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# PARKWAY TOWNHOMES

BARCLAY AVE, SPRING HILL, FL 34609

STR 15/23/18 PARCEL ID #: R15 423 18 0000 9053 0080

# CONDITIONAL PLAT

HERNANDO CONDITIONAL PLAT HERNANDO CONSTRUCTION PLANS SWFWMD APP

#: 1490384 #: 1505071 #: 919898

# Firefy St. Sep Br. Rice and Date Cubbs. Rice and Rice a

**LOCATION MAP** 

# LEGAL DESCRIPTION

A PARCEL OF LAND LYING WITHIN SECTION 15, TOWNSHIP 23 SOUTH, RANGE 18 EAST, HERNANDO COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: FOR A POINT OF BEGINNING COMMENCE AT THE SOUTHEAST CORNER OF HOLLAND SPRING COMMERCIAL TRACT "3", AS PER THE MAP OR PLAT RECORDED IN PLAT BOOK 34, PAGE 1 OF THE PUBLIC RECORDS OF HERNANDO COUNTY, FLORIDA; THENCE S.00°10'14"W., ALONG THE EAST BOUNDARY OF THE SOUTHEAST 1/4 OF SAID SECTION 15, A DISTANCE OF 593.59 FEET TO A NON-TANGENT POINT OF CURVATURE; THENCE WESTERLY 122.13 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 425.00 FEET, A CENTRAL ANGLE OF 16°27'53", AND A CHORD BEARING AND DISTANCE OF S.81°54'30"W., 121.71 FEET; THENCE N89°51'34"W., A DISTANCE OF 538.29 FEET TO A NON-TANGENT POINT OF CURVATURE; THENCE NORTHEASTERLY 39.27 FEET ALONG THE ARC OF A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90°00'00", AND A CHORD BEARING AND DISTANCE OF N.45°08'26"E., 35.36 FEET; THENCE N.00°08'26"E., A DISTANCE OF 585.80 FEET TO THE SOUTH BOUNDARY OF THE AFORESAID PLAT OF HOLLAND SPRING COMMERCIAL TRACT "3"; THENCE S.89°52'43"E., ALONG THE SOUTH BOUNDARY OF SAID PLAT, A DISTANCE OF 634.06 FEET TO THE POINT OF BEGINNING.

CONTAINING 8.877 ACRES, MORE OR LESS.

PREPARED FOR:
DRB HOMES
4901 VINELAND ROAD, SUITE690
ORLANDO, FL 32806



ELEVATIONS BASED ON:
NORTH AMERICAN VERTICAL DATUM 1988
CONVERSION: NAVD 88 TO NGVD 29 = +0.84

SCHEDULE OF DELEGATED ENGINEERING DESIGN: (IF APPLICABLE)

GEOTECHNICAL ENGINEERING: TRANSPORTATION ANALYSIS: ENVIRONMENTAL ANALYSIS: LANDSCAPE DESIGN:

SAN ANTONIO, FL 33576

EMAIL: survey@dcjohnson.com

(352) 588- 2768

1	OWNER/OWNERS:	CIVIL ENGINEER:
	DRB HOMES 4901 VINELAND ROAD, SUITE 690 ORLANDO, FL 32806 PHONE: CONTACT: EMAIL:	TAMPA CIVIL DESIGN 17937 HUNTING BOW CIR. S-102 LUTZ, FL 33558 (813) 920-2005 CONTACT: JEREMY COUCH, P.E. EMAIL: jcouch@tampacivil.com
	SURVEYOR: DC JOHNSON ASSOCIATES 11911 S. CURLEY STREET	CONTRACTOR: TBD

REMY COLLEGE NO. 70658

NO. 70658

STATE OF

STATE OF

Jeremy Couch, P.E.

State of Florida, Professional Engineer,
License No: 70658

This item has been digitally signed and
sealed by Jeremy Couch on the date
adjacent to the seal.

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signature must be verified on any
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HC CONDITIONAL PLAT - 1ST SUB 10-02-2024

HC CONDITIONAL PLAT - 2ND SUB 04-30-2025

HC CONDITIONAL PLAT - 3RD SUB 07-25-2025

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CABLE/PHONE: CHARTER COMUMUNICATION - DUFFY MCCLELLAND (352-527-2189)
ZAYO GROUP - HENRY KLOBUCAR - (406-496-6510)

