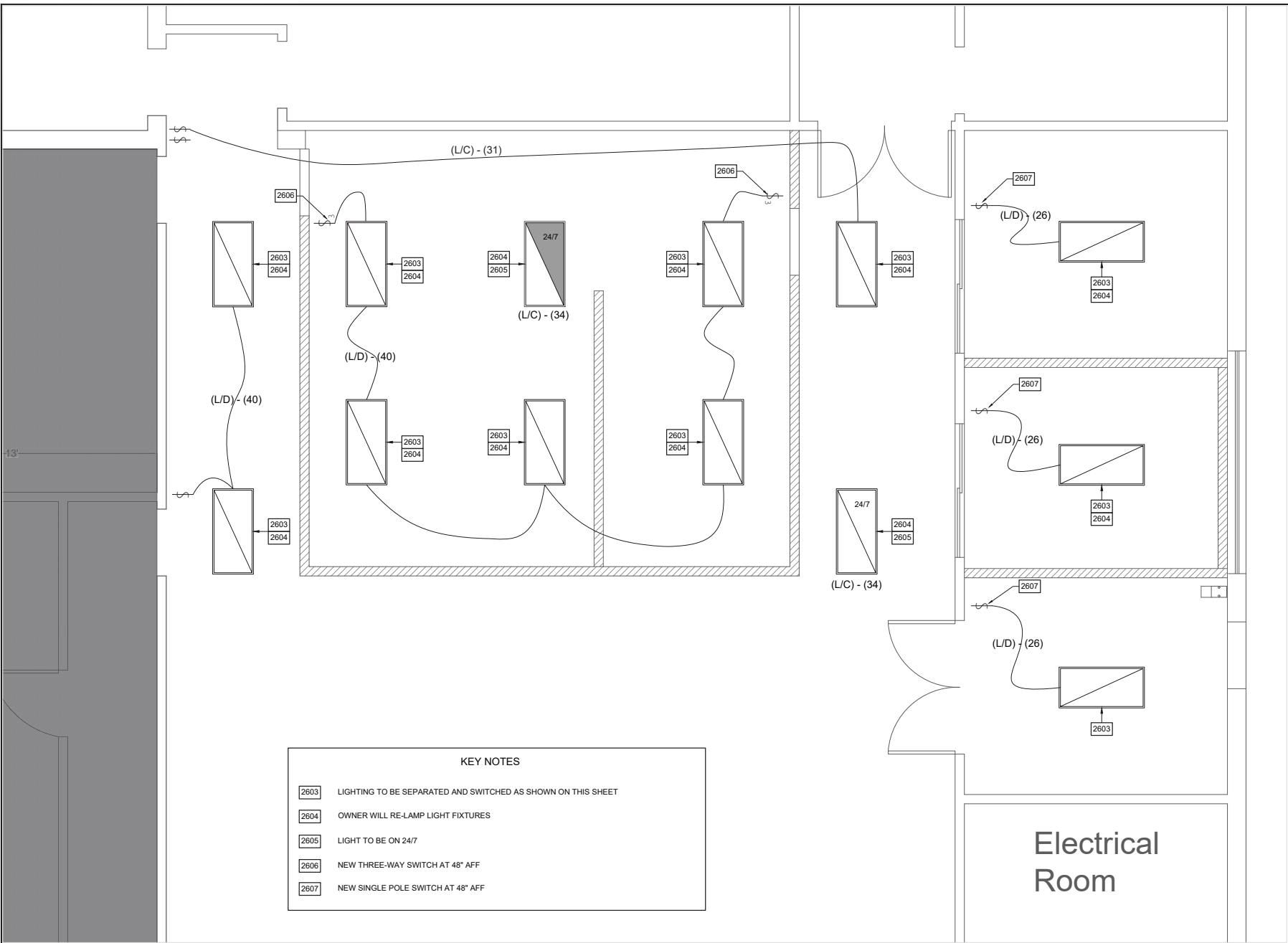
No.	Description	Date:



Drawing Title:  
**NEW LIGHTING**

Drawing Number:  
**E4**

Drawn by: SDB  
Scale: 1/4" = 1'



