

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS FROM THE OWNER/ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO THOROUGHLY REVIEW AND UNDERSTAND ALL PERMIT CONDITIONS. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE PERMITS. ANY ADDITIONAL CONSTRUCTION MATERIALS OR PERMITS REQUIRED TO EXECUTE/COMPLETE THE WORK SHOWN IN THESE DOCUMENTS SHALL BE OBTAINED BY THE CONTRACTOR. (E. ONSITE PIPE/BURNING/WATERING, etc)
2. ALL CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO THE LATEST EDITION OF THE LOCAL MUNICIPAL LAND DEVELOPMENT CODE AND CURRENT TRANSPORTATION TECHNICAL MANUAL. ALL STRUCTURES SHALL BE IN ACCORDANCE WITH FDOT STANDARDS. WORK WITHIN THE FDOT RW SHALL CONFORM TO THE MOST CURRENT FDOT STANDARDS AND SPECIFICATIONS. QUESTION ON MATERIALS SHALL BE DIRECTED TO THE EOR
3. ALL ELEVATION DATA IS BASED ON THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK WITH SUBCONTRACTORS AND OTHER PUBLIC OR PRIVATE UTILITIES CONSTRUCTING FACILITIES WITHIN THE PROJECT LIMITS.
5. THE CONTRACTOR SHALL SOD/SOD ALL SLOPES STEEPER THAN 5:1 AND WITHIN CITY/COUNTY/FOOT RW, AND SEED ALL OTHER AREAS DISTURBED BY CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN SOD/SEED UNTIL STABILIZATION HAS OCCURRED.
6. CONTRACTOR SHALL CONTACT THE ENGINEER AND/OR OWNER PRIOR TO ANY CONSTRUCTION ACTIVITY THAT MAY DAMAGE OR OTHERWISE AFFECT TREES NOT SCHEDULED FOR REMOVAL.
7. EXISTING UNDERGROUND UTILITY LINES SHOWN ON THE DRAWINGS WERE TAKEN FROM VISUAL OBSERVATION, RECORD DRAWINGS AND DOCUMENTS FURNISHED BY OTHERS, AND NOT FIELD VERIFIED. THE CONTRACTOR SHALL FIELD EXPOSE THE LOCATION OF ALL UNDERGROUND UTILITIES WHICH MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION, PRIOR TO ACTUAL CONSTRUCTION. THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED IF A CONFLICT EXISTS BETWEEN ACTUAL FIELD CONDITIONS AND THESE PLANS. CALL SUNSHINE STATE ONE CALL AT 1-800-432-4770 MIN. 48 HOURS BEFORE DIGGING.
8. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION, INCLUDING TESTING, WITH ENGINEER AND APPROPRIATE MUNICIPALITIES/INVESTIGATIONS IN ACCORDANCE WITH THE MUNICIPALITIES REQUIREMENTS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL FIELD AS-BUILT INFORMATION TO THE ENGINEER FOR THE PREPARATION OF RECORD DRAWINGS. A MARK-UP "IN FIELD SET OF PLANS SHALL BE AS-BUILT AT ALL TIMES. THE CONSTRUCTION SITE, FINAL FIELD CONDITIONS SHALL BE SURVEYED BY A LICENSE SURVEYOR. ONE CERTIFIED AS-BUILT SURVEYS AND CAD FILE SHALL BE FURNISHED TO THE ENGINEER AFTER THE FINAL INSPECTION.
10. ALL CUT/FILLING SHALL MEET THE FOLLOWING REQUIREMENTS:
 - 10.a. COMPACTED TO A DENSITY OF NOT LESS THAN 98% PER ASTM D 1557-70.
 - 10.b. DENSITY TESTS SHALL BE CONDUCTED EVERY 12" OF COMPACTED DEPTH UNLESS DIRECTED OTHERWISE BY THE ENGINEER OF RECORD.
11. THE INFORMATION PROVIDED IN THESE PLANS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF THE CONDITIONS WHICH MAY BE ENCOUNTERED DURING THE COURSE OF WORK. ALL CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY MAY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSIONS REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH THEIR BIDS WILL BE BASED UPON.
12. THE CONTRACTOR SHALL COMPLY WITH ALL NPDES REQUIREMENTS. THE CONTRACTOR IS REQUIRED TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS AND WATERWAYS. IN ADDITION CONTRACTOR SHALL PLACE STRAW, MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT THE SITE. IF, IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR VEHICULAR TRAFFIC, THE CONTRACTOR IS TO REMOVE AND CLEAN TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES.
13. CONTRACTOR SHALL PROVIDE EOR WITH SUBMITTALS FOR ALL MATERIAL TO BE USED ONSITE AND OFFSITE. THE CONTRACTOR SHALL ALLOW 14 DAYS FOR REVIEW OF MATERIALS IN THE SCHEDULE.
14. CONTRACTOR SHALL EXPOSE AND IDENTIFY ELEVATIONS OF EXISTING UTILITIES IN THE AREA SURROUNDING PROPOSED UTILITIES. IF CONFLICTS ARISE, THE CONTRACTOR SHALL CONTACT THE EOR FOR FURTHER INSTRUCTION, AND THE EOR WILL COORDINATE WITH MUNICIPAL STAFF AND MAKE FIELD ADJUSTMENTS AS NECESSARY. CONTINGENCIES SHOULD BE CONSIDERED FOR VERTICAL OFFSET OF PROPOSED UTILITIES AROUND EXISTING, AS NECESSARY.
15. CONTRACTOR SHALL OBTAIN PERMITS FROM THE FIRE MARSHALL AND / OR OTHER REGULATING ENTITY PRIOR TO ONSITE BURNING WHERE APPLICABLE.
16. WATER TRUCK/SPRAY WILL BE USED FOR FUGITIVE DUST CONTROL.
17. IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF HISTORIC RESOURCES, INCLUDING BUT NOT LIMITED TO ABNORMAL OR HISTORIC POTTERY, PREHISTORIC STONE TOOLS, BONE OR SHELL TOOLS, HISTORIC TRASH PITS, OR HISTORIC BUILDING FOUNDATION, ARE DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND THE FLORIDA DEPARTMENT OF HISTORIC RESOURCES (STATE HISTORIC PRESERVATION OFFICER) AND HERNANDO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE RESOURCES FOUND ON THE SITE.
18. IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE OR FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES IS DISCOVERED, HERNANDO COUNTY AND APPLICABLE AGENCIES SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON THE SITE. ALL WORK IN THE AFFECTED AREA SHALL COME TO AN IMMEDIATE STOP UNTIL ALL PERTINENT PERMITS HAVE BEEN OBTAINED, AGENCY WRITTEN AUTHORIZATION TO COMMENCE ACTIVITIES HAS BEEN GIVEN, OR UNLESS COMPLIANCE WITH STATE AND FEDERAL GUIDELINES CAN BE DEMONSTRATED.
19. IT IS THE OWNER'S RESPONSIBILITY TO INSPECT AND MAINTAIN THE WATER RETENTION SYSTEM ON A REGULAR BASIS AFTER PROJECT COMPLETION.
20. PRIOR TO CONSTRUCTION, A BUILDING PERMIT SHALL BE OBTAINED FOR ALL STRUCTURES THAT HAVE A FOOTER, REGARDLESS OF SIZE, THROUGH HERNANDO COUNTY CENTRAL PERMITTING. (IE. INCLUDING BUT NOT INCLUSIVE BUILDINGS, ACCESSORIES, AND RETAINING WALLS)
21. ALL SODDED SLOPES OVER 4 TO 1, SHALL BE INSTALLED WITH SOD PEGS. ALL DISTURBED GRID OF WAYS SHALL BE RESTORED WITH SOD. A PROPOSED SOD LIMITS MAP SHALL BE SUBMITTED TO THE EOR FOR REVIEW.
22. ALL DEMOLITION DEBRIS (IF ANY) SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF.

EXCAVATION

- CONTRACTOR SHALL PROVIDE SHORING, SHEETING, AND BRACING AS MAY BE NECESSARY TO PROPERLY ACCOMPLISH THEIR WORK. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND UTILITIES TO REMAIN. SHOULD ANY UTILITIES BE ENCOUNTERED THAT ARE NOT INDICATED ON THE PLANS NOTIFY THE OWNER'S REPRESENTATIVE/ENGINEER OF RECORD. THE CONTRACTOR SHALL ENSURE TO COMPLY WITH CURRENT OSHA GUIDELINES.
- 1.a. DISPOSAL, SURPLUS MATERIAL FROM EXCAVATIONS, TRASH, DEBRIS AND MATERIALS RESULTING FROM CLEARING, GRUBBING, AND OTHER OPERATIONS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED BY REMOVING FROM THE PROJECT AREA.
- 1.b. CLEARING AND GRUBBING: CLEAR AND GRUB TO REMOVE STUMPS, ROOTS, TREES, VEGETATION, ORGANIC MATERIALS, EXISTING PAVEMENT, STRUCTURES AND OTHER OBSTRUCTIONS TO THE WORK. ALL ORGANIC SOILS OR RUCK SHALL BE REMOVED AND BACKFILLED WITH SUITABLE MATERIALS.
2. STRIP THE TOPSOIL FROM ALL AREAS WITHIN THE LIMITS OF CLEARING AND STOCKPILE ON THE SITE. TOPSOIL MAY BE SPREAD OVER AREAS OUTSIDE BUILDING AND PAVING LINES UPON COMPLETION OF ROUGH GRADING.
- GRADING
1. GRADE THE SITE TO THE FINISHED CONTOURS INDICATED. IMMEDIATELY BEFORE REQUESTING FINAL INSPECTIONS, CHECK THE LINES AND DRESS TO THE PROPER CONTOURS. ALL AREAS ARE TO BE STABILIZED. THESE AREAS ARE TO BE MAINTAINED UNTIL ACCEPTANCE BY OWNER AND/OR EOR. WHEN SOIL, PLANT BEDS, GRAVEL AREAS AND THE LIKE ARE INDICATED ON LANDSCAPE DRAWINGS OR SPECIFIED, MAKE ALLOWANCES WHEN ROUGH GRADING FOR THE FINISHED GRADES IN THESE AREAS.
- 1.a. BORROW: SUITABLE EXCAVATED MATERIAL, AS DETERMINED BY THE OWNER'S REPRESENTATIVE & EOR, MAY BE USED FOR GRADING. PROCURE ADDITIONAL MATERIALS, WHERE NECESSARY, FROM BORROW PITS APPROVED BY THE OWNER'S REPRESENTATIVE AND EOR. BORROW MATERIALS SHALL HAVE PLASTIC INDEX OF SIX (6) OR LESS WITH A MAXIMUM OF 12 PERCENT PASSING A 200 SIEVE. THIS RECOMMENDATION SHALL BE SUPERCEDED BY THOSE OF THE GEOTECHNICAL REPORT.
- 1.b. COMPACTION: AREAS OUTSIDE OF BUILDING AND PAVING LINES SHALL BE COMPACTED TO 95 PERCENT OF MAXIMUM DENSITY (ASHSTO T-180) AT OPTIMUM MOISTURE (ASTM D 1557),