# PREPARED BY:

# TAMPA CIVIL DESIGN

17937 HUNTING BOW CIR. S-102 LUTZ, FL 33558 PHONE: (813) 920-2005

# **GENERAL NOTES**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS FROM THE OWNER/ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE CONTRACTORS RESPONSIBILITY TO THOROUGHLY REVIEW AND UNDERSTAND ALL PERMIT CONDITIONS. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS THE PERMITS. ANY ADDITIONAL CONSTRUCTION/BUILDING PERMITS REQUIRED TO EXECUTE/COMPLETE THE WORK SHOWN IN THESE DOCUMENTS SHALL BE OBTAINED BY THE CONTRACTOR. (ie ONSITE PIPE/BURN/DEWATERING, etc)
- ALL CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO THE LATEST EDITION OF THE LOCAL MUNICIPAL LAND DEVELOPMENT CODE AND CURRENT TRANSPORTATION TECHNICAL MANUAL. ALL STRUCTURES SHALL BE IN ACCORDANCE WITH FDOT STANDARDS. WORK WITHIN THE FDOT R/W SHALL CONFORM TO THE MOST CURRENT FDOT STANDARDS AND SPECIFICATIONS. QUESTION ON MATERIALS SHALL BE DIRECTED TO THE EOR
- ALL ELEVATION DATA IS BASED ON THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK WITH SUBCONTRACTORS AND OTHER PUBLIC OR PRIVATE UTILITIES CONSTRUCTING FACILITIES WITHIN
- THE CONTRACTOR SHALL SOLID SOD ALL SLOPES STEEPER THAN 5:1 AND WITHIN CITY/COUNTY/FDOT R/W, AND SEED ALL OTHER AREAS DISTURBED BY CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN SOD/SEED UNTIL STABILIZATION HAS OCCURRED.
- CONTRACTOR SHALL CONTACT THE ENGINEER AND/OR OWNER PRIOR TO ANY CONSTRUCTION ACTIVITY THAT MAY DAMAGE OR OTHERWISE AFFECT TREES NOT SCHEDULED FOR
- EXISTING UNDERGROUND UTILITY LINES SHOWN ON THE DRAWINGS WERE TAKEN FROM VISUAL OBSERVATION, RECORD DRAWINGS AND DOCUMENTS FURNISHED BY OTHERS, AND NOT FIELD VERIFIED. THE CONTRACTOR SHALL FIELD EXPOSE THE LOCATION OF ALL UNDERGROUND UTILITIES WHICH MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION. PRIOR TO ACTUAL CONSTRUCTION, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED IF A CONFLICT EXISTS RETWEEN ACTUAL FIELD CONDITIONS AND THESE PLANS, CALL SUINSHINE STATE ONE CALL AT 1-800-432-4770 MIN. 48 HOURS BEFORE DIGGING.
- THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION, INCLUDING TESTING, WITH ENGINEER AND APPROPRIATE MUNICIPALITY INSPECTORS IN ACCORDANCE WITH THE MUNICIPALITIES REQUIREMENTS
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL FIELD ASBUILT INFORMATION TO THE ENGINEER FOR THE PREPARATION OF RECORD DRAWINGS. A MARK-UP "IN RED" SET OF PLANS SHALL BE AVAILABLE AT ALL TIME AT THE CONSTRUCTION SITE. FINAL FIELD CONDITIONS SHALL BE SURVEYED BY A LICENSE SURVEYOR. ONE CERTIFIED AS-BUILT SURVEYS AND CAD FILE SHALL BE FURNISHED TO THE ENGINEER AFTER THE FINAL INSPECTION.
- 10 ALL CUT/FILLING SHALL MEET THE FOLLOWING REQUIREMENTS: 10.a. COMPACTED TO A DENSITY OF NOT LESS THAN 98% PER ASTM D 1557-70.
- 10.b. DENSITY TESTS SHALL BE CONDUCTED EVERY 12" OF COMPACTED DEPTH UNLESS DIRECTED OTHERWISE BY THE ENGINEER OF RECORD.
- THE INFORMATION PROVIDED IN THESE PLANS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF THE CONDITIONS WHICH MAY BE ENCOLINTERED DURING THE COURSE OF WORK, ALL CONTRACTORS ARE DIRECTED. PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY MAY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSIONS REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH THEIR BIDS WILL BE BASED UPON.
- THE CONTRACTOR SHALL COMPLY WITH ALL NPDES REQUIREMENTS. THE CONTRACTOR IS REQUIRED TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER (HAY BALES OR SILITATION CURTAIN) TO PREVENT SILITATION OF ADJACENT PROPERTY STREETS STORM SEWERS AND WATERWAYS IN ADDITION CONTRACTOR SHALL PLACE STRAW. MULICH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT THE SITE, IF, IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR VEHICULAR TRAFFIC, THE CONTRACTOR IS TO REMOVE AND CLEAN TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES.
- CONTRACTOR SHALL PROVIDE EOR WITH SUBMITTALS FOR ALL MATERIAL TO BE USED ONSITE AND OFFSITE. THE CONTRACTOR SHALL ALLOW 14 DAYS FOR REVIEW OF MATERIALS IN
- CONTRACTOR SHALL EXPOSE AND IDENTIFY ELEVATIONS OF EXISTING UTILITIES IN THE AREA SURROUNDING PROPOSED UTILITIES. IF CONFLICTS ARISE, THE CONTRACTOR SHALL CONTACT THE EOR FOR FURTHER INSTRUCTION, AND THE EOR WILL COORDINATE WITH MUNICIPAL STAFF AND MAKE FIELD ADJUSTMENTS AS NECESSARY. CONTINGENCIES SHOULD BE CONSIDERED FOR VERTICAL OFFSET OF PROPOSED UTILITIES AROUND EXISTING, AS NECESSARY.
- 15. CONTRACTOR SHALL OBTAIN PERMITS FROM THE FIRE MARSHALL AND / OR OTHER REGULATING ENTITY PRIOR TO ONSITE BURNING WHERE APPLICABLE.
- 6. WATER TRUCK/SPRAY WILL BE USED FOR FUGITIVE DUST CONTROL
- : IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF HISTORIC RESOURCES, INCLUDING BUT NOT LIMITED TO ABNORMAL OR HISTORIC POTTERY, PREHISTORIC STONE TOOLS, BONE OR SHELL TOOLS, HISTORIC TRASH PITS, OR HISTORIC BUILDING FOUNDATION, ARE DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND THE FLORIDA DEPARTMENT OF HISTORIC RESOURCES (STATE HISTORIC PRESERVATION OFFICER) AND HERNANDO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE RESOURCES FOUND ON THE
- 8. IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE OR FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES IS DISCOVERED, HERNANDO COUNTY AND APPLICABLE AGENCIES SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON THE SITE. ALL WORK IN THE AFFECTED AREA SHALL COME TO AN IMMEDIATE STOP UNTIL ALL PERTINENT PERMITS HAVE BEEN OBTAINED, AGENCY WRITTEN AUTHORIZATION TO COMMENCE ACTIVITIES HAS BEEN GIVEN, OR UNLESS COMPLIANCE WITH STATE AND FEDERAL GUIDELINES CAN BE DEMONSTRATED.
- 19. IT IS THE OWNER'S RESPONSIBILITY TO INSPECT AND MAINTAIN THE WATER RETENTION SYSTEM ON A REGULAR BASIS AFTER PROJECT COMPLETION.
- . PRIOR TO CONSTRUCTION, A BUILDING PERMIT SHALL BE OBTAINED FOR ALL STRUCTURES THAT HAVE A FOOTER, REGARDLESS OF SIZE, THROUGH HERNANDO COUNTY CENTRAL PERMITTING. (IE. INCLUDING BUT NOT INCLUSIVE BUILDINGS. ACCESSORIES. AND RETAINING WALLS)
- 1. ALL SODDED SLOPES OVER 4 TO 1, SHALL BE INSTALLED WITH SOD PEGS. ALL DISTURBED RIGHT OF WAYS SHALL BE RESTORED WITH SOD. A PROPOSED SOD LIMITS MAP SHALL BE SUBMITTED TO THE EOR FOR REVIEW.
- 22. ALL DEMOLITION DEBRIS (IF ANY) SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF

### GENERAL SITE PREPARTATION AND EARTHWORK NOTES

- CONTRACTOR SHALL PROVIDE SHORING. SHEETING, AND BRACING AS MAY BE NECESSARY TO PROPERLY ACCOMPLISH THEIR WORK, CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND UTILITIES TO REMAIN. SHOULD ANY UTILITIES BE ENCOUNTERED THAT ARE NOT INDICATED ON THE PLANS NOTIFY THE OWNER'S REPRESENTATIVE/ENGINEER OF RECORD. THE CONTRACTOR SHALL ENSURE TO COMPLY WITH CURRENT OSHA GUIDELINES.
- 1.a. DISPOSAL: SURPLUS MATERIAL FROM EXCAVATIONS, TRASH, DEBRIS AND MATERIALS RESULTING FROM CLEARING, GRUBBING, AND OTHER OPERATIONS SHALL BECOME THE PROPERTY OF CONTRACTOR AND SHALL BE DISPOSED OF BY REMOVING FROM THE SITE. NO BURYING OF TREES IS ALLOW
- 1.b. CLEARING AND GRUBBING: CLEAR AND GRUB TO REMOVE STUMPS, ROOTS, TREES, VEGETATION, ORGANIC MATERIALS, EXISTING PAVEMENT, STRUCTURES AND OTHER OBSTRUCTIONS TO THE WORK, ALL ORGANIC SOILS OR MUCK SHALL BE REMOVED AND BACKFILLED WITH SUITABLE MATERIALS.
- STRIP THE TOPSOIL FROM ALL AREAS WITHIN THE LIMITS OF CLEARING AND GRUBBING AND STOCKPILE ON THE SITE. TOPSOIL MAY BE SPREAD OVER AREAS OUTSIDE BUILDING AND PAVING LINES UPON COMPLETION OF ROUGH GRADING.

- GRADE THE SITE TO THE FINISHED CONTOURS INDICATED. IMMEDIATELY BEFORE REQUESTING FINAL INSPECTIONS, CHECK THE LINES AND DRESS TO THE PROPER CONTOURS. ALL AREAS ARE TO BE STABILIZED. THESE AREAS ARE TO BE MAINTAINED UNTIL ACCEPTANCE BY OWNER AND/OR EOR. WHEN SOD, PLANT BEDS, GRAVEL AREAS AND THE LIKE ARE INDICATED ON LANDSCAPE DRAWINGS OR SPECIFIED. MAKE ALLOWANCES WHEN ROLIGH GRADING FOR THE FINISHED GRADES IN THESE AREAS
- 1.a. BORROW: SUITABLE EXCAVATED MATERIAL, AS DETERMINED BY THE OWNER'S REPRESENTATIVE & EOR, MAY BE USED FOR GRADING. PROCURE ADDITIONAL MATERIALS, WHERE NECESSARY FROM BORROW PITS APPROVED BY THE OWNER'S REPRESENTATIVE AND EOR. BORROW MATERIALS SHALL HAVE PLASTIC INDEX OF SIX (6) OR LESS WITH A MAXIMUM OF 12 PERCENT PASSING A 200 SIEVE. THIS RECCOMENDATION SHALL BE SUPERCEDED BY THOSE OF THE GEOTECHNICAL REPORT
- 1.b. COMPACTION: AREAS OUTSIDE OF BUILDING AND PAVING LINES SHALL BE COMPACTED TO 95 PERCENT OF MAXIMUM DENSITY (ASSHTO T-180) AT OPTIMUM MOISTURE (ASTM D 1557)