- KEY NOTES**
- 2603 LIGHTING TO BE SEPARATED AND SWITCHED AS SHOWN ON THIS SHEET
  - 2604 OWNER WILL RE-LAMP LIGHT FIXTURES
  - 2605 LIGHT TO BE ON 24/7
  - 2606 NEW THREE-WAY SWITCH AT 48" AFF
  - 2607 NEW SINGLE POLE SWITCH AT 48" AFF

**Electrical  
Room**

Panel Rating (AMPS): 200		<b>PANEL A</b>		VOLTAGE/PHASE/WIRES: 120/208/3/4	
C K T	DESCRIPTION	TRIP	C K T	DESCRIPTION	TRIP
1	WH	30	2	AHU #1	40
3	WH		4	AHU #1	
5	CEILING		6	SPACE	
7	SPARE	60	8	SPACE	20
9	SPARE		10	SPACE	20
11	RECEPTACLE		12	SPACE	20
13	RECEPTACLE	20	14	SPACE	20
15	RECEPTACLE & LIGHTS	20	16	MICROWAVE	20
17	R	20	18	HOT ROOM	30
19	RECEPTACLE & LIGHTS	20	20	HOT ROOM	30
21	RECEPTACLE	20	22	A/C	60
23	OUTSIDE LIGHTS & WAREHOUSE LIGHTS	20	24	A/C	
25	SUB	80	26	COMPRESSOR	
27	SUB		28	COMPRESSOR	40
29	SUB		30	COMPRESSOR	

Panel Rating (AMPS): 200		<b>PANEL C</b>		VOLTAGE/PHASE/WIRES: 120/208/3/4	
C K T	DESCRIPTION	TRIP	C K T	DESCRIPTION	TRIP
1	AHU #3	35	2	UP STAIRS A/C	60
3	AHU #3		4	UP STAIRS A/C	
5	AHU #3		6	A/C #1	
7	AHU #4	35	8	A/C #1	40
9	AHU #4		10	A/C #1	
11	AHU #4		12	NEW A/H	
13	A/C #5	40	14	NEW A/H	30
15	A/C #5		16	A/C	
17	A/C #5		18	A/C	
19	A/C #3	35	20	AHU	35
21	A/C #3		22	AHU	
23	A/C #3		24	AHU	
25	RECEPTACLE & LIGHTS	20	26	UNKNOWN	40
27	RECEPTACLE & LIGHTS	20	28	UNKNOWN	
29	RECEPTACLE & LIGHTS	20	30	LIGHTS & RECEPTACLE (TANDEM)	20
31		20	32	UNKNOWN (TANDEM)	20
33	AIR HANDLER	30	34	UNKNOWN	20
35	AIR HANDLER		36	UNKNOWN	20
37	CONDENSER		38	UNKNOWN	20
39	CONDENSER	50	40	UNKNOWN (TANDEM)	20
41	CONDENSER		42		

Panel Rating (AMPS): 200		<b>PANEL D</b>		VOLTAGE/PHASE/WIRES: 120/208/3/4	
C K T	DESCRIPTION	TRIP	C K T	DESCRIPTION	TRIP
1	AHU #6	35	2	AHU #7	35
3	AHU #6		4	AHU #7	
5	AHU #6		6	AHU #7	
7	A/C #6	35	8	A/C #7	35
9	A/C #6		10	A/C #7	
11	A/C #6		12	A/C #7	
13	WALL A/C	20	14	SOLDER MACHINE #1	20
15	WALL A/C		16	SOLDER MACHINE #1	
17	RECEPTACLE & LIGHTS	20	18	UNKNOWN (TANDEM)	20
19	NEW TEST STATION	20	20	BLANK	
21	NEW TEST STATION		22	UNKNOWN	15
23	NEW TEST STATION		24	UNKNOWN (TANDEM)	20
25	R&D	20	26	RECEPTACLE (TANDEM)	20
27	R&D	20	28	UNKNOWN	20
29	R&D	20	30	UNKNOWN	
31	LIGHTS	20	32	R&D	
33	UNKNOWN	20	34	R&D	50
35	SUB PANEL Z	50	36	R&D	
37	SUB PANEL Z		38	UNKNOWN (TANDEM)	
39	UNKNOWN (TANDEM)		20	40	UNKNOWN (TANDEM)
41			42		