1. THE OWNER SHALL CHECK WEIR (AND/OR ORIFICE) IN ALL CONTROL STRUCTURES PERIODICALLY TO ASSURE THAT THEY ARE FREE FROM DEBRIS WHICH MAY HAVE EFFECT ON THEIR HYDRAULIC FUNCTION. ANY DAMAGES OR CLOGGING NEED TO BE REPAIRED AND/OR CLEANED IMMEDIATELY.
2. THE OWNER AND/OR OPERATION/MAINTENANCE ENTITY SHALL NOT CONSTRUCT OR MAINTAIN ANY BUILDING OR STRUCTURE OR UNDERTAKE OR PERFORM ANY ACTIVITY IN THE WETLANDS, BUFFER AREAS, DRAINAGE EASEMENTS AND CONSERVATION AREAS.
3. THE POND BANKS SHOULD BE REGULARLY MOWED, WITH GRASS CLIPPINGS REMOVE FROM THE POND, AND NOTE THAT ANY ERODED BANKS SHOULD BE REPAIRED AND RESODDED TO MAINTAIN THE CORRECT VOLUME.
4. PICK UP GRASS CLIPPINGS AFTER CUTTING. MOW FREQUENTLY ENOUGH TO PREVENT THATCH BUILDUP. LIMIT FERTILIZER USE AROUND THE RETENTION POND AND DO NOT FERTILIZE GRASS IN THE POND AREA
5. RESOD DISTURBED SIDE SLOPE AND ANY AREAS WHERE GRASS OR SOD HAS BEEN REMOVED OR ERODED.
6. ALL STORM WATER PIPES, INLETS, CATCH BASINS, MANHOLES, FLUMES, POND INFLOW AND OUTFALL STRUCTURES, INCLUDING OIL SKIMMERS AND DISCHARGE PIPES, SHOULD BE INSPECTED ON REGULAR BASIS (MONTHLY OR QUARTERLY) AND AFTER SEVERE RAINFALLS. THEY SHOULD BE MAINTAINED TO OPERATE AS DESIGNED BY REMOVING BUILT UP DEBRIS AND VEGETATION FROM INLETS, OUTLETS, CULVERTS, REPAIR DETRIORATED STRUCTURES.
7. NOTE THAT CHEMICALS, OILS, GREASES, OR SIMILAR WASTES ARE NOT TO BE DISPOSED OF DIRECTLY OR THROUGH STORM SEWERS TO THE STORMWATER FACILITY. TREATMENT PONDS ARE DESIGNED TO REMOVE NORMAL ROAD, PARKING LOT, ROOF, AND YARD RUNOFF ONLY.
8. NO ALTERATION OF ANY PART OF THE STORMWATER FACILITIES IS PERMITTED WITHOUT PRIOR APPROVAL FORM ALL APPLICABLE GOVERNING AGENCIES.
9. IT IS USUALLY MORE COST EFFECTIVE TO MONITOR AND PERFORM ROUTINE MAINTENANCE ON SURFACE WATER MANAGEMENT SYSTEM THAN TO LET IT FAIL AND THEN HAVE TO RECONSTRUCT THE ENTIRE SYSTEM.

1. REPORT OF SUBSURFACE CONDITIONS

1.a. A COPY OF THE SOILS INVESTIGATIONS REPORT IS AVAILABLE FROM TAMPA CIVIL DESIGN LLC, TELEPHONE NUMBER (813) 920-2005. THE RECOMMENDATIONS IN THE REPORT BY FAULKNER ENGINEERING SERVICES LLC # 6130 2400120, DATED AUGUST 14, 2024 SHALL BE CONSIDERED APART OF THE SITE CONSTRUCTION REQUIREMENTS.

1.b. THE ENGINEER DISCLAIMS ALL RESPONSIBILITY FOR FINDINGS AND INTERPRETATIONS EXPRESSED IN THE REPORT BY THE TESTING LABORATORY. CONTRACTOR SHALL MAKE WHATEVER SUBSURFACE INVESTIGATIONS HE DEEMS NECESSARY TO SATISFY HIMSELF AS TO THE ACTUAL FIELD CONDITIONS.

2. TESTING

2.a. THE CONTRACTOR WILL PAY FOR ALL TESTING REQUIRED BY THE MUNICIPALITY, INCLUDING THOSE PROVING SATISFACTORY OPERATION OF ALL INSTALLED EQUIPMENT/PRESSURE AND LEAKAGE TEST AND BACTERIOLOGICAL TESTS; FOR PIPE, STRUCTURES, AND ASPHALTIC MATERIALS. THE CONTRACTOR SHALL FORMALLY NOTIFY THE EOR FOR EACH INSPECTION. ANY TESTS WHICH HAVE TO BE MADE BECAUSE OF THE FAILURE OF INSTALLED MATERIALS TO MEET SPECIFICATIONS SHALL BE PAID FOR BY THE CONTRACTOR AND COSTS OF ANY SUCH TESTS SHALL BE DEDUCTED FROM PAYMENTS DUE THE CONTRACTOR.

2.b. THE OWNER / CONTRACTOR WILL RETAIN A CERTIFIED ENGINEERING TESTING LABORATORY TO PERFORM ALL MATERIALS TESTING SPECIFIED IN THE TECHNICAL SPECIFICATION AND AS MAY BE REQUIRED BY THE APPROPRIATE GOVERNMENTAL AGENCY HAVING JURISDICTION. ANY QUESTIONS ON TESTING REQUIREMENTS SHALL BE DIRECTED TO THE EOR.

[illegible]

1. ALL UTILITY SYSTEM DESIGN, MATERIALS, AND WORKMANSHIP SHALL COMPLY WITH THE LATEST WATER AND WASTEWATER CONSTRUCTION SPECIFICATIONS MANUAL, (JANUARY 2013 (UPDATED 2017 EDITION) OR LATER).
2. CONTRACTOR SHALL EXCAVATE AND IDENTIFY ELEVATIONS OF EXISTING UTILITIES IN THE AREA SURROUNDING PROPOSED UTILITIES. IF CONFLICTS ARISE, THE CONTRACTOR IS TO CONTACT THE EOR FOR FURTHER INSTRUCTION, AND THE EOR WILL COORDINATE WITH MUNICIPAL STAFF AND MAKE FIELD ADJUSTMENTS AS NECESSARY. CONTINGENCIES SHOULD BE CONSIDERED FOR VERTICAL OFFSET OF PROPOSED UTILITIES AROUND EXISTING, AS NECESSARY
3. ALL WATER AND SANITARY SERVICE LOCATIONS ARE SHOWN GRAPHICALLY FOR PLANNING PURPOSES ONLY. FOR ACTUAL SERVICE CONSTRUCTION LOCATION SEE HERNANDO COUNTY UTILITY SERVICE DETAILS
4. CONTRACTOR SHALL PROVIDE DENSITY TESTS IN OVER PROPOSED UTILITIES. DENSITIES SHALL BE 98% MINIMUM USING MODIFIED PROCTOR
5. CALL SUNSHINE STATE ONE AT 1-800-432-4770 MIN. 48 HOURS BEFORE DIGGING
6. CONTRACTOR SHALL SOD ALL DISTURBED RW
7. CONTRACTOR SHALL EXCAVATE AND IDENTIFY ELEVATIONS OF EXISTING UTILITIES IN THE AREA SURROUNDING PROPOSED UTILITIES. IF CONFLICTS ARISE, THE CONTRACTOR SHALL CONTACT THE EOR FOR FURTHER INSTRUCTION, AND THE EOR WILL COORDINATE WITH MUNICIPAL STAFF AND MAKE FIELD ADJUSTMENTS AS NECESSARY. CONTINGENCIES SHOULD BE CONSIDERED FOR VERTICAL OFFSET OF PROPOSED UTILITIES AROUND EXISTING, AS NECESSARY.

1. CONTRACTOR TO SCHEDULE A PRE-CONSTRUCTION MEETING FIVE (5) BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION. A DPWV INSPECTOR MUST ATTEND THE PRE-CONSTRUCTION MEETING.
2. CONTRACTOR MUST PROVIDE ALL RIGHT-OF-WAY USE PLANS TO THE DPWV INSPECTOR FOR REVIEW AND APPROVAL. A MINIMUM OF THREE (3) BUSINESS DAYS PRIOR TO THE PRE-CONSTRUCTION MEETING. CONTACT DPWV INSPECTORS AT 352-754-0060 OR EMAIL TO DPWVRESOURCEOBJECT@HERNANDOCOUNTY.US.
3. CONTRACTOR TO NOTIFY DPWV INSPECTOR 48 HOURS PRIOR TO CONSTRUCTION IN THE COUNTRY RIGHT OF WAY.
4. DPWV INSPECTOR MUST BE PRESENT FOR ALL PAVING OF RIGHT OF WAYS AND INSPECT PRIOR TO POURING CONCRETE SIDEWALKS.
5. HERNANDO COUNTY OWNED INFRASTRUCTURE: DPWV PERSONNEL MUST BE PRESENT TO PHYSICALLY VERIFY THAT THE INSTALLATION OF ALL BASE LAYERS, COMPACTION, SLOPE AND DEPTH HAS BEEN DONE PER PLAN BEFORE BURYING/PAVING/POURING.
6. THE HOURS FOR THESE INSPECTIONS SHALL BE BETWEEN 8AM AND 3PM. IF DPWV HAS NOT INSPECTED BEFORE BURYING THE CONTRACTOR WILL BE RESPONSIBLE FOR UNCOVERING FOR INSPECTION.
7. HERNANDO COUNTY DEPARTMENT OF PUBLIC WORKS IS NOT RESPONSIBLE FOR ONSITE DAMAGE ASSOCIATED WITH THE MAINTENANCE OR REPAIR OF ANY HERNANDO COUNTY OWNED INFRASTRUCTURE. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ALL REPAIRS AND REPLACEMENTS TO EXISTING LANDSCAPING, CURBING, ASPHALT, CONCRETE, ETC. CONTRACTOR SHALL PROVIDE 24 HOUR ADVANCE NOTICE TO LOCAL EMERGENCY SERVICE DEPARTMENTS WHENEVER CONSTRUCTION ACTIVITIES ARE EXPECTED TO IMPEDE NORMAL TRAFFIC FLOW.
8. ALL TRAFFIC CONTROL DEVICES ARE TO BE PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FDOT INDICES AND HERNANDO COUNTY FACILITY DESIGN GUIDELINES.
9. A RIGHT OF WAY USE PERMIT IS REQUIRED FOR ANY DRIVEWAY AND WORK IN COUNTRY RIGHT OF WAY, INCLUDING CONSTRUCTION ENTRANCES.