# GENERAL OPERATION AND MAINTENANCE PLAN FOR SURFACE WATER MANAGEMENT

- 1. THE OWNER SHALL CHECK WEIR (AND/OR ORIFICE) IN ALL CONTROL STRUCTURES PERIODICALLY TO ASSURE THAT THEY ARE FREE FROM DEBRIS WHICH MAY HAVE EFFECT ON THEIR HYDRAULIC FUNCTION. ANY DAMAGES OR CLOGGING NEED TO BE REPAIRED AND/OR CLEANED IMMEDIATELY
- . THE OWNER AND/OR OPERATION/MAINTENANCE ENTITY SHALL NOT CONSTRUCT OR MAINTAIN ANY BUILDING OR STRUCTURE OR UNDERTAKE OR PERFORM ANY ACTIVITY IN THE WETLANDS, BUFFER AREAS, DRAINAGE EASEMENTS AND CONSERVATION AREAS.
- : THE POND BANKS SHOULD BE REGULARLY MOWED, WITH GRASS CLIPPINGS REMOVE FROM THE POND, AND NOTE THAT ANY ERODED BANKS SHOULD BE REPAIRED AND RESODDED TO
- 4. PICK UP GRASS CLIPPINGS AFTER CUTTING. MOW FREQUENTLY ENOUGH TO PREVENT THATCH BUILDUP, LIMIT FERTILIZER USE AROUND THE RETENTION POND AND DO NOT FERTILIZE
- 5. RESOD DISTURBED SIDE SLOPE AND ANY AREAS WHERE GRASS OR SOD HAS BEEN REMOVED OR ERODED.
- 6. ALL STORM WATER PIPES, INLETS, CATCH BASINS, MANHOLES, FLUMES, POND INFLOW AND OUTFALL STRUCTURES, INCLUDING OIL SKIMMERS AND DISCHARGE PIPES, SHOULD BE INSPECTED ON REGULAR BASIS (MONTHLY OR QUARTERLY) AND AFTER SEVERE RAINFALLS. THEY SHOULD BE MAINTAINED TO OPERATE AS DESIGNED BY REMOVING BUILT UP DEBRIS AND VEGETATION FROM INLETS. OUTLETS. CULVERTS. REPAIR DETERIORATION STRUCTURES.
- NOTE THAT CHEMICALS, OILS, GREASES, OR SIMILAR WASTES ARE NOT TO BE DISPOSED OF DIRECTLY OR THROUGH STORM SEWERS TO THE STORMWATER FACILITY. TREATMENT PONDS ARE DESIGNED TO REMOVE NORMAL ROAD, PARKING LOT, ROOF, AND YARD RUNOFF ONLY.
- 8. NO ALTERATION OF ANY PART OF THE STORMWATER FACILITIES IS PERMITTED WITHOUT PRIOR APPROVAL FORM ALL APPLICABLE GOVERNING AGENCIES.
- 9. IT IS USUALLY MORE COST EFFECTIVE TO MONITOR AND PERFORM ROUTINE MAINTENANCE ON SURFACE WATER MANAGEMENT SYSTEM THAN TO LET IT FAIL AND THEN HAVE TO RECONSTRUCT THE ENTIRE SYSTEM.
- D. THE REMOVAL OF LITTORAL SHELF VEGETATION (INCLUDING CATTAILS) FROM THE WET DETENTION PONDS IS PROHIBITED UNLESS OTHERWISE APPROVED BY THE GOVERNING WATER MANAGEMENT DISTRICT. REMOVAL INCLUDES DREDGING. THE APPLICATION OF HERBICIDE, CUTTING, AND THE INTRODUCTION OF GRASS CARP. ANY QUESTIONS REGARDING AUTHORIZED ACTIVITIES WITHIN THE WET DETENTION PONDS SHALL BE ADDRESSED TO THE DISTRICT'S SURFACE WATER REGULATION MANAGER, LOCAL SERVICE OFFICE.

# GENERAL PAVING AND DRAINAGE CONSTRUCTION NOTES

# REPORT OF SUBSURFACE CONDITIONS

- 1.a. A COPY OF THE SOILS INVESTIGATIONS REPORT IS AVAILABLE FROM TAMPA CIVIL DESIGN LLC., TELEPHONE NUMBER (813) 920-2005. THE RECOMMENDATIONS IN THE REPORT BY FAULKNER ENGINEERING SERVICES LLC # 6130.2400120, DATED AUGUST 14, 2024 SHALL BE CONSIDERED APART OF THE SITE CONSTRUCTION REQUIREMENTS.
- 1.b. THE ENGINEER DISCLAIMS ALL RESPONSIBILITY FOR FINDINGS AND INTERPRETATIONS EXPRESSED IN THE REPORT BY THE TESTING LABORATORY. CONTRACTOR SHALL MAKE WHATEVER SUBSURFACE INVESTIGATIONS HE DEEMS NECESSARY TO SATISFY HIMSELF AS TO THE ACTUAL FIELD CONDITIONS.

- 2.a. THE CONTRACTOR WILL PAY FOR ALL TESTING REQUIRED BY THE MUNICIPALITY, INCLUDING THOSE PROVING SATISFACTORY OPERATION OF ALL INSTALLED EQUIPMENT.PRESSURE AND LEAKAGE TEST, AND BACTERIOLOGICAL TESTS, FOR PIPE, STRUCTURES, AND ASPHALTIC MATERIALS. THE CONTRACTOR SHALL FORMALLY NOTIFY THE EOR FOR EACH INSPECTION. ANY TESTS WHICH HAVE TO BE MADE BECAUSE OF THE FAILURE OF INSTALLED MATERIALS TO MEET SPECIFICATIONS SHALL BE PAID FOR BY THE CONTRACTOR AND COSTS OF ANY SUCH TESTS SHALL BE DEDUCTED FROM PAYMENTS DUE THE CONTRACTOR.
- 2.b. THE OWNER / CONTRACTOR WILL RETAIN A CERTIFIED ENGINEERING TESTING LABORATORY TO PERFORM ALL MATERIALS TESTING SPECIFIED IN THE TECHNICAL SPECIFICATION AND AS MAY BE REQUIRED BY THE APPROPRIATE GOVERNMENTAL AGENCY HAVING JURISDICTION. ANY QUESTIONS ON TESTING REQUIREMENTS SHALL BE DIRECTED TO THE EOR.

### GENERAL EROSION AND TURBIDITY CONTROL NOTES

- THE CONTRACTOR SHALL BE REQUIRED TO COMPLY WITH NPDES AT ALL TIMES DURING CONSTRUCTION. UNLESS SPECIFICALLY STATED IN THE CONTRACT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NPDES PERMIT. NPDES MAINTENANCE. MONITORING. AND IMPLEMENTATION.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL EROSION AND TURBIDITY CONTROLS THROUGHOUT THE PROJECT CONSTRUCTION PROCESS AND UNTIL FINAL COMPLETION, DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT DURING CONSTRUCTION, RUNOFF WATER QUALITY AND QUANTITY LEAVING THE SITE DO NOT EXCEED LOCAL, STATE, AND FEDERAL GUIDELINES. PRIOR TO CONSTRUCTION. THE SITE CONTRACTOR IS RESPONSIBLE FOR HAVING THEIR DEWATERING PLAN AND TURBIDITY CONTROL PLAN APPROVED BY THE EOR AND APPLICABLE REVIEWING
  - SHOULD BE ADDRESSED TO THOSE AGENCIES AND/OR DISCUSSED WITH THE PROJECT ENGINEER AND OWNER. THE APPROPRIATE TURBIDITY AND EROSION CONTROL METHODOLOGIES SELECTED BY THE SITE CONTRACTOR FOR THIS PROJECT SHOULD BE MADE FOLLOWING ASSESSMENT OF THE PLANS AND PROJECT SITE SPECIFIC FACTORS AND AFTER CONSULTATIONS, AS NEEDED, WITH THE PROJECT ENGINEER AND APPROPRIATE AGENCIES. THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ANY AND ALL NECESSARY PERMITS FOR SUCH ACTIVITY: SEVERAL FACTORS TO CONSIDER ARE LISTED BELOW:

AGENCIES, REFER TO THE PROJECT'S PERMIT APPROVALS AND PERMIT CONDITIONS FOR AGENCIES REQUIRING SUCH REVIEW AND APPROVAL, QUESTIONS CONCERNING APPROPRIATE TECHNIQUES

- 4.a. CLAY CONTENT IN EXCAVATED MATERIALS AND/OR PERMEABILITY RATES 4 b DEPTH OF CUT IN PONDS TRENCHES OR UTILITY LINES
- 4.c. AMBIENT GROUND WATER LEVELS
- 4.d. ACTUAL RAINFALL AMOUNTS AND TIME OF YEAR RELATIVE TO NORMAL RAINY SEASON
- 4.e. PROXIMITY TO WETLANDS. WATER BODIES. OR OFFSITE PROPERTIES 4.f. 'CLASS' DESIGNATION OF RECEIVING WATER BODIES (I.E., OUTSTANDING FLORIDA WATERS, SHELLFISH HARVESTING AREAS, ETC.)
- 4.g. DENSITY, TYPE, AND PROXIMITY OF UPLAND VEGETATION TO BE RETAINED DURING CONSTRUCTION (FOR USE AS POSSIBLE FILTRATION AREAS) 4.h. FILL HEIGHT RELATIVE TO NATURAL GRADE AND LENGTH AND STEEPNESS OF THE PROPOSED SLOPES
- 4 i EXISTING TOPOGRAPHY AND DIRECTIONS OF SURFACE FLOW
- 4.j. TYPE OF EQUIPMENT USED 4.k. PROJECT TYPE