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Revisions:

No:	Description	Date:



Drawing Title:  
**EXISTING PANEL  
SCHEDULE**

Drawing Number:  
**E5**

Drawn by: SDB  
Scale:

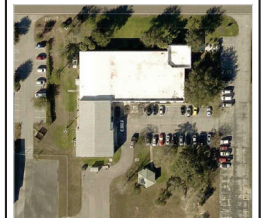
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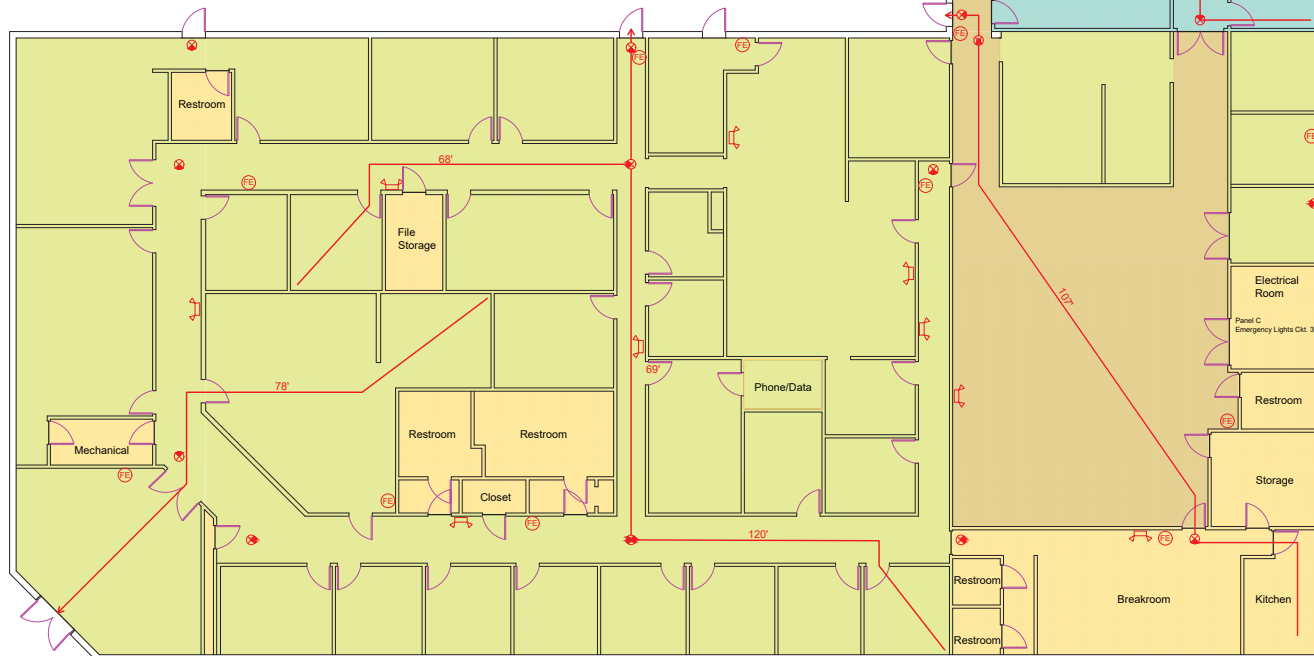
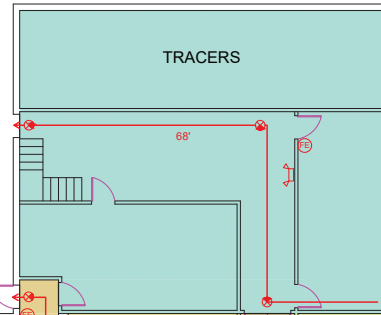
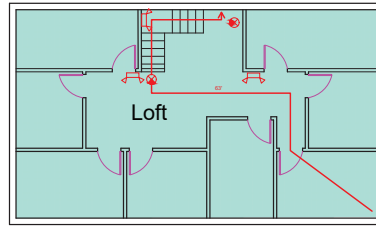
Drawing Title:  
**LIFE SAFETY EXISTS  
& CALCULATIONS**