1. ALL LANDSCAPE ACTIVITY SHALL MEET THE REQUIREMENT OF APPLICABLE HERNANDO COUNTY LANDSCAPE ORDINANCE OR CODE, LATEST EDITION.
2. LANDSCAPE AREAS SHALL HAVE 100% IRRIGATION COVERAGE TO LANDSCAPE MATERIAL BY PERMANENT UNDERGROUND PIPING SYSTEM.
3. ALL PLANT MATERIAL SHALL BE FLORIDA GRADE #1 AS PER "GRADES & STANDARDS FOR NURSERY PLANTS" AND SHALL BE WARRANTED FOR A MINIMUM OF 90 DAYS BY THE LANDSCAPE CONTRACTOR.
4. ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY THE PROVISIONS OF THE LDC SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS.
5. DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, WITHIN THE DRIP LINE OF A TREE REMAINING ON SITE, UNLESS OTHERWISE APPROVED BY THE ADMINISTRATOR, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION, EXCEPT BY HAND, BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENT, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIFLINE OF A TREE TO REMAIN ON THE SITE.
6. TOPSOIL USED FOR PLANTING SHALL BE A MIXTURE OF THREE PARTS TO ONE PART PEAT. LANDSCAPED AREAS TO RECEIVE AN SIX-INCH LAYER OF COMPACTED TOPSOIL.
7. PROTECTIVE BARRIERS MUST BE INSTALLED AROUND TREES TO BE RETAINED IN AN AREA WHERE THE LAND ALTERATION AND CONSTRUCTION ACTIVITIES WILL OCCUR AS WELL AS ALONG NATURAL AREA WHERE SUCH AREA ADJACENT TO PERMITTED LAND ALTERATION OR CONSTRUCTION ACTIVITIES. A PROTECTIVE BARRIER MUST REMAIN IN PLACE UNTIL THE LAND ALTERATION OR CONSTRUCTION ARE COMPLETED OR UNTIL COMMENCEMENT OF GRADE FINISHING AND SODDING. NO GROUND DISTURBANCE IS ALLOWED WITHIN THE BARRICADED AREA.
8. ALL SOD ON SITE IS TO BE BAHIA GRASS.
9. SOD SHALL BE INSTALLED IN ALL LANDSCAPE ISLANDS, BUFFERS AND 2' STRIP ADJACENT NEW ASPHALT PAVEMENT NOT ABUTTING LANDSCAPE AREA.
10. IRRIGATION SYSTEMS MUST UTILIZE LOW VOLUME DESIGN SUCH AS LOW TRAJECTORY HEADS OR SOAKER HOSES TO PROVIDE DIRECT APPLICATION AND LOW EVAPORATION. SYSTEMS THAT OVER SPRAY AREAS THAT DO NOT REQUIRE IRRIGATION, SUCH AS PAVED AREAS WILL NOT BE ACCEPTED. HIGH IRRIGATION NEED AREAS MUST NOT OVER SPRAY LOW NEED AREAS.
11. HIGH WATER DEMAND LANDSCAPE AREAS SUCH AS TURF MUST BE SERVED BY A SEPARATE IRRIGATION ZONE THAN LOW WATER NEED AREAS, SUCH AS PLANTER BEDS, OR MULCHED AREAS WITH TREES. IN NO CASE, SHALL ANY PLANTED VEGETATION AREA BE MORE THAN 50' FROM A WATER SUPPLY HOSE BIF.
12. THE IRRIGATION SYSTEM MUST BE OPERATED BY A HERNANDO COUNTY LANDSCAPE CONTROLLER CAPABLE OF DIFFERENTIATING BETWEEN THE SCHEDULES OF HIGH AND LOW WATER DEMAND AREAS. CONTROLLERS MUST HAVE MULTIPLE CYCLES CYCLES START CAPABILITY AND A FLEXIBLE CALENDAR PROGRAM ABLE TO BE SET TO COMPLY WITH LOCAL OR WATER MANAGEMENT DISTRICT IMPOSED RESTRICTIONS.
13. THE SYSTEM MUST BE EQUIPPED WITH A RAIN SENSOR DEVICE OR SWITCH WHICH WILL OVERRIDE THE IRRIGATION CYCLE OF THE SPRINKLER SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. GROUND MOISTURE SENSING DEVICES ARE ENCOURAGED WHERE APPROPRIATED.
14. IN ORDER TO COMPLY WITH HERNANDO COUNTY LAND DEVELOPMENT CODE TO MINIMIZE SOIL EROSION, PROPOSED LAND ALTERATION ACTIVITIES SHALL NOT UNNECESSARILY REMOVE EXISTING VEGETATION AND ALTER EXISTING TOPOGRAPHY. ADEQUATE PROTECTION MEASURES (I.E. HAY BALES, BARRILES, SODDING AND SANDBAGGING) SHALL BE PROVIDED, AS NECESSARY, TO MINIMIZE EROSION AND DOWNSTREAM SEDIMENTATION CAUSED BY SURFACE WATER RUN-OFF ON EXPOSED LAND SURFACES.
15. ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATIVE MATERIAL THAT WILL, WITHIN A REASONABLE TIME FRAME, DETER SOIL DISTURBANCE. SODDING, PLANTING, SPRIGGING OR SEEDING IS ACCEPTABLE FOR STABILIZATION; HOWEVER, SODDING MAY BE REQUIRED IN AREAS OF EROSION-PRONE SLOPES OR WHERE SLOPES ARE GREATER THAN 5:1. VEGETATION OTHER THAN GRASS IS ACCEPTABLE UNLESS OTHERWISE SPECIFIED.
16. FOR COMMERCIAL SITE DEVELOPMENT PROJECT, NO MORE THAN 50% OF THE LANDSCAPED AREA MAY BE PLANTED WITH SHALLOW-ROOTED (I.E. ST. AUGUSTINE) TURF GRASS VARIETIES. THESE TURF GRASS VARIETIES SHALL BE CONSOLIDATED IN LIMITED TO AREAS THAT ARE PROVIDED WITH CENTRAL AUTOMATIC IRRIGATION SYSTEMS.
17. INSTALL ALL IRRIGATION LINES/EQUIPMENT BY HAND WITHIN THE DRIP LINE OF ANY EXISTING TREES ON THE PROJECT SITE. NO CUTTING OF ROOTS SHALL BE ALLOWED.
18. INSTALL TREE BARRICADES TO THE FULLEST EXTENT OF THE DRIP LINE OF ALL TREES AS POSSIBLE AND/OR TO THE MAXIMUM LIMIT OF IMPROVEMENT(S) AS POSSIBLE. DO NOT INSTALL TREES BARRICADES (SPECIFICALLY SILT FENCING MATERIAL) BY TRENCING WITHIN THE DRIFLINE OF EXISTING TREES.
19. SHRUBBERRY USED FOR SCREENING SHALL BE A MINIMUM HEIGHT OF 24" AND SHALL BE SPACED 3' O.C.
20. ALL LANDSCAPING MATERIAL MUST BE FLORIDA GRADE #1 OR BETTER QUALITY.
21. THE CONSTRUCTION OF ALL ABOVE GROUND UTILITY APPLIANCES VISIBLE FROM PUBLIC RIGHT-OF-WAY SUCH AS PEDESTALS, UTILITY METERS, TRANSFORMERS, BACK-FLOW PREVENTION DEVICES, ETC FOR NEW DEVELOPMENT OR REDEVELOPMENT ACTIVITIES SHALL CONFORM TO SCREENING REQUIREMENTS AS OUTLINED IN SECTION 6.06.06.C 10 OF THE LAND DEVELOPMENT CODE. PLANT LOCATION MUST BE CONSIDERATE OF REQUIRED SPATIAL SEPARATIONS FROM A FIRE FLOW PROTECTION APPLIANCE IN ACCORDANCE TO THE UNIFORM FIRE CODE.

1. HERNANDO COUNTY SHALL NOT OWN OR MAINTAIN ANY WATER LINES, SEWER LINES, OR FACILITIES CONSTRUCTED ON PRIVATE PROPERTY
2. ALL NEWLY INSTALLED WATER DISTRIBUTION MAINS AND SERVICE LATERALS SHALL BE COLOR CODED BLUE
3. ALL NEWLY INSTALLED FORCE MAINS AND GRAVITY LINES SHALL BE COLOR CODED GREEN
4. ALL MATERIALS AND LABOR SHALL MEET THE SPECIFICATIONS REQUIRED BY THE COUNTY. ALL CONSTRUCTION SHALL BE PERFORMED UNDER THE INSPECTION OF THE COUNTY AND IN STRICT COMPLIANCE WITH THE STANDARDS OF THE COUNTY DESIGN STANDARDS.
5. CONNECTIONS TO THE COUNTY'S SYSTEM SHALL BE MADE AFTER WRITTEN APPROVAL IS OBTAINED FROM THE UTILITY OWNER. THE CONNECTIONS TO EXISTING HCUJ WATER SYSTEMS SHALL CONFORM TO APPROVED PLANS AND BE WITNESSED BY AN HCUJ REPRESENTATIVE. EXCAVATION, BACKFILL, AND SURFACE RESTORATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
6. ELEMENTS OF THE WASTEWATER SYSTEM WITHIN RIGHT-OF-WAY SHALL MEET HERNANDO COUNTY STANDARDS
7. ALL NON-METALLIC PIPE WILL BE INSTALLED WITH 2 PAIR, 10 GAUGE, COPPER TRACER WIRE
8. THE WASTEWATER SYSTEM SHALL MEET ALL APPLICABLE LAND DEVELOPMENT CODE AND BUILDING CODE REQUIREMENTS
9. THE COLLECTION SYSTEM SHALL BE DESIGNED AND CONSTRUCTED TO HERNANDO COUNTY PUBLIC UTILITIES DEPARTMENT STANDARDS
10. THERE SHALL BE SUFFICIENT AREA TO ALLOW FOR A SERVICE VEHICLE TO BE OFF THE ROAD AND SIDEWALK WHILE MAINTAINING THE STATION
11. WATER/WASTEWATER LINES ARE A MINIMUM 3' OFF CURB AND SHALL NOT BE PLACED WITHIN 1.5 FEET OF OR UNDER THE SIDEWALK UNLESS NOTED OTHERWISE
12. ALL WATER AND SANITARY SEWER LOCATIONS ARE SHOWN GRAPHICALLY FOR PLANNING PURPOSES ONLY. FOR ACTUAL SERVICE CONSTRUCTION LOCATIONS SEE HERNANDO COUNTY UTILITY SERVICE DETAILS