STANDARDS

- 4.I. DURATION OF CONSTRUCTION ACTIVITIES
- 4.m. SEPARATION DISTANCE OF ONSITE PONDS
- 4.n. AMBIENT QUALITY OF SURFACE AND GROUNDWATER 4.o. TEMPORARY STOCKPILE LOCATIONS AND HEIGHTS
- DISCHARGES WHICH EXCEED 29 N.T.U.'S OVER THE BACKGROUND LEVELS ARE IN VIOLATION OF STATE WATER QUALITY STANDARDS. DISCHARGES OF WATER QUANTITIES WHICH AFFECT OFFSITE PROPERTIES OR MAY DAMAGE WETLANDS ARE ALSO PROHIBITED BY REGULATING AGENCIES.
- THE EROSION AND TURBIDITY CONTROL MEASURES SHOWN HEREON ARE THE MINIMUM REQUIRED FOR AGENCY APPROVAL. ADDITIONAL CONTROL AND MEASURES MAY BE REQUIRED DUE TO THE SITE CONTRACTOR'S CONSTRUCTION SEQUENCE & UNFORESEEN WEATHER CONDITIONS. EROSION CONTROL SHALL BE INSTALLED PRIOR TO LAND CLEARING TO PROTECT WATER QUALITY AND TO IDENTIFY AREAS TO BE PROTECTED FROM CLEARING ACTIVITIES AND MAINTAINED FOR THE
- DURATION OF THE PROJECT UNTIL ALL SOIL IS STABILIZED. FLOATING TURBIDITY BARRIERS SHALL BE IN PLACE IN FLOWING SYSTEMS OR IN OPEN WATER LAKE EDGES PRIOR TO INITIATION OF EARTHWORK AND MAINTAINED FOR THE DURATION OF THE PROJECT UNTIL ALL SOIL IS STABILIZED.
- NO CLAY MATERIAL SHALL BE LEFT EXPOSED IN ANY STORMWATER STORAGE FACILITY. IF CLAY OR SANDY-CLAYS ARE ENCOUNTERED DURING STORMWATER STORAGE EXCAVATION, THE SITE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY BEFORE PROCEEDING WITH FURTHER EXCAVATION. IF THE ENGINEER OF RECORD HAS DETERMINED THAT SUCH SOILS ARE NON-CONFINING AND MUST BE EXCAVATED TO MEET PERMIT AND DESIGN CONDITIONS, EXCAVATION MAY PROCEED AFTER OBTAINING WRITTEN AUTHORIZATION FROM THE EOR. IF SAID SOILS ARE LEFT EXPOSED AT THE PERMITTED AND DESIGNED DEPTH, THE SITE SUBCONTRACTOR SHALL OVER-EXCAVATE THE POND'S BOTTOM AND SIDE SLOPES BY A MINIMUM OF TWELVE (12") INCHES AND BACKFILL WITH CLEA SANDS TO HELP PREVENT SUSPENSION OF FINE PARTICLES IN THE WATER COLUMN.
- THE INSTALLATION OF TEMPORARY EROSION CONTROL BARRIERS SHALL BE COORDINATED WITH THE CONSTRUCTION OF THE PERMANENT EROSION CONTROL FEATURES TO THE EXTENT NECESSAF TO ASSURE EFFECTIVE AND CONTINUOUS CONTROL OF EROSION AND WATER POLLUTION THROUGHOUT THE LIFE OF THE CONSTRUCTION PHASE. THE TYPE OF EROSION CONTROL BARRIERS USED SHALL BE GOVERNED BY THE NATURE OF THE CONSTRUCTION OPERATION AND SOIL TYPE THAT WILL BE EXPOSED. SILTY AND CLAYEY MATERIAL
- MAY REQUIRE SOLID SEDIMENT BARRIERS TO PREVENT TURBID WATER DISCHARGE, WHILE SANDY MATERIAL MAY NEED ONLY SILT SCREENS OR BALES TO PREVENT EROSION, ELOATING TURBIDITY CURTAINS SHOULD GENERALLY BE USED IN OPEN WATER SITUATIONS. DIVERSION DITCHES OR SWALES MAY BE REQUIRED TO PREVENT TURBID STORMWATER RUNOFF FROM BEING DISCHARGED TO WETLANDS OR OTHER WATER BODIES. IT MAY BE NECESSARY TO EMPLOY A COMBINATION OF BARRIERS, DITCHES, AND OTHER EROSION/TURBIDITY CONTROL MEASURES IF CONDITIONS WARRANT. WHERE PUMPS ARE TO BE USED TO REMOVE TURBID WATERS FROM CONSTRUCTION AREAS. THE WATER SHALL BE TREATED PRIOR TO DISCHARGE TO THE WETLANDS. TREATMENT METHODS INCLUDE FOR EXAMPLE TURBID WATER BEING PUMPED INTO GRASSED SWALES OR APPROPRIATE UPLAND VEGETATED AREAS (OTHER THAN UPLAND PRESERVATION AREAS AND WETLAND BUFFERS SEDIMENT BASINS, OR CONFINED BY AN APPROPRIATE ENCLOSURE SUCH AS TURBIDITY BARRIERS OR LOW BERMS, AND KEPT CONFINED UNTIL TURBIDITY LEVELS MEET STATE WATER QUALITY
- THE CONTRACTOR SHALL SCHEDULE THEIR OPERATIONS SUCH THAT THE AREA OF UNPROTECTED, ERODIBLE EARTH EXPOSED AT ANY ONE TIME IS NOT LARGER THAN THE MINIMUM AREA NECESSAR FOR EFFICIENT CONSTRUCTION OPERATION, AND THE DURATION OF EXPOSED, UNCOMPLETED CONSTRUCTION TO THE ELEMENTS SHALL BE AS SHORT AS PRACTICABLE. CLEARING AND GRUBBING SHALL BE SO SCHEDULED AND PERFORMED SUCH THAT GRADING OPERATIONS CAN FOLLOW IMMEDIATELY THEREAFTER. GRADING OPERATIONS SHALL BE SO SCHEDULED AND PERFORMED THAT PERMANENT EROSION CONTROL FEATURES CAN FOLLOW IMMEDIATELY THEREAFTER.
- WATER DERIVED FROM VARIOUS DEWATERING METHODS USED WITH APPROVED PERMITTING SHOULD BE PASSED THROUGH SUFFICIENTLY WIDE AREAS OF EXISTING UPLAND VEGETATION TO FILTER OUT EXCESS TURBIDITY. IF THIS IS NOT SUFFICIENT. THE WATER SHALL BE RETAINED IN PREVIOUSLY CONSTRUCTED PERMANENT STORMWATER PONDS OR ELSE RETAINED IN TEMPORARY SEDIMENTATION BASINS UNTIL THE CLARITY IS SUITABLE TO ALLOW FOR ITS DISCHARGE. PLUGGING THE OUTFALLS FROM COMPLETED STORMWATER PONDS MAY BE NEEDED TO AVOID DISCHARGE. HOWEVER, SUCH SITUATIONS SHOULD BE MONITORED CLOSELY TO PRECLUDE BERM FAILURE IF WATER LEVELS RISE TOO HIGH. WATER CAN BE TRANSPORTED AROUND THE SITE BY THE USE OF INTERNAL SWALES OR BY PUMPS AND PIPES.
- SHEET FLOW OF NEWLY FILLED OR SCRAPED AREAS MAY BE CONTROLLED OR CONTAINED BY THE USE OF BRUSH BARRIERS, DIVERSION SWALES, INTERCEPTOR DITCHES, OR LOW BERMS. FLOW SHOULD BE DIRECTED TOWARD AREAS WHERE SEDIMENTS CAN SUFFICIENTLY SETTLE OUT.
- EXPOSED SOILS SHALL BE STABILIZED AS SOON AS POSSIBLE, ESPECIALLY SLOPES LEADING TO WETLANDS. STABILIZATION METHODS INCLUDING, BUT NOT LIMITED TO, SOLID SOD, SEEDING AND MULCHING. OR HYDRO-MULCHING TO PROVIDE A TEMPORARY OR PERMANENT GRASS COVER. MULCH BLANKETS. AND FILTER FABRICS CAN BE EMPLOYED TO PROVIDE VEGETATIVE COVER. 3. ENERGY DISSIPATERS (SUCH AS RIP RAP, A GRAVEL BED, BALES, ETC.) SHALL BE INSTALLED AT THE DISCHARGE POINT OF PIPES OR SWALES IF SCOURING IS OBSERVED.
- 19. IMPLEMENT STORM DRAIN INLET PROTECTION (FILTER FABRIC, SOCK, FDOT BALES, GRAVEL OR OTHER) TO LIMIT SEDIMENTATION WITHIN THE STORMWATER SYSTEM. PERFORM INSPECTIONS AND PERIODIC CLEANING OF SEDIMENTS WHICH WASH OUT INTO THE STREETS UNTIL ALL SOIL IS STABILIZED.
- WATER DISCHARGE VELOCITIES FROM IMPOUNDED AREAS AND TEMPORARY SEDIMENTATION BASINS SHALL BE RESTRICTED TO AVOID SCOURING IN RECEIVING AREAS. 21. IF WATER CLARITY DOES NOT REDUCE TO STATE STANDARDS RAPIDLY ENOUGH IN HOLDING PONDS, IT MAY BE POSSIBLE TO USE CHEMICAL AGENTS SUCH AS ALUM OR TYPE "A-PAM" TO FLOCCULATE OR COAGULATE THE SEDIMENT PARTICLES. SUBJECT TO APPROVED PERMITTING.
- 22. BALES, WATTLES, OR GRAVEL BEDS CAN BE ADDED AROUND THE PIPE OR SWALE DISCHARGE POINTS TO HELP CLARIFY DISCHARGES. SPREADER SWALES MAY HELP DISSIPATE CLOUDY WATER PRIOR TO CONTACT WITH WETLANDS 23. ALL FUEL STORAGE AREAS OR OTHER HAZARDOUS STORAGE AREAS SHALL CONFORM TO ACCEPTED STATE OR FEDERAL CRITERIA FOR SUCH CONTAINMENT AREAS.
- 24. VEHICLE OR EQUIPMENT WASH-DOWN AREAS WILL BE SUFFICIENTLY REMOVED FROM WETLANDS OR OFFSITE AREAS. 25. FUGITIVE DUST CONTROLS (PRIMARILY BY USING WATER SPRAY TRUCKS) SHALL BE EMPLOYED AS NEEDED. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL AND STATE ORDNANCES REGARDING FUGITIVE DUST POLLUTION AND / OR WIND-BORN EMISSIONS. 26. IF THE ABOVE CONTROLS REMAIN INEFFECTIVE IN PRECLUDING RELEASE OF TURBID WATER, ESPECIALLY DURING POND OR UTILITY LINE DEWATERING, THEN THE CONTRACTOR MAY BE COMPELLED
- TO USE A VERTICAL DEWATERING SYSTEM SUCH AS WELL POINTS OR SOCK DRAINS TO WITHDRAW GROUNDWATER WHICH MAY ALREADY BE CLEAR ENOUGH TO ALLOW FOR DIRECT DISCHARGE TO WETLANDS. CONTRACTOR SHALL OBTAIN ALL DEWATERING PERMITS AS REQUIRED BY LOCAL AND STATE ENTITIES AS APPLICABLE. ONGOING INSPECTIONS AND PERIODIC MAINTENANCE BY THE SITE SUBCONTRACTOR SHALL OCCUR THROUGHOUT CONSTRUCTION AS NECESSARY TO INSURE THE ABOVE METHODS ARE WORKING SUITABLY, THIS MAY BE NEEDED DAILY, IF CONDITIONS SO WARRANT, SITE SUBCONTRACTORS ARE ENCOURAGED TO OBTAIN AND THOROUGHLY REVIEW THE FLORIDA DEVELOPMENT MANUAL: A GUIDE TO SOUND LAND AND WATER MANAGEMENT, WHICH WAS DEVELOPED BY THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION IN 1988. THIS PROVIDES FAIRLY IN-DEPTH DISCUSSIONS OF RECOMMENDED TECHNIQUES AND ALSO PROVIDES SPECIFIC DESIGN AND TECHNICAL STANDARDS. OR FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S
- MANUAL 2008. A COPY OF THESE DOCUMENTS ARE AVAILABLE FOR REVIEW AT TAMPA CIVIL DESIGN, LLC. 28. THE CONTRACTOR WILL PERFORM DAILY INSPECTIONS OF ALL ON-SITE WETLANDS WITHIN THE CONSTRUCTION AREA TO ENSURE THAT WATER LEVELS WITHIN THOSE WETLANDS ARE NOT FREQUENCY THAT PREVENTS A CHANGE IN THE VEGETATIVE CHARACTER OR HEALTH OF ANY WETLANDS
- 29. CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL (SILT FENCE) REMOVAL AFTER STABILIZATION. 30. ALL RETENTION AREA BERMS AND SLOPES SHALL BE SODDED TO TWO FEET BELOW THE SEASONAL HIGH WATER LINE OR A DEPTH NECESSARY TO PREVENT DAMAGING EROSION WHILE POND WATER LEVELS RECOVER TO NORMAL POOL LEVELS.

# GENERAL UTILITY CONSTRUCTION NOTES

- 1. ALL UTILITY SYSTEM-DESIGN, MATERIALS, AND WORKMANSHIP SHALL COMPLY WITH THE LATEST WATER AND WASTEWATER CONSTRUCTION SPECIFICATIONS MANUAL, (JANUARY 2013 (UPDATED 2017) EDITION) OR LATEST EDITION
- 2. CONTRACTORS ARE TO EXPOSE AND IDENTIFY ELEVATIONS OF EXISTING UTILITIES IN THE AREA SURROUNDING PROPOSED UTILITIES. IF CONFLICTS ARISE, THE CONTRACTOR IS TO CONTACT THE EOR FOR FURTHER INSTRUCTION, AND THE EOR WILL COORDINATE WITH MUNICIPAL STAFF AND MAKE FIELD ADJUSTMENTS AS NECESSARY. CONTINGENCIES SHOULD BE CONSIDERED FOR VERTICAL OFFSET OF PROPOSED UTILITIES AROUND EXISTING, AS NECESSARY
- 3. ALL WATER AND SANITARY SERVICE LOCATIONS ARE SHOWN GRAPHICALLY FOR PLANNING PURPOSES ONLY. FOR ACTUAL SERVICE CONSTRUCTION LOCATION SEE HERNANDO COUNTY UTILITY SERVICE DETAILS
- 4. CONTRACTOR SHALL PROVIDE DENSITY TESTS IN OVER PROPOSED UTILITIES. DENSITIES SHALL BE 98% MINIMUM USING MODIFIED PROCTOR
- CALL SUNSHINE STATE ONE AT 1-800-432-4770 MIN. 48 HOURS BEFORE DIGGING 6. CONTRACTOR SHALL SOD ALL DISTURBED R/W
- 7. CONTRACTOR SHALL EXPOSE AND IDENTIFY ELEVATIONS OF EXISTING UTILITIES IN THE AREA SURROUNDING PROPOSED UTILITIES. IF CONFLICTS ARISE, THE CONTRACTOR SHALL CONTACT THE EOR FOR FURTHER INSTRUCTION, AND THE EOR WILL COORDINATE WITH MUNICIPAL STAFF AND MAKE FIELD ADJUSTMENTS AS NECESSARY, CONTINGENCIES SHOULD BE CONSIDERED FOR VERTICAL OFFSET OF PROPOSED UTILITIES AROUND EXISTING, AS NECESSARY