Drawing Number:

**LS1**

Drawn by: SDB  
Scale: 1/16" = 1'

- Exit Light Fixture  
(Shaded quadrant indicates face(s) of fixture)
- Battery Pack with two Heads
- Travel Distance
- Fire Extinguisher



LIFE SAFETY CALCULATIONS							
AREA IN SQ. FEET	SQ. FEET PER OCCUPANT (TABLE 1004.1.2)	OCCUPANT LOAD	EXIT COMPONENTS	EXIT WIDTH PER OCCUPANT (IN.)	REQUIRED CLEAR EXIT WIDTH (IN.)	PROVIDED CLEAR EXIT WIDTH (IN.)	OCCUPANT EXIT CAPACITY PROVIDED (PERSON)
B OCCUPANCY (AREA - A)	9,990	100	99 LEVEL	2	19.8	108	545
B OCCUPANCY (AREA - B)	1,816	100	18 LEVEL	2	4	34	170
B OCCUPANCY (AREA - B SECOND FLOOR)	1,296	100	12 STAIR	3	4	34	170
A-3 OCCUPANCY (AREA - C)	1,810	15	120 LEVEL	2	24	34	170
TOTALS for Above	14,912	249			51.8	210	1,055
(AREA - D) not on original occupancy Calc's	2,275						

be as follows: Addenda, General Conditions, Technical Specifications. Figure dimensions on drawings shall govern over scale dimensions, and the detailed drawings shall govern over general drawings. Any work that may reasonably be inferred from the specifications or drawings as being required to produce the intended result shall be supplied whether or not it is specifically called for. Work materials or equipment described in words which so applied have a well-known technical or trade meaning shall be deemed to refer to such recognized standards. In case of conflict the more stringent requirements shall take precedence and govern.

The Vendor/Contractor shall take no advantage of any error or omission in the plans or of any discrepancy between the plans and specifications, and the Engineer shall make such interpretation as may be deemed necessary for the fulfillment of the intent of the plans and specifications as construed by him and his decision shall be final.

All provisions required by law to be inserted in this Contract, whether actually inserted or not.

Exhibits to this Agreement (as follows):

1. Vendor/Contractor's Quote
2. Documentation submitted by Vendor/Contractor after to Notice of Award:
  - a. Insurance Certificate
- B. The following which may be delivered or issued on or after the Effective Date of the Agreement and are not attached hereto:
  1. Notice to Proceed
  2. Change Order(s)
- C. The documents listed in this Article are attached to this Agreement (except as expressly noted otherwise).
- D. There are no Contract Documents other than those listed in this Article.
- E. The Contract Documents may only be amended, modified, or supplemented as stated in Paragraph 33.

## ARTICLE 2 - THE ENGINEER

- 2.01** Engineer in the administration of this Contract and any references to the Engineer or the Professional shall be deemed to mean **INSERT ENGINEER OF RECORD NAME**, for the plans and specifications. **INSERT PROJECT MANAGER NAME OR PROJECT MANAGER'S SUPERVISOR NAME** will act as the Owner's representative, assume all duties and responsibilities, and have the rights and authority assigned to Engineer in the Contract Documents in connection with the completion of the work in accordance with their respective scope of work and the Contract Documents.

## ARTICLE 3 - CONTRACT TIMES

### **3.01** Time of the Essence:

- A. All time limits for completion and readiness for final payment as stated in the Contract Documents are of the essence of the Contract.

### **3.02** Days to Achieve Substantial Completion and Final Payment:

- A. Vendor/Contractor agrees that the work will be substantially complete within **days to substantial completion (000)** calendar days after the commencement date indicated in the Notice to Proceed and ready for final payment within **days to final completion (000)** calendar days after the date indicated on the Notice to Proceed.