13. ALL FITTINGS, APPURTENANCES, AND DEPTH OF PIPE SHALL BE MARKED IN THE FIELD FOR AS-BUILT PLAN PREPARATION

14. ALL GRAVITY PIPES SHALL BE SDR-26 UNLESS OTHERWISE NOTED

15. CONTRACTOR'S RESPONSIBILITIES REGARDING WET TAPS SHALL BE AS FOLLOWS:

- a. THE CONTRACTOR SHALL REQUEST HOW TO SCHEDULE CONNECTION OPERATIONS 5 BUSINESS DAYS PRIOR TO PROPOSED TIME OF CONNECTION TO EXISTING UTILITIES.
- b. THE CONTRACTOR SHALL EXCAVATE SUFFICIENTLY TO INSURE THE PROPOSED WET TAP IS NOT PERFORMED WITHIN 36 INCHES OF A PIPE JOINT OR FITTING. THE CONTRACTOR SHALL PRESSURE TEST THE TAPPING SADDLE OR SLEEVE AND VALVE INSTALLATION UNDER THE OBSERVATION OF THE HOW INSPECTOR. THE TEST PRESSURE SHALL BE 150 PSI FOR 15 MINUTES.
- c. THE CONTRACTOR SHALL FURNISH AND INSTALL APPROVED TAPPING SADDLES OR SLEEVES WITH VALVES AND PERFORM WET TAPS ON EXISTING WATER MAINS LARGER THAN 2 INCHES. HOWD SHALL FINISH THE TAPPING MACHINE TOOLS, FITTINGS AND SHALL PERFORM THE WET TAP FOR 2 INCH AND SMALLER DIAMETERS.

16. THE CONTRACTOR IS RESPONSIBLE FOR THE EXCAVATION BEFORE ANY COUNTY PERSONNEL WILL ENTER AN EXCAVATED AREA. IF TRENCH IS FOUR FEET IN DEPTH OR DEEPER, IT WILL REQUIRE A TRENCH BOX OR SLOPING, AND A LADDER ACCORDING TO OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.

17. MINIMUM CLEARANCE DISTANCE BETWEEN PIPELINES SHALL BE AS FOLLOWS:

- a. WATER MAINS MUST BE SEPARATED AT LEAST SIX (6) FEET HORIZONTALLY FROM GRAVITY SEWERS AND SANITARY SEWER FORCE MAINS, AS MEASURED FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE (I.E., SURFACE-TO-SURFACE)
- b. WATER MAINS MUST BE SEPARATED AT LEAST THREE (3) FEET HORIZONTALLY FROM STORMWATER AND RECLAIMED WATER LINES, AS MEASURED FROM SURFACE-TO-SURFACE


1. LINES, WHERE THERE IS NO FEASIBLE ALTERNATIVE TO PLACING WATER MAINS BELOW SANITARY AND/OR STORMWATER PIPING, THE MINIMUM SEPARATION MUST BE 12 INCHES. DISTANCE IS MEASURED FROM SURFACE-TO-SURFACE.
- d. WATER MAINS MUST BE VERTICALLY SEPARATED AT LEAST 12 INCHES FROM WASTEWATER FORCE MAINS AND RECLAIMED WATER MAINS AND MUST BE LOCATED ABOVE FORCE MAINS. DISTANCE IS MEASURED FROM SURFACE-TO-SURFACE.
- e. WATER MAINS THAT CROSS OTHER PIPES MUST BE CENTERED ON THE OTHER PIPE SO THAT THE WATER PIPE JOINTS ARE AS FAR AS POSSIBLE FROM THE OTHER UTILITY PIPE
18. CONTRACTOR TO SCHEDULE A PRE-CONSTRUCTION MEETING FIVE (5) BUSINESS DAYS PRIOR TO THE START OF OFF-SITE UTILITY CONSTRUCTION. CONTRACTOR MUST PROVIDE ALL UTILITY SUBMITTALS TO THE HCUID INSPECTOR FOR REVIEW AND APPROVAL A MINIMUM OF THREE (3) BUSINESS DAYS PRIOR TO THE PRE-CONSTRUCTION MEETING. HCUID INSPECTOR MUST ATTEND THE PRE-CONSTRUCTION MEETING. CONTACT HCUID AT (352) 340-4568 EXT. 351212 TO SCHEDULE THE PRE-CONSTRUCTION MEETING.
19. CONTRACTOR TO NOTIFY HCUID INSPECTOR 48 HOURS PRIOR TO UTILITY CONSTRUCTION IN THE COUNTY RIGHT-OF-WAY. HCUID INSPECTOR MUST BE PRESENT FOR ALL WATER AND SEWER CONNECTIONS.
20. CONSTRUCTION WATER TO BE PROVIDED BY A TEMPORARY CONSTRUCTION WATER METER INSTALLED BY HCUID ON THE CLOSEST HCUID OWNED FIRE HYDRANT TO THE SITE. CONSTRUCTION METERS WILL BE INSTALLED BY HCUID WITHIN FIVE (5) BUSINESS DAYS OF SIGNING UP FOR SERVICE. CONTRACTOR TO CONTACT HCUID'S CUSTOMER SERVICE TO SIGN UP FOR SERVICE. IF CONSTRUCTION WATER IS REQUIRED.
21. ENGINEER/DEVELOPER/CONTRACTOR/OWNER TO COMPLETE AND DEDICATE ALL OFFSITE WATER AND SEWER INFRASTRUCTURE TO HERNANDO COUNTY UTILITIES DEPARTMENT (HCUID). CONTACT HCUID TO OBTAIN THE CONTRIBUTED ASSET FORM.
22. ALL NEW UTILITIES CONSTRUCTION PROCEDURES & MATERIALS SHALL MEET OR EXCEED HERNANDO COUNTY UTILITIES DEPARTMENT POTABLE WATER, RECLAIMED WATER & WASTEWATER CONSTRUCTION SPECIFICATIONS MANUAL, LATEST EDITION AS AVAILABLE ON THE INTERNET @ [HTTP://WWW.HERNANDOCOUNTYFL.US/DEPARTMENTS/DEPARTMENTS-147/UTILITIES/ENGINEERING](http://www.hernandocountyfl.us/departments/departments-147/utilities/engineering).
23. HERNANDO COUNTY UTILITIES DEPARTMENT SHALL NOT OWN, OPERATE, OR MAINTAIN ON-SITE WATER AND/OR SEWER UTILITIES OUTSIDE OF DEDICATED UTILITY EASEMENTS.
24. THE HERNANDO COUNTY UTILITY DEPARTMENT (HCUID) IS NOT RESPONSIBLE FOR ONSITE DAMAGE ASSOCIATED WITH THE MAINTENANCE OR REPAIR OF ANY HCUID OWNED INFRASTRUCTURE. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ALL REPAIRS AND REPLACEMENT TO EXISTING LANDSCAPING, CURBING, ASPHALT, CONCRETE, ETC.
25. HCUID OWNED INFRASTRUCTURE: HCUID PERSONNEL MUST BE PRESENT TO PHYSICALLY VERIFY THAT THE INSTALLATION OF ALL PIPE FITTINGS HAS BEEN DONE PER PLAN BEFORE BURYING. THESE FITTINGS SHALL BE BURYED BUT NOT LIMITED TO: COUPLING, RESTRAINT, TEE, 90, 45, 22, 11, AIR RELEASE, AND ANY DIVERGERS FROM A STRAIGHT PIPE RUN. IF HCUID HAS NOT INSPECTED THE FITTING BEFORE BURYING THE CONTRACTOR WILL BE RESPONSIBLE FOR UNCOVERING FOR INSPECTION.
26. ALL AFTER HOUR WORK REQUESTS MUST BE SUBMITTED TO HCUID A MINIMUM 6 BUSINESS DAYS (NOT INCLUDING PUBLIC HOLIDAYS AND WEEKENDS) PRIOR TO THE PROPOSED WORK. THE REQUEST MUST FOLLOW HCUID'S REVISED SCHEDULED AFTER-HOURS WORK REQUEST SOP DATED 6-10-24 (OR LATEST EDITION). IF AFTER HOURS WORK IS PROPOSED CONTRACTOR WILL BE REQUIRED TO FOLLOW THE REQUESTED AFTER-HOURS WORK.
27. THE EXISTING UTILITY INFRASTRUCTURE IS SUBJECT TO FIELD VERIFICATION, VERIFICATION OF THE SIZE, LOCATION, DEPTH, MATERIAL TYPE AND ANY OTHER PERTINENT INFORMATION IS THE RESPONSIBILITY OF THE DEVELOPER/OWNER/CONTRACTOR PRIOR TO CONSTRUCTION.
28. CONTRACTOR TO STAKE THE UTILITY EASEMENTS/TRACIS THAT WILL CONTAIN HCUID OWNED INFRASTRUCTURE DURING CONSTRUCTION AND MAINTAIN THE STAKING UNTIL THE INFRASTRUCTURE IS INSTALLED.

LUTZ, FL 33558
(813) 920-2005 PHONE
(813) 482-9128 FAX
WWW.TAMPACIVIL.COM

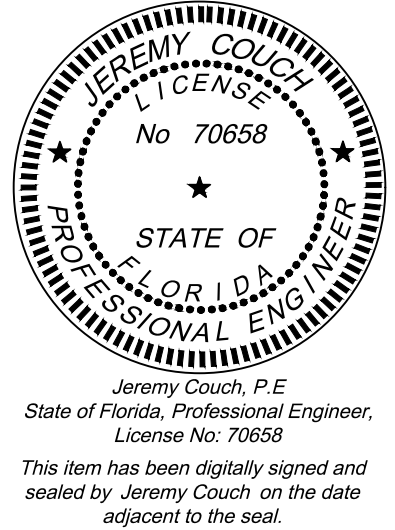
PROJECT: 658

PARKWAY TOWNHOMES
R15-423-18-0000-0953-0080
BARCLAY AVE, SPRING HILL, FL 34609

CLIENT.