# HERNANDO COUNTY SITE NOTES

- CONTRACTOR TO SCHEDULE A PRE-CONSTRUCTION MEETING FIVE (5) BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION. A DPW INSPECTOR MUST ATTEND THE PRE-CONSTRUCTION MEETING.
- CONTRACTOR MUST PROVIDE ALL RIGHT OF WAY USE PLANS TO THE DPW INSPECTOR FOR REVIEW AND APPROVAL A MINIMUM OF THREE (3) BUSINESS DAYS PRIOR TO THE PRE-CONSTRUCTION MEETING. CONTACT DPW INSPECTORS AT 352-754-4060 OR EMAIL TO DPWRESOURCEOBJECT@HERNANDOCOUNTY.US.
- CONTRACTOR TO NOTIFY DPW INSPECTOR 48 HOURS PRIOR TO CONSTRUCTION IN THE COUNTY RIGHT OF WAY.
- DPW INSPECTOR MUST BE PRESENT FOR ALL PAVING OF RIGHT OF WAYS AND INSPECT PRIOR TO POURING CONCRETE SIDEWALKS
- HERNANDO COUNTY OWNED INFRASTRUCTURE: DPW PERSONNEL MUST BE PRESENT TO PHYSICALLY VERIFY THAT THE INSTALLATION OF ALL BASE LAYERS, COMPACTION, SLOPE AND DEPTH HAS BEEN DONE PER PLAN BEFORE BURYING/PAVING/POURING.
- THE HOURS FOR THESE INSPECTIONS SHALL BE BETWEEN 8AM AND 3PM. IF DPW HAS NOT INSPECTED BEFORE BURYING THE CONTRACTOR WILL BE RESPONSIBLE FOR UNCOVERING FOR INSPECTION
- HERNANDO COUNTY DEPARTMENT OF PUBLIC WORKS IS NOT RESPONSIBLE FOR ONSITE DAMAGE ASSOCIATED WITH THE MAINTENANCE OR REPAIR OF ANY HERNANDO COUNTY OWNED INFRASTRUCTURE. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ALL REPAIRS AND REPLACEMENT TO EXISTING LANDSCAPING, CURBING, ASPHALT, CONCRETE, ETC. CONTRACTOR SHALL PROVIDE 24 HOUR ADVANCE NOTICE TO LOCAL EMERGENCY SERVICE DEPARTMENTS WHENEVER CONSTRUCTION ACTIVITIES ARE EXPECTED TO IMPEDE NORMAL TRAFFIC FLOW.
- ALL TRAFFIC CONTROL DEVICES ARE TO BE PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FDOT INDICES AND HERNANDO COUNTY FACILITY DESIGN GUIDELINES.
- A RIGHT OF WAY USE PERMIT IS REQUIRED FOR ANY DRIVEWAY AND WORK IN COUNTY RIGHT OF WAY, INCLUDING CONSTRUCTION ENTRANCES.

# HERNANDO COUNTY LANDSCAPE CONSTRUCTION NOTES

ALL LANDSCAPE ACTIVITY SHALL MEET THE REQUIREMENT OF APPLICABLE HERNANDO COUNTY LANDSCAPE ORDINANCE OR CODE, LATEST EDITION

LANDSCAPE AREAS SHALL HAVE 100% IRRIGATION COVERAGE TO LANDSCAPE MATERIAL BY PERMANENT UNDERGROUND PIPING SYSTEM.

- ALL PLANT MATERIAL SHALL BE FLORIDA GRADE #1 AS PER "GRADES & STANDARDS FOR NURSERY PLANTS" AND SHALL BE WARRANTED FOR A MINIMUM OF 90 DAYS BY THE LANDSCAPE CONTRACTOR.
- ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY THE PROVISIONS OF THE LDC SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)
- DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, WITHIN THE DRIP LINE OF A TREE REMAINING ON SITE, UNLESS OTHERWISE APPROVED BY THE ADMINISTRATOR: IT SHALL BE UNLAWFUL TO REMOVE VEGETATION, EXCEPT BY HAND, BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENT, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIPLINE OF A TREE TO REMAIN ON THE SITE.
- TOPSOIL USED FOR PLANTING SHALL BE A MIXTURE OF THREE PARTS TO ONE PART PEAT. LANDSCAPED AREAS TO RECEIVE AN SIX-INCH LAYER OF COMPACTED TOPSOIL.
- PROTECTIVE BARRIERS MUST BE INSTALLED AROUND TREES TO BE RETAINED IN AN AREA WHERE THE LAND ALTERATION AND CONSTRUCTION ACTIVITIES WILL OCCUR AS WELL AS ALON NATURAL AREA WHERE SUCH AREA ADJACENT TO PERMITTED LAND ALTERATION OR CONSTRUCTION ACTIVITIES A PROTECTIVE BARRIER MUST REMAIN IN PLACE UNTIL THE LAND. ALTERATION OR CONSTRUCTION ARE COMPLETED OR UNTIL COMMENCEMENT OF GRADE FINISHING AND SODDING, NO GROUND DISTURBANCE IS ALLOWED WITHIN THE BARRICADED AR ALL SOD ON SITE IS TO BE BAHIA GRASS
- SOD SHALL BE INSTALLED IN ALL LANDSCAPE ISLANDS, BUFFERS AND 2' STRIP ADJACENT NEW ASPHALT PAVEMENT NOT ABUTTING LANDSCAPE AREA.
- IRRIGATION SYSTEMS MUST UTILIZE LOW VOLUME DESIGN SUCH AS LOW TRAJECTORY HEADS OR SOAKER HOSED TO PROVIDE DIRECT APPLICATION AND LOW EVAPORATION. SYSTEM: THAT OVER SPRAY AREAS THAT DO NOT REQUIRE IRRIGATION. SUCH AS PAVED AREAS WILL NOT BE ACCEPTABLE HIGH IRRIGATION NEED AREAS MUST NOT OVER SPRAY LOW NEED
- . HIGH WATER DEMAND LANDSCAPE AREAS SUCH AS TURF MUST BE SERVED BY A SEPARATE IRRIGATION ZONE THAN LOW WATER NEED AREAS, SUCH AS PLANTER BEDS. OR MULCHED AREAS WITH TREES, IN NO CASE, SHALL ANY PLANTED VEGETATION AREA BE MORE THAN 50' FROM A WATER SUPPLY HOSE BIB.

IRRIGATION SYSTEM MUST BE OPERATED BY AN IRRIGATION CONTROLLER CAPABLE OF DIFFERENTIATING BETWEEN THE SCHEDULES OF HIGH AND LOW WATER DEMAND AREAS.

- CONTROLLERS MUST HAVE MULTIPLE CYCLES CYCLES START CAPACITY AND A FLEXIBLE CALENDAR PROGRAM ABLE TO BE SET TO COMPLY WITH LOCAL OR WATER MANAGEMENT DISTRICT IMPOSED RESTRICTIONS. THE SYSTEM MUST BE EQUIPPED WITH A RAIN SENSOR DEVICE OR SWITCH WHICH WILL OVERRIDE THE IRRIGATION CYCLE OF THE SPRINKLER SYSTEM WHEN ADEQUATE RAINFALL HAS
- IN ORDER TO COMPLY WITH HERNANDO COUNTY LAND DEVELOPMENT CODE TO MINIMIZE SOIL EROSION, PROPOSED LAND ALTERATION ACTIVITIES SHALL NOT UNNECESSARILY REMOVE EXISTING VEGETATION AND ALTER EXISTING TOPOGRAPHY. ADEQUATE PROTECTION MEASURES (I.E. HAY BALES, BAFFLES, SODDING AND SANDBAGGING) SHALL BE PROVIDED, AS NECESSARY, TO MINIMIZE EROSION AND DOWNSTREAM SEDIMENTATION CAUSED BY SURFACE WATER RUN-OFF ON EXPOSED LAND SURFACES.
- ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATIVE MATER THAT WILL, WITHIN A REASONABLE TIME FRAME, DETER SOIL DISTURBANCE. SODDING, PLUGGING. SPRIGGING OR SEEDING IS ACCEPTABLE FOR STABILIZATION; HOWEVER, SODDING MAY BE REQUIRED IN AREAS OF EROSION-PRONE SOILS OR WHERE SLOPES AREA GREATEF THAN 5:1. VEGETATION OTHER THAN GRASS IS ACCEPTABLE UNLESS OTHERWISE SPECIFIED.
- FOR COMMERCIAL SITE DEVELOPMENT PROJECT, NO MORE THAN 50% OF THE LANDSCAPED AREA MAY BE PLANTED WITH SHALLOW-ROOTED (I.E. ST AUGUSTINE) TURF GRASS VARIETIES. THESE TURF GRASS VARIETIES SHALL BE CONSOLIDATED IN AND LIMITED TO AREAS THAT ARE PROVIDED WITH CENTRAL AUTOMATIC IRRIGATION SYSTEMS.
- INSTALL ALL IRRIGATION LINES/EQUIPMENT BY HAND WITHIN THE DRIP LINE OF ANY EXISTING TREES ON THE PROJECT SITE. NO CUTTING OF ROOTS SHALL BE ALLOWED. NSTALL TREE BARRICADES TO THE FULLEST EXTENT OF THE DRIP LINE OF ALL TREES AS POSSIBLE AND/OR TO THE MAXIMUM LIMIT OF IMPROVEMENT(S) AS POSSIBLE. DO NOT INSTALL
- TREES BARRICADES (SPECIFICALLY SILT FENCING MATERIAL) BY TRENCHING WITHIN THE DRIPLINE OF EXISTING TREES. . SHRUBERRY USED FOR SCREENING SHALL BE A MINIMUM HEIGHT OF 24" AND SHALL BE SPACED 3' O.C.

OCCURRED. GROUND MOISTURE SENSING DEVICES ARE ENCOURAGED WHERE APPROPRIATED.

- ). ALL LANDSCAPING MATERIAL MUST BE FLORIDA GRADE #1 OR BETTER QUALITY.
- THE CONSTRUCTION OF ALL ABOVE GROUND UTILITY APPURTENANCES VISIBLE FROM PUBLIC RIGHT-OF-WAY SUCH AS PEDESTALS. UTILITY METERS. TRANSFORMERS, BACK-FLOW PREVENTION DEVICES, ETC FOR NEW DEVELOPMENT OR REDEVELOPMENT ACTIVITIES SHALL CONFORM TO SCREENING REQUIREMENTS AS OUTLINED IN SECTION 6.06.06.C.10 OF THE LAND DEVE:OPMENT CODE. PLANT LOCATION MUST BE CONSIDERATE OF REQUIRED SPATIAL SEPARATIONS FROM A FIRE FLOW PROTECTION APPLIANCE IN ACCORDANCE TO THE UNIFORM FIRE

# HERNANDO COUNTY UTILITY CONSTRUCTION NOTES

- 1. HERNANDO COUNTY SHALL NOT OWN OR MAINTAIN ANY WATER LINES, SEWER LINES, OR FACILITIES CONSTRUCTED ON PRIVATE PROPERTY
- 2. ALL NEWLY INSTALLED WATER DISTRIBUTION MAINS AND SERVICE LATERALS SHALL BE COLOR CODED BLUE
- 3. ALL NEWLY INSTALLED FORCE MAINS AND GRAVITY LINES SHALL BE COLOR CODED GREEN
- 4. ALL MATERIALS AND LABOR SHALL MEET THE SPECIFICATIONS REQUIRED BY THE COUNTY. ALL CONSTRUCTION SHALL BE PERFORMED UNDER THE INSPECTION OF THE COUNTY AND IN STRICT COMPLIANCE WITH THE STANDARDS OF THE COUNTY DESIGN STANDARDS.
- 5. CONNECTIONS TO THE COUNTY'S SYSTEM SHALL BE MADE AFTER WRITTEN APPROVAL IS OBTAINED FROM THE UTILITY OWNER. THE CONNECTIONS TO EXISTING HCUD WATER SYSTEMS SHALL CONFORM TO APPROVED PLANS AND BE WITNESSED BY AN HOUD REPRESENTATIVE. EXCAVATION, BACKFILL, AND SURFACE RESTORATION SHALL BE THE CONTRACTOR'S
- 6. ELEMENTS OF THE WASTEWATER SYSTEM WITHIN RIGHT-OF-WAY SHALL MEET HERNANDO COUNTY STANDARDS
- 7. ALL NON-METALLIC PIPE WILL BE INSTALLED WITH 2 PAIR. 10 GAUGE. COPPER TRACER WIRE
- 8. THE WASTEWATER SYSTEM SHALL MEET ALL APPLICABLE LAND DEVELOPMENT CODE AND BUILDING CODE REQUIREMENTS
- 9. THE COLLECTION SYSTEM SHALL BE DESIGNED AND CONSTRUCTED TO HERNANDO COUNTY PUBLIC UTILITIES DEPARTMENT STANDARDS

10. THERE SHALL BE SUFFICIENT AREA TO ALLOW FOR A SERVICE VEHICLE TO BE OFF THE ROAD AND SIDEWALK WHILE MAINTAINING THE STATION

- 11. WATER/WASTEWATER LINES ARE A MINIMUM 3' OFF CURB AND SHALL NOT BE PLACED WITHIN 1.5 FEET OF OR UNDER THE SIDEWALK UNLESS NOTED OTHERWISE
- 12. ALL WATER AND SANITARY SEWER LOCATIONS ARE SHOWN GRAPHICALLY FOR PLANNING PURPOSES ONLY. FOR ACTUAL SERVICE CONSTRUCTION LOCATIONS SEE HERNANDO COUNTY UTILITY SERVICE DETAILS
- 13. ALL FITTINGS, APPURTENANCES, AND DEPTH OF PIPE SHALL BE MARKED IN THE FIELD FOR AS-BUILT PLAN PREPARATION
- 14. ALL GRAVITY PIPES SHALL BE SDR-26 UNLESS OTHERWISE NOTED

AT (352) 540-4368 EXT. 35132 TO SCHEDULE THE PRE-CONSTRUCTION MEETING.

CONTRACTOR WILL BE RESPONSIBLE FOR UNCOVERING FOR INSPECTION.

- 15. CONTRACTOR'S RESPONSIBILITIES REGARDING WET TAPS SHALL BE AS FOLLOWS:
- a. THE CONTRACTOR SHALL REQUEST HCUD TO SCHEDULE CONNECTION OPERATIONS 5 BUSINESS DAYS PRIOR TO PROPOSED TIME OF CONNECTION TO EXISTING UTILITIES. b. THE CONTRACTOR SHALL EXCAVATE SUFFICIENTLY TO INSURE THE PROPOSED WET TAP IS NOT PERFORMED WITHIN 36 INCHES OF A PIPE JOINT OR FITTING. THE CONTRACTOR SHALL PRESSURE TEST THE TAPPING SADDLE OR SLEEVE AND VALVE INSTALLATION UNDER THE OBSERVATION OF THE HCUD INSPECTOR. THE TEST PRESSURE SHALL BE 150 PSI
- c. THE CONTRACTOR SHALL FURNISH AND INSTALL APPROVED TAPPING SADDLES OR SLEEVES WITH VALVES AND PERFORM WET TAPS ON EXISTING WATER MAINS LARGER THAN 2 INCHES, HCUD SHALL FUNISH THE TAPPING MACHINE TOOLS, FITTINGS AND SHALL PERFORM THE WET TAP FOR 2 INCH AND SMALLER DIAMETERS.
- 16. THE CONTRACTOR IS RESPONSIBLE FOR THE EXCAVATION BEFORE ANY COUNTY PERSONNEL WILL ENTER AN EXCAVATED AREA. IF TRENCH IS FOUR FEET IN DEPTH OR DEEPER, IT WILL REQUIRE A TRENCH BOX OR SLOPING, AND A LADDER ACCORDING TO OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.
- 17. MINIMUM CLEARANCE DISTANCE BETWEEN PIPELINES SHALL BE AS FOLLOWS:
- a. WATER MAINS MUST BE SEPARATED AT LEAST SIX (6) FEET HORIZONTALLY FROM GRAVITY SEWERS AND SANITARY SEWER FORCE MAINS, AS MEASURED FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE (I.E., SURFACE-TO-SURFACE) b. WATER MAINS MUST BE SEPARATED AT LEAST THREE (3) FEET HORIZONTALLY FROM STORMWATER AND RECLAIMED WATER LINES, AS MEASURED FROM SURFACE-TO-SURFACE
- DISTANCE IS MEASURED FROM SURFACE-TO-SURFACE d. WATER MAINS MUST BE VERTICALLY SEPARATED AT LEAST 12 INCHES FROM WASTEWATER FORCE MAINS AND RECLAIMED WATER MAINS AND MUST BE LOCATED ABOVE FORCE MAINS, DISTANCE IS MEASURED FROM SURFACE-TO-SURFACE
- e. WATER MAINS THAT CROSS OTHER PIPES MUST BE CENTERED ON THE OTHER PIPE SO THAT THE WATER PIPE JOINTS ARE AS FAR AS POSSIBLE FROM THE OTHER UTILITY PIPE 18. CONTRACTOR TO SCHEDULE A PRE-CONSTRUCTION MEETING FIVE (5) BUSINESS DAYS PRIOR TO THE START OF OFF-SITE UTILITY CONSTRUCTION. CONTRACTOR MUST PROVIDE ALL UTILITY SUBMITTALS TO THE HOUD

INSPECTOR FOR REVIEW AND APPROVAL A MINIMUM OF THREE (3) BUSINESS DAYS PRIOR TO THE PRE-CONSTRUCTION MEETING. HCUD INSPECTOR MUST ATTEND THE PRE-CONSTRUCTION MEETING. CONTACT HCUE

C. WATER MAINS MUST BE SEPARATED AT LEAST SIX (6) INCHES VERTICALLY FROM GRAVITY SEWER AND STORMWATER LINES AND SHOULD BE ABOVE THE SANITARY AND/OR STORM

LINES. WHERE THERE IS NO FEASIBLE ALTERNATIVE TO PLACING WATER MAINS BELOW SANITARY AND/OR STORMWATER PIPING, THE MINIMUM SEPARATION MUST BE 12 INCHES.

- 19. CONTRACTOR TO NOTIFY HOUD INSPECTOR 48 HOURS PRIOR TO UTILITY CONSTRUCTION IN THE COUNTY RIGHT-OF-WAY. HOUD INSPECTOR MUST BE PRESENT FOR ALL WATER AND SEWER CONNECTIONS.
- 20. CONSTRUCTION WATER TO BE PROVIDED BY A TEMPORARY CONSTRUCTION WATER METER INSTALLED BY HOUD ON THE CLOSEST HOUD OWNED FIRE HYDRANT TO THE SITE. CONSTRUCTION METERS WILL BE INSTALLED BY HOUD WITHIN FIVE (5) BUSINESS DAYS OF SIGNING UP FOR SERVICE. CONTRACTOR TO CONTACT HOUD'S CUSTOMER SERVICE TO SIGN UP FOR SERVICE, IF CONSTRUCTION WATER IS REQUIRED.
- 21. ENGINEER/DEVELOPER/CONTRACTOR/OWNER TO COMPLETE AND DEDICATE ALL OFFSITE WATER AND SEWER INFRASTRUCTURE TO HERNANDO COUNTY UTILITIES DEPARTMENT (HCUD), CONTACT HCUD TO OBTAIN THE CONTRIBUTED ASSET FORM. 22. ALL NEW UTILITIES CONSTRUCTION PROCEDURES & MATERIALS SHALL MEET OR EXCEED HERNANDO COUNTY UTILITIES DEPARTMENT POTABLE WATER RECLAIMED WATER & WASTEWATER CONSTRUCTION
- SPECIFICATIONS MANUAL, LATEST EDITION AS AVAILABLE ON THE INTERNET @ <a href="http://www.hernandocounty.us/departments/departments-n-z/utilities/engineering">http://www.hernandocounty.us/departments/departments-n-z/utilities/engineering</a>. 23. HERNANDO COUNTY UTILITIES DEPARTMENT SHALL NOT OWN, OPERATE, OR MAINTAIN ON-SITE WATER AND/OR SEWER UTILITIES OUTSIDE OF DEDICATED UTILITY EASEMENTS.
- 24. THE HERNANDO COUNTY UTILITY DEPARTMENT (HCUD) IS NOT RESPONSIBLE FOR ONSITE DAMAGE ASSOCIATED WITH THE MAINTENANCE OR REPAIR OF ANY HCUD OWNED INFRASTRUCTURE. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ALL REPAIRS AND REPLACEMENT TO EXISTING LANDSCAPING, CURBING, ASPHALT, CONCRETE, ETC. 25. HCUD OWNED INFRASTRUCTURE: HCUD PERSONNEL MUST BE PRESENT TO PHYSICALLY VERIFY THAT THE INSTALLATION OF ALL PIPE FITTINGS HAS BEEN DONE PER PLAN BEFORE BURYING. THESE FITTINGS SHALL

INCLUDE BUT NOT LIMITED TO: COUPLING, RESTRAINT, TEE, 90, 45, 22, 11, AIR RELEASE, AND ANY DIVERSIONS FROM A STRAIGHT PIPE RUN. IF HCUD HAS NOT INSPECTED THE FITTING BEFORE BURYING THE

- 26. ALL AFTER HOUR WORK REQUESTS MUST BE SUBMITTED TO HCUD A MINIMUM 6 BUSINESS DAYS (NOT INCLUDING PUBLIC HOLIDAYS AND WEEKENDS) PRIOR TO THE PROPOSED WORK. THE REQUEST MUST FOLLOW HCUD'S REVISED SCHEDULED AFTER-HOURS WORK REQUEST SOP DATED 6-10-24 (OR LATEST EDITION). IF AFTER HOURS WORK IS PROPOSED CONTACT HCUD TO RECEIVE THE REVISED SOP PRIOR TO REQUESTING AFTER
- 27. THE EXISTING UTILITY INFRASTRUCTURE IS SUBJECT TO FIELD VERIFICATION. VERIFICATION OF THE SIZE, LOCATION, DEPTH, MATERIAL TYPE AND ANY OTHER PERTINENT INFORMATION IS THE RESPONSIBLY OF THE DEVELOPER/EOR/CONTRACTOR PRIOR TO CONSTRUCTION.
- 28. CONTRACTOR TO STAKE THE UTILITY EASEMENTS/TRACTS THAT WILL CONTAIN HOUD OWNED INFRASTRUCTURE DURING CONSTRUCTION AND MAINTAIN THE STAKING UNTIL THE INFRASTRUCTURE IS INSTALLED.

PROJECT: 658

CLIENT:



IC CONDITIONAL PLAT - 1ST SUB | 10-02-202 C CONDITIONAL PLAT - 2ND SUB 04-30-20 IC CONDITIONAL PLAT - 3RD SUB 07-25-202

C CONDITIONAL PLAT - 4TH SUB 09-22-202

DES. B.B. 