### **3.03** Liquidated Damages:

Vendor/Contractor and Owner agree for each consecutive calendar day that the work remains incomplete after the Contract date established for Substantial Completion and/or Final Completion, the County will retain from the compensation otherwise to be paid to the Vendor/Contractor the sum of **INSERT AMOUNT FOR LIQUIDATED DAMAGES (\$\_\_\_\_\_)**. This amount is the minimum measure of damages the County will sustain by failure of the Vendor/Contractor to complete all remedial work, correct deficient work, clean up the project and other miscellaneous tasks as required to complete all work specified.

**ARTICLE 4 – CONTRACT PRICE**

**4.01** Owner shall pay Vendor/Contractor for completion of the work in accordance with the Quote an amount in current funds equal to the sum of the amounts determined pursuant to the Paragraphs below:

A. For all work other than Unit Price Work, a Lump Sum of:

\_\_\_\_\_ (\$ \_\_\_\_\_)  
 (words) (figure)

All specific cash allowances are included in the above price and have been computed in accordance with Paragraph 34.2.2.

B. For all Unit Price Work, an amount equal to the sum of the established unit price for each separately identified item of Unit Price Work times the estimated quantity of that item as indicated in this Paragraph:

As provided in Paragraph 34.3, estimated quantities are not guaranteed, and determinations of actual quantities and classifications are to be made by Owner Designated Representative as provided in Paragraph 34.3. Unit prices have been computed as provided in Paragraph 34.3.

UNIT PRICE WORK

ITEM	QTY	DESCRIPTION	PART NO	UNIT PRICE	EXTENDED PRICE

\_\_\_\_\_ \$

ESTIMATED TOTAL OF ALL UNIT PRICE WORK \$ \_\_\_\_\_ \$( \_\_\_\_\_)  
 (use words) (figure)

**ARTICLE 5 – PAYMENT PROCEDURES**

**5.01** Submittal and Processing of Payments:

A. Vendor/Contractor shall submit Applications for Payment in accordance with Paragraph 37.2.1. Applications for Payment will be processed by Owner Designated Representative as provided in the Contract Documents.

**5.02** Progress Payments; Retainage:

A. Owner shall make progress payments on account of the Contract Price on the basis of Vendor/Contractor's Applications for Payment not later than the time periods established by applicable provisions of the Florida Prompt Payment Act, Part VII, Ch. 218.735, F.S. (current version), during performance of the work as provided in Paragraphs below. All such payments will be measured by the Schedule of Values (and in the case of Unit Price Work based on the number of units completed) or, in the event there is no schedule of values, as provided in the General Requirements:

1. Progress payments will be made in an amount equal to the percentage indicated below but, in each case, less the aggregate of payments previously made and less such amounts as Owner Designated Representative may determine or Owner may withhold, including but not limited to liquidated damages, in accordance with the Contract Documents:

a. Ninety-five (95%) of work completed (with the balance being retainage); and

- b. Ninety-five (95%) of cost of materials and equipment not incorporated in the work (with the balance being retainage).

**5.03** Final Payment:

- A. Upon receipt of the final Application for Payment accompanied by Owner Designated Representative's recommendation of payment in accordance with Paragraph 37.7.1, Owner shall pay Vendor/Contractor the remainder of the Contract Price as recommended by Owner Designated Representative, less any sum Owner is entitled to set off against Owner Designated Representative's recommendation, including but not limited to liquidated damages.
- B. Final Payment, constituting the entire unpaid balance of the Contract Sum, shall be paid by the Owner to the Vendor/Contractor when the work has been completed, the Contract fully performed, and a final Certificate for Payment has been issued by the Owner Designated Representative.

**ARTICLE 6 – INTEREST**

- 6.01** All monies not paid when due shall bear interest at the maximum legal rate.