[illegible]

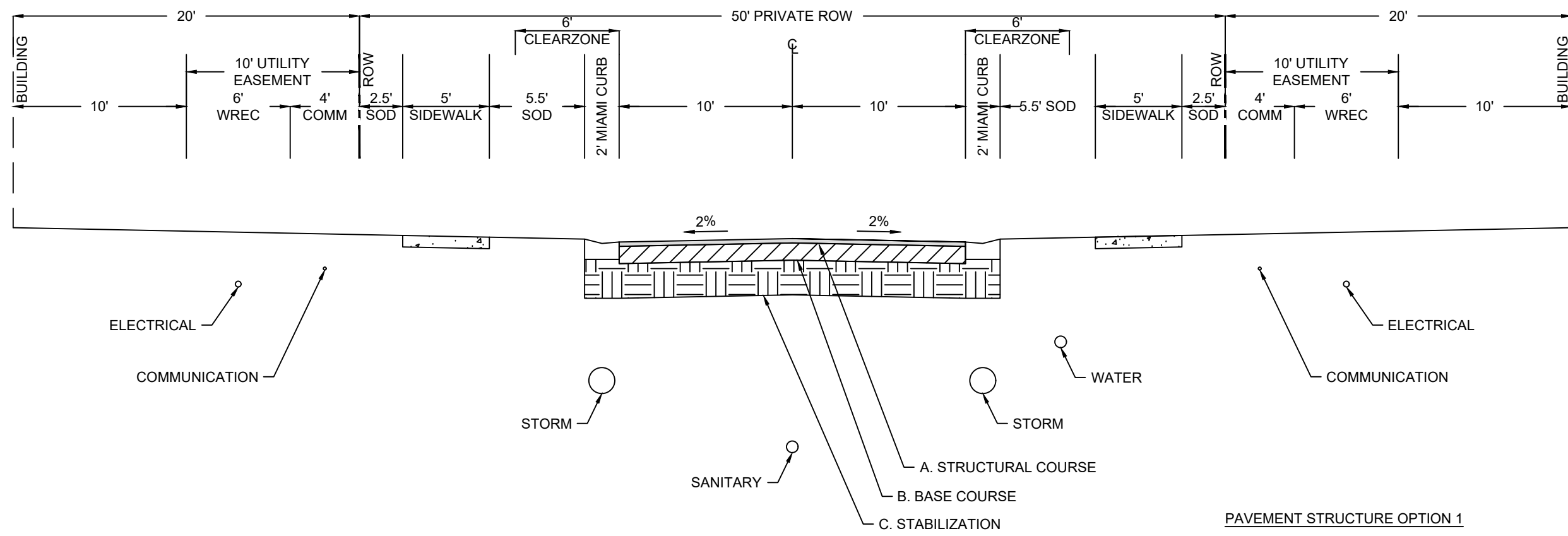
PM, J.O. DES, B.B.



Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

GENERAL NOTES

SHEET NO.



CROWNED ROAD - TYPICAL SECTION

- NOTES:
- DESIGN SPEED 30 MPH
 - PER THE FDOT FLORIDA GREENBOOK CHAPTER 4 TABLE 4-1 NOTE #1.B THE 6' CLEAR ZONE SHOWN ABOVE IS PREFERRED BUT CAN BE REDUCED TO 0' DUE TO CONSTRAINTS OF COST TERRAIN ROW OR SOCIAL / ENVIRONMENTAL IMPACTS
 - CONTRACTOR SHALL SUBMIT FINAL PAVEMENT DESIGN TO EOR FOR APPROVAL PRIOR TO CONSTRUCTION
 - SIDEWALKS TO BE A MIN OF 4" THICK EXCEPT FOR AT DRIVEWAYS AND ADA RAMPS WHERE THEY SHALL BE 6" THICK

PAVEMENT STRUCTURE OPTION 1

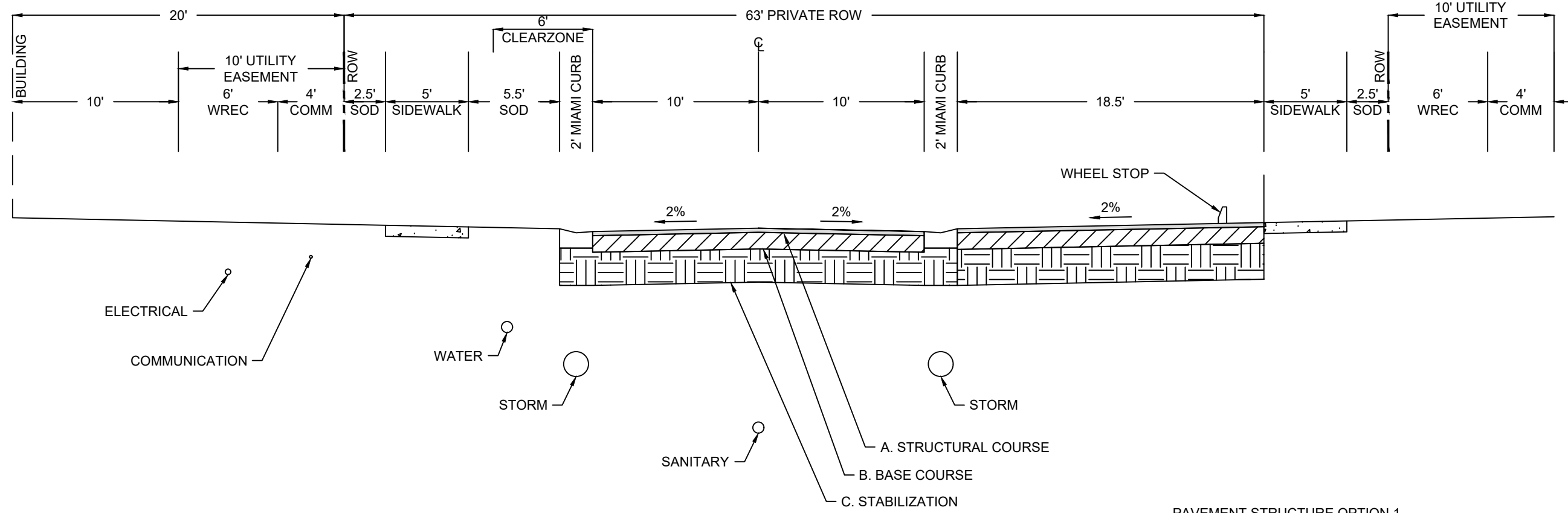
A. ASPHALTIC CONCRETE SP 9.5	1.75" X 0.44	= 0.77
B. SOIL CEMENT BASE (300 PSI)	8.00" X 0.15	= 1.20
C. COMPACTED SUBGRADE (LBR 20)	12.00" X 0.04	= 0.48
TOTAL:		= 2.45

PAVEMENT STRUCTURE OPTION 2

A. ASPHALTIC CONCRETE SP 9.5	1.75" X 0.44	= 0.77
B. CRUSHED CONCRETE BASE (LBR 150)	6.00" X 0.18	= 1.08
C. TYPE B STABILIZED SUBGRADE (LBR 40)	12.00" X 0.08	= 0.96
TOTAL:		= 2.81

PAVEMENT STRUCTURE OPTION 3

A. ASPHALTIC CONCRETE SP 9.5	1.75" X 0.44	= 0.77
B. LIMEROCK BASE (LBR 100)	6.00" X 0.18	= 1.08
C. TYPE B STABILIZED SUBGRADE (LBR 40)	12.00" X 0.08	= 0.96
TOTAL:		= 2.81



CROWNED ROAD WITH PARKING - TYPICAL SECTION

- NOTES:
- DESIGN SPEED 30 MPH
 - PER THE FDOT FLORIDA GREENBOOK CHAPTER 4 TABLE 4-1 NOTE #1.B THE 6' CLEAR ZONE SHOWN ABOVE IS PREFERRED BUT CAN BE REDUCED TO 0' DUE TO CONSTRAINTS OF COST TERRAIN ROW OR SOCIAL / ENVIRONMENTAL IMPACTS
 - CONTRACTOR SHALL SUBMIT FINAL PAVEMENT DESIGN TO EOR FOR APPROVAL PRIOR TO CONSTRUCTION
 - SIDEWALKS TO BE A MIN OF 4" THICK EXCEPT FOR AT DRIVEWAYS AND ADA RAMPS WHERE THEY SHALL BE 6" THICK

PAVEMENT STRUCTURE OPTION 1

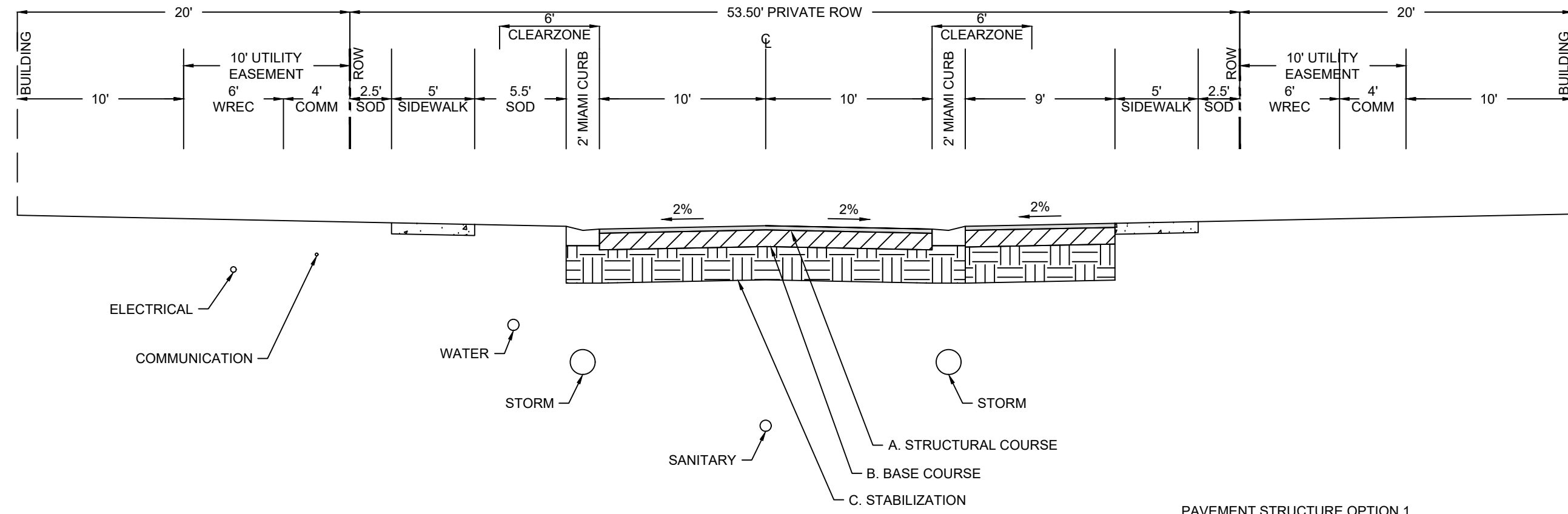
A. ASPHALTIC CONCRETE SP 9.5	1.75" X 0.44	= 0.77
B. SOIL CEMENT BASE (300 PSI)	8.00" X 0.15	= 1.20
C. COMPACTED SUBGRADE (LBR 20)	12.00" X 0.04	= 0.48
TOTAL:		= 2.45

PAVEMENT STRUCTURE OPTION 2

A. ASPHALTIC CONCRETE SP 9.5	1.75" X 0.44	= 0.77
B. CRUSHED CONCRETE BASE (LBR 150)	6.00" X 0.18	= 1.08
C. TYPE B STABILIZED SUBGRADE (LBR 40)	12.00" X 0.08	= 0.96
TOTAL:		= 2.81

PAVEMENT STRUCTURE OPTION 3

A. ASPHALTIC CONCRETE SP 9.5	1.75" X 0.44	= 0.77
B. LIMEROCK BASE (LBR 100)	6.00" X 0.18	= 1.08
C. TYPE B STABILIZED SUBGRADE (LBR 40)	12.00" X 0.08	= 0.96
TOTAL:		= 2.81



CROWNED ROAD WITH PARALLEL PARKING - TYPICAL SECTION

- NOTES:
- DESIGN SPEED 30 MPH
 - PER THE FDOT FLORIDA GREENBOOK CHAPTER 4 TABLE 4-1 NOTE #1.B THE 6' CLEAR ZONE SHOWN ABOVE IS PREFERRED BUT CAN BE REDUCED TO 0' DUE TO CONSTRAINTS OF COST TERRAIN ROW OR SOCIAL / ENVIRONMENTAL IMPACTS
 - CONTRACTOR SHALL SUBMIT FINAL PAVEMENT DESIGN TO EOR FOR APPROVAL PRIOR TO CONSTRUCTION
 - SIDEWALKS TO BE A MIN OF 4" THICK EXCEPT FOR AT DRIVEWAYS AND ADA RAMPS WHERE THEY SHALL BE 6" THICK

PAVEMENT STRUCTURE OPTION 1

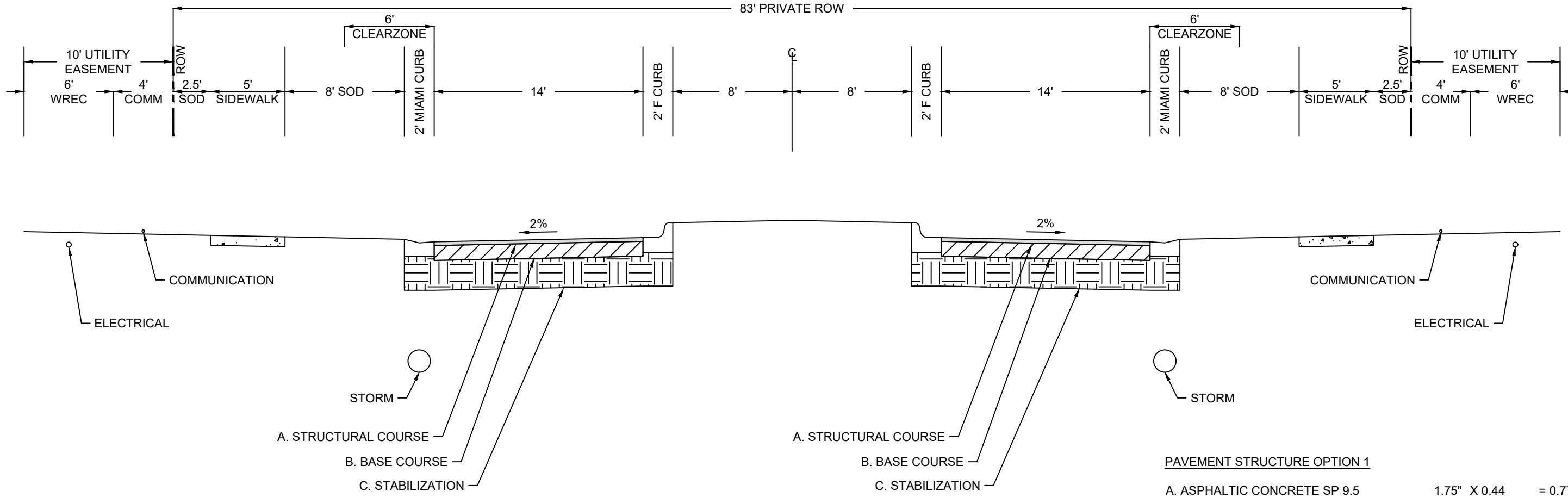
A. ASPHALTIC CONCRETE SP 9.5	1.75" X 0.44	= 0.77
B. SOIL CEMENT BASE (300 PSI)	8.00" X 0.15	= 1.20
C. COMPACTED SUBGRADE (LBR 20)	12.00" X 0.04	= 0.48
TOTAL:		= 2.45

PAVEMENT STRUCTURE OPTION 2

A. ASPHALTIC CONCRETE SP 9.5	1.75" X 0.44	= 0.77
B. CRUSHED CONCRETE BASE (LBR 150)	6.00" X 0.18	= 1.08
C. TYPE B STABILIZED SUBGRADE (LBR 40)	12.00" X 0.08	= 0.96
TOTAL:		= 2.81

PAVEMENT STRUCTURE OPTION 3

A. ASPHALTIC CONCRETE SP 9.5	1.75" X 0.44	= 0.77
B. LIMEROCK BASE (LBR 100)	6.00" X 0.18	= 1.08
C. TYPE B STABILIZED SUBGRADE (LBR 40)	12.00" X 0.08	= 0.96
TOTAL:		= 2.81



PROJECT MAIN ACCESS - TYPICAL SECTION

- NOTES:
- DESIGN SPEED 30 MPH
 - PER THE FDOT FLORIDA GREENBOOK CHAPTER 4 TABLE 4-1 NOTE #1.B THE 6' CLEAR ZONE SHOWN ABOVE IS PREFERRED BUT CAN BE REDUCED TO 0' DUE TO CONSTRAINTS OF COST TERRAIN ROW OR SOCIAL / ENVIRONMENTAL IMPACTS
 - CONTRACTOR SHALL SUBMIT FINAL PAVEMENT DESIGN TO EOR FOR APPROVAL PRIOR TO CONSTRUCTION
 - SIDEWALKS TO BE A MIN OF 4" THICK EXCEPT FOR AT DRIVEWAYS AND ADA RAMPS WHERE THEY SHALL BE 6" THICK

PAVEMENT STRUCTURE OPTION 1

A. ASPHALTIC CONCRETE SP 9.5	1.75" X 0.44	= 0.77
B. SOIL CEMENT BASE (300 PSI)	8.00" X 0.15	= 1.20
C. COMPACTED SUBGRADE (LBR 20)	12.00" X 0.04	= 0.48
TOTAL:		= 2.45

PAVEMENT STRUCTURE OPTION 2

A. ASPHALTIC CONCRETE SP 9.5	1.75" X 0.44	= 0.77
B. CRUSHED CONCRETE BASE (LBR 150)	6.00" X 0.18	= 1.08
C. TYPE B STABILIZED SUBGRADE (LBR 40)	12.00" X 0.08	= 0.96
TOTAL:		= 2.81

PAVEMENT STRUCTURE OPTION 3

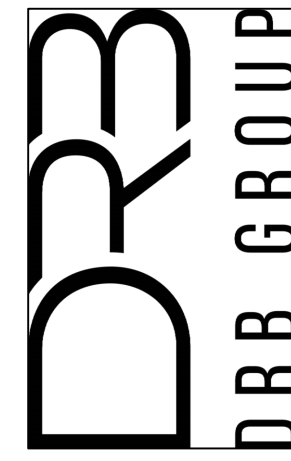
A. ASPHALTIC CONCRETE SP 9.5	1.75" X 0.44	= 0.77
B. LIMEROCK BASE (LBR 100)	6.00" X 0.18	= 1.08
C. TYPE B STABILIZED SUBGRADE (LBR 40)	12.00" X 0.08	= 0.96
TOTAL:		= 2.81

TAMPA CIVIL DESIGN
17937 HUNTING BOW CIR. S-102
LUTZ, FL 33558
(813) 920-2005 PHONE
(813) 482-9128 FAX
WWW.TAMPA CIVIL.COM

PROJECT: 658

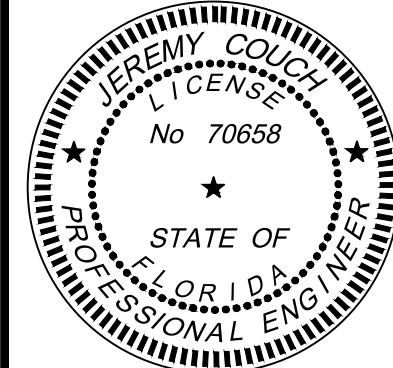
PARKWAY TOWNHOMES
R15-423-18-0000-0953-0080
BARCLAY AVE. SPRING HILL, FL 34609

CLIENT:



REVISION	DATE
HC CONDITIONAL PLAT - 1ST SUB	10-02-2024
HC CONDITIONAL PLAT - 2ND SUB	04-30-2025
HC CONDITIONAL PLAT - 3RD SUB	07-25-2025
HC CONDITIONAL PLAT - 4TH SUB	09-23-2025