**ARTICLE 7 – VENDOR/CONTRACTOR'S REPRESENTATIONS**

- 7.01** In order to induce Owner to enter into this Agreement Vendor/Contractor makes the following representations:
- A. Vendor/Contractor has examined and carefully studied the Contract Documents and the other related data identified in the Bid Documents.
  - B. Vendor/Contractor has visited the site and become familiar with and is satisfied as to the general, local, and site conditions that may affect cost, progress, and performance of the work.
  - C. Vendor/Contractor is familiar with and is satisfied as to all federal, state, and local laws and regulations that may affect cost, progress, and performance of the work.
  - D. Vendor/Contractor does not consider that any further examinations, investigations, explorations, tests, studies, or data are necessary for the performance of the work at the Contract Price, within the Contract Times, and in accordance with the other terms and conditions of the Contract Documents.
  - E. Vendor/Contractor is aware of the general nature of work to be performed by Owner and others at the site that relates to the work as indicated in the Contract Documents.
  - F. Vendor/Contractor has correlated the information known to Vendor/Contractor, information and observations obtained from visits to the site, reports and drawings identified in the Contract Documents, and all additional examinations, investigations, explorations, tests, studies, and data with the Contract Documents.
  - G. Vendor/Contractor has given Engineer written notice of all conflicts, errors, ambiguities, or discrepancies that Vendor/Contractor has discovered in the Contract Documents, and the written resolution thereof by Engineer is acceptable to Vendor/Contractor.
  - H. The Contract Documents are generally sufficient to indicate and convey understanding of all terms and conditions for performance and furnishing of the work.

**ARTICLE 8 – MISCELLANEOUS**

**8.01** Terms:

- A. Terms used in this Agreement will have the meanings stated in the Contract Documents.

**8.02** Assignment of Contract:

- A. No assignment by a party hereto of any rights under or interests in the Contract will be binding on another party hereto without the written consent of the party sought to be bound; and, specifically but without limitation,

monies that may become due and moneys that are due may not be assigned without such consent (except to the extent that the effect of this restriction may be limited by law), and unless specifically stated to the contrary in any written consent to an assignment, no assignment will release or discharge the assignor from any duty or responsibility under the Contract Documents.

**8.03** Successors and Assigns:

- A. Owner and Vendor/Contractor each binds itself, its partners, successors, assigns, and legal representatives to the other party hereto, its partners, successors, assigns, and legal representatives in respect to all covenants, Agreements, and obligations contained in the Contract Documents.

**8.04** Severability:

- A. Any provision or part of the Contract Documents held to be void or unenforceable under any Law or Regulation shall be deemed stricken, and all remaining provisions shall continue to be valid and binding upon Owner and Vendor/Contractor, who agree that the Contract Documents shall be reformed to replace such stricken provision or part thereof with a valid and enforceable provision that comes as close as possible to expressing the intention of the stricken provision.

- 8.05** This Agreement may be executed in several counterparts, each of which shall be an original and all of which shall constitute but one and the same instrument.

**ARTICLE 9 – CONTRACT PAYMENT**

- 9.01** The County agrees to pay the Vendor/Contractor for the faithful performance under this Contract for the agreed amount of \_\_\_\_\_ Dollars (\$\_\_\_\_\_) and is based on the lump sum prices contained herein and subject to additions or deductions as modified.

IN WITNESS WHEREOF, Owner and Vendor/Contractor have signed this Agreement in two (2) copies. All portions of the Contract Documents have been signed, initialed, or identified by Owner and Vendor/Contractor.

OWNER:  
HERNANDO COUNTY BOARD OF COUNTY  
COMMISSIONERS

VENDOR/CONTRACTOR

By: \_\_\_\_\_

By: \_\_\_\_\_

Name: ELIZABETH NARVERUD

Name: \_\_\_\_\_

Title: CHAIR

Title: \_\_\_\_\_

[CORPORATE SEAL]

[CORPORATE SEAL]

Attest: Douglas A. Chorvat, Jr.

Attest: \_\_\_\_\_

Title: Clerk of Circuit Court & Comptroller

Title: \_\_\_\_\_

Address for giving notices:

Address for giving notices:

15470 Flight Path Dr.

\_\_\_\_\_

Brooksville, FL 34604

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Agent for service of process:

\_\_\_\_\_

(If Vendor/Contractor is a corporation or a partnership,  
attach evidence of authority to sign.)