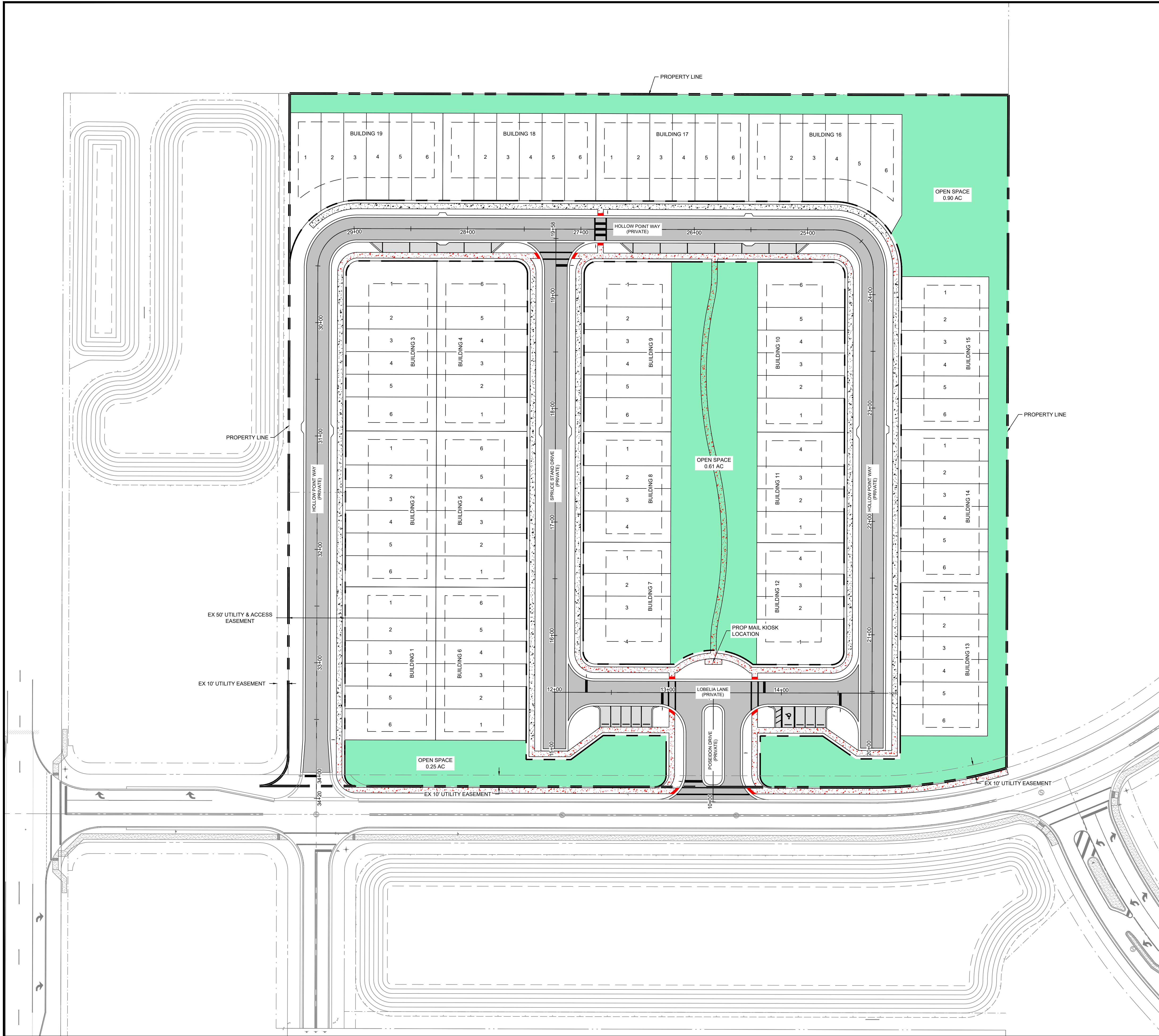
PM J.O. DES. B.B.



Jeremy Couch, P.E.
State of Florida, Professional Engineer,
License No. 70658
This item has been digitally signed and sealed by Jeremy Couch on the date adjacent to the seal.
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

TYPICAL ROADWAY SECTIONS

SHEET NO:
C-3



LEGEND

- PROPERTY LINE / ROW LINE
- SETBACK LINE
- PROPOSED ASPHALT
- PROPOSED SIDEWALK BY SITE CONTRACTOR
- PROPOSED SIDEWALK BY HOMEOWNER
- PROPOSED OPEN SPACE

SCALE: 1" = 40'

0' 20' 40' 80'

GRAPHIC SCALE (IN FEET)

SITE DEVELOPMENT DATA

ZONING: MPUD (MASTER PLANNED UNIT DEVELOPMENT)
CPDP(GO) COMBINED PLANNED DEVELOPMENT PROJECT
(GENERAL COMMERCIAL) PD H-22-26 - 6/13/2022

FUTURE LAND USE: TOWNHOUSE DEVELOPMENT
PARCEL ID #: 01599274 & 00377577
ADJACENT ZONING: NORTH: MF & GC
SOUTH: GNC & OP
EAST: SUNCOAST PARKWAY
WEST: SF

EXISTING SITE DATA:

PROJECT SITE AREA: 8.86 AC
IMPERVIOUS AREA: 0.00 AC
PERVIOUS AREA: 8.86 AC

PROPOSED SITE DATA:

PROJECT SITE AREA: 8.86 AC
IMPERVIOUS AREA: 5.51 AC
PERVIOUS AREA: 3.35 AC

PARKING

REQUIRED:
2 SPACES PER TOWNHOME UNIT (106 X 2) = 212 SPACES

TOTAL PARKING REQUIRED = 212 SPACES

PROVIDED:
1 DRIVEWAY & 1 GARAGE (2 SPACES) PER TOWNHOME UNIT = 182
1 ADA SPACES
18 REGULAR SPACES

TOTAL PARKING PROVIDED = 231 SPACES

DENSITY:

MAXIMUM PER CPDP-H-22-26: MAX 106 UNITS

PROVIDED: 106 TOTAL UNITS / 8.86 AC
11.96 UNITS / AC

DEVELOPMENT STANDARDS:

PROPOSED TOWNHOMES: 106 UNITS

SETBACKS:
20' GARAGE
8' REAR
0' SIDE (MINIMUM OF 15' BETWEEN BUILDINGS)
2 STORY / 35'
1,540 SF
70%

OPEN SPACE:

REQUIRED PER PD H-22-26
15% OF THE GROSS AREA BE PROVIDED AS OPEN SPACE
8.86 AC X 0.15 = 1.33 AC REQUIRED

PROVIDED:
1.75 AC

TYPICAL 4 UNIT BUILDING
N.T.S.

WIDTH (A)	DEPTH (B)	MINIMUM SETBACKS				
		FRONT (C)	SIDE (D)	REAR (E)	MAX HEIGHT	
20'	77'	20'	7.5'	8'	35'	

TYPICAL 6 UNIT BUILDING
N.T.S.

WIDTH (A)	DEPTH (B)	MINIMUM SETBACKS				
		FRONT (C)	SIDE (D)	REAR (E)	MAX HEIGHT	
20'	77'	20'	7.5'	8'	35'	

TAMPA CIVIL DESIGN
17937 HUNTING BOW CIR. S-102
LUTZ, FL 33558
(813) 920-2005 PHONE
(813) 482-9128 FAX
WWW.TAMPA CIVIL.COM
COA: 28971

PROJECT: 658

PARKWAY TOWNHOMES
R15-423-18-0000-0953-0080
BARCLAY AVE. SPRING HILL, FL 34609

CLIENT:

DRB GROUP

REVISION	DATE
HC CONDITIONAL PLAT - 1ST SUB	10-02-2024
HC CONDITIONAL PLAT - 2ND SUB	04-30-2025
HC CONDITIONAL PLAT - 3RD SUB	07-25-2025
HC CONDITIONAL PLAT - 4TH SUB	09-23-2025

PM J.O. DES. B.B.

JEREMY COUCH, P.E.
No 70658
STATE OF FLORIDA
PROFESSIONAL ENGINEER

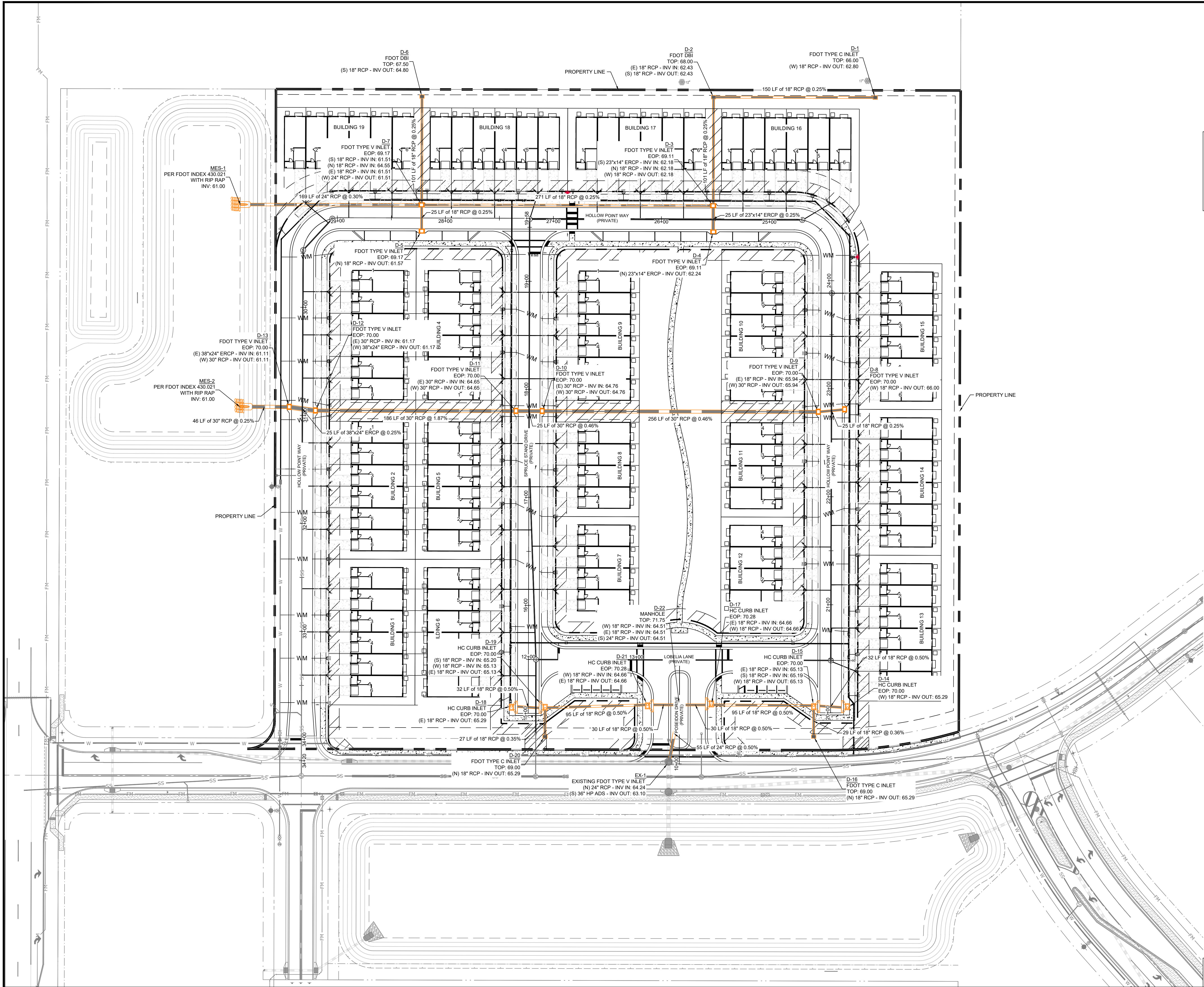
Jeremy Couch, P.E.
State of Florida, Professional Engineer,
License No: 70658

This item has been digitally signed and sealed by Jeremy Couch on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

MASTER SITE PLAN

SHEET NO: C-5



N

SCALE: 1" = 40'

0' 20' 40' 80'

GRAPHIC SCALE (IN FEET)

LEGEND

PROPERTY LINE / ROW LINE

SILT FENCE

PROPOSED CONCRETE

TAMPA CIVIL DESIGN
17937 HUNTING BOW CIR. S-102
LUTZ, FL 33558
(813) 920-2005 PHONE
(813) 482-9128 FAX
WWW.TAMPA CIVIL.COM
COA: 28971

PROJECT: 658
PARKWAY TOWNHOMES
R15-423-18-0000-0953-0080
BARCLAY AVE. SPRING HILL, FL 34609

DRB GROUP

DRB GROUP

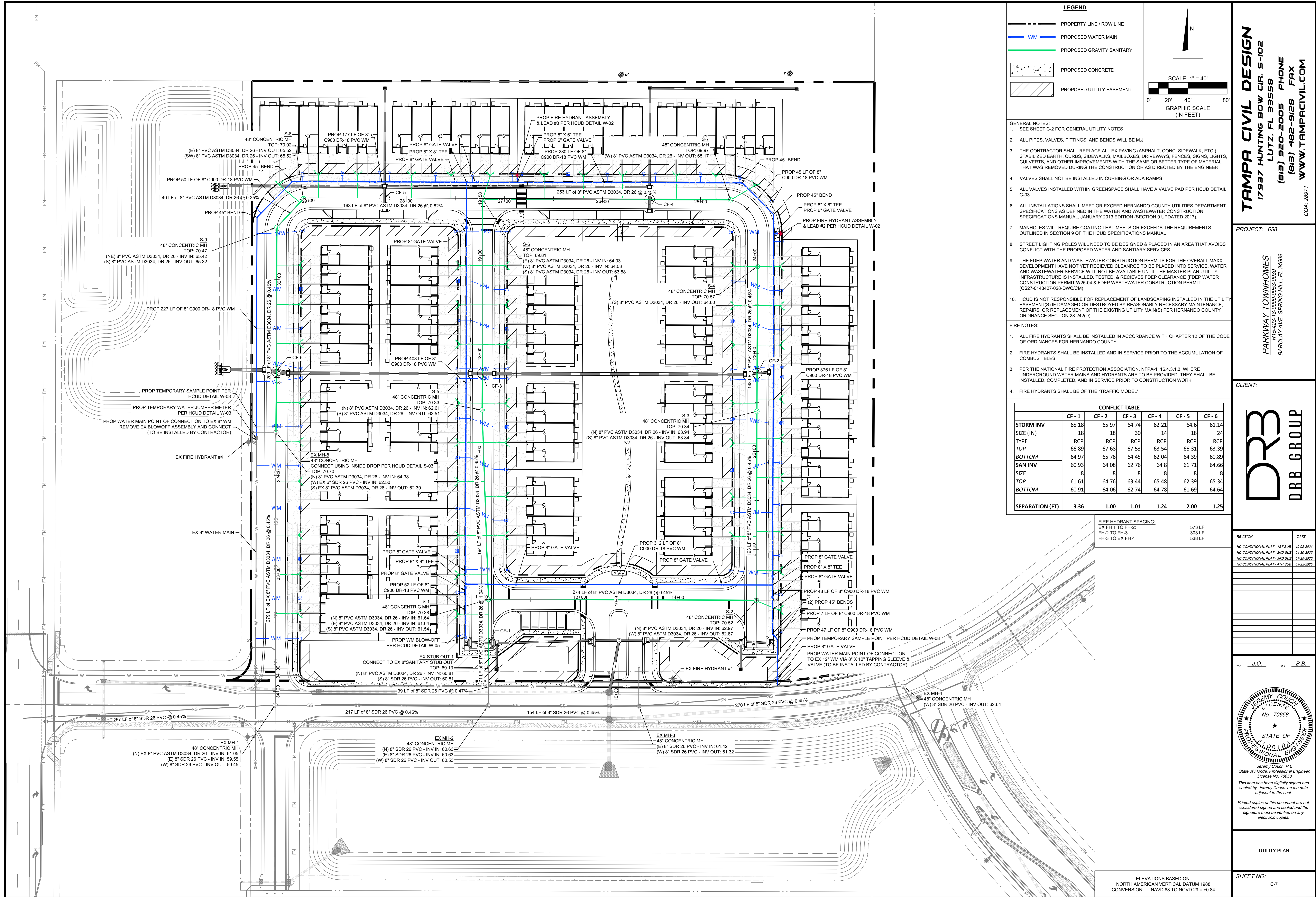
REVISION	DATE
HC CONDITIONAL PLAT - 1ST SUB	10-02-2024
HC CONDITIONAL PLAT - 2ND SUB	04-30-2025
HC CONDITIONAL PLAT - 3RD SUB	07-25-2025
HC CONDITIONAL PLAT - 4TH SUB	09-23-2025

PM J.O. DES. B.B.

Jeremy Couch, P.E.
State of Florida, Professional Engineer,
License No. 70658
This item has been digitally signed and
sealed by: Jeremy Couch on the date
adjacent to the seal.
Printed copies of this document are not
considered signed and sealed and the
signature must be verified on any
electronic copies.

DRAINAGE PLAN
SHEET NO: C-6

ELEVATIONS BASED ON:
NORTH AMERICAN VERTICAL DATUM 1988
CONVERSION: NAVD 88 TO NGVD 29 = +0.84



LEGEND

- PROPERTY LINE / ROW LINE
- WM PROPOSED WATER MAIN
- PROPOSED GRAVITY SANITARY
- PROPOSED CONCRETE
- PROPOSED UTILITY EASEMENT

SCALE: 1" = 40'

0' 20' 40' 80'

GRAPHIC SCALE (IN FEET)

- GENERAL NOTES:
- SEE SHEET C-2 FOR GENERAL UTILITY NOTES
 - ALL PIPES, VALVES, FITTINGS, AND BENDS WILL BE M.J.
 - THE CONTRACTOR SHALL REPLACE ALL EX PAVING (ASPHALT, CONC. SIDEWALK, ETC.), STABILIZED EARTH, CURBS, SIDEWALKS, MAILBOXES, DRIVEWAYS, FENCES, SIGNS, LIGHTS, CULVERTS, AND OTHER IMPROVEMENTS WITH THE SAME OR BETTER TYPE OF MATERIAL THAT WAS REMOVED DURING THE CONSTRUCTION OR AS DIRECTED BY THE ENGINEER
 - VALVES SHALL NOT BE INSTALLED IN CURBING OR ADA RAMPS
 - ALL VALVES INSTALLED WITHIN GREENSPACE SHALL HAVE A VALVE PAD PER HCU DETAIL G-03
 - ALL INSTALLATIONS SHALL MEET OR EXCEED HERNANDO COUNTY UTILITIES DEPARTMENT SPECIFICATIONS AS DEFINED IN THE WATER AND WASTEWATER CONSTRUCTION SPECIFICATIONS MANUAL, JANUARY 2013 EDITION (SECTION 9 UPDATED 2017).
 - MANHOLES WILL REQUIRE COATING THAT MEETS OR EXCEEDS THE REQUIREMENTS OUTLINED IN SECTION 9 OF THE HCU SPECIFICATIONS MANUAL
 - STREET LIGHTING POLES WILL NEED TO BE DESIGNED & PLACED IN AN AREA THAT AVOIDS CONFLICT WITH THE PROPOSED WATER AND SANITARY SERVICES
 - THE FDEP WATER AND WASTEWATER CONSTRUCTION PERMITS FOR THE OVERALL MAXX DEVELOPMENT HAVE NOT YET RECEIVED CLEARANCE TO BE PLACED INTO SERVICE. WATER AND WASTEWATER SERVICE WILL NOT BE AVAILABLE UNTIL THE MASTER PLAN UTILITY INFRASTRUCTURE IS INSTALLED, TESTED, & RECEIVES FDEP CLEARANCE (FDEP WATER CONSTRUCTION PERMIT W25-04 & FDEP WASTEWATER CONSTRUCTION PERMIT (CS27-0143427-028-DWC/CM)
 - HCU IS NOT RESPONSIBLE FOR REPLACEMENT OF LANDSCAPING INSTALLED IN THE UTILITY EASEMENT(S) IF DAMAGED OR DESTROYED BY REASONABLY NECESSARY MAINTENANCE, REPAIRS, OR REPLACEMENT OF THE EXISTING UTILITY MAIN(S) PER HERNANDO COUNTY ORDINANCE SECTION 28-242(D).

- FIRE NOTES:
- ALL FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH CHAPTER 12 OF THE CODE OF ORDINANCES FOR HERNANDO COUNTY
 - FIRE HYDRANTS SHALL BE INSTALLED AND IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES
 - PER THE NATIONAL FIRE PROTECTION ASSOCIATION, NFPA-1, 16.4.3.1.3, WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK
 - FIRE HYDRANTS SHALL BE OF THE "TRAFFIC MODEL"

CONFLICT TABLE						
	CF - 1	CF - 2	CF - 3	CF - 4	CF - 5	CF - 6
STORM INV	65.18	65.97	64.74	62.21	64.6	61.14
SIZE (IN)	18	18	30	14	18	24
TYPE	RCP	RCP	RCP	RCP	RCP	RCP
TOP	66.89	67.68	67.53	63.54	66.31	63.39
BOTTOM	64.97	65.76	64.45	62.04	64.39	60.89
SAN INV	60.93	64.08	62.76	64.8	61.71	64.66
SIZE	8	8	8	8	8	8
TOP	61.61	64.76	63.44	65.48	62.39	65.34
BOTTOM	60.91	64.06	62.74	64.78	61.69	64.64
SEPARATION (FT)	3.36	1.00	1.01	1.24	2.00	1.25

FIRE HYDRANT SPACING:
EX FH 1 TO FH-2: 573 LF
FH-2 TO FH-3: 303 LF
FH-3 TO EX FH 4: 538 LF

TAMPA CIVIL DESIGN
17937 HUNTING BOW CIR. S-102
LUTZ, FL 33558
(813) 920-2005 PHONE
(813) 482-9128 FAX
WWW.TAMPAFCIVIL.COM
COA: 28971

PROJECT: 658

PARKWAY TOWNHOMES
R15-423-18-0000-0953-0080
BARCLAY AVE. SPRING HILL, FL 34609

CLIENT:

DRB GROUP

REVISION	DATE
HC CONDITIONAL PLAT - 1ST SUB	10-02-2024
HC CONDITIONAL PLAT - 2ND SUB	04-30-2025
HC CONDITIONAL PLAT - 3RD SUB	07-25-2025
HC CONDITIONAL PLAT - 4TH SUB	09-23-2025

PM: J.O. DES: B.B.

STATE OF FLORIDA
JEREMY COUCH, P.E.
No. 70658
Professional Engineer

State of Florida, Professional Engineer,
License No. 70658

This item has been digitally signed and sealed by: Jeremy Couch on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

UTILITY PLAN

SHEET NO: C-7

ELEVATIONS BASED ON:
NORTH AMERICAN VERTICAL DATUM 1988
CONVERSION: NAVD 88 TO NGVD 29 = +0.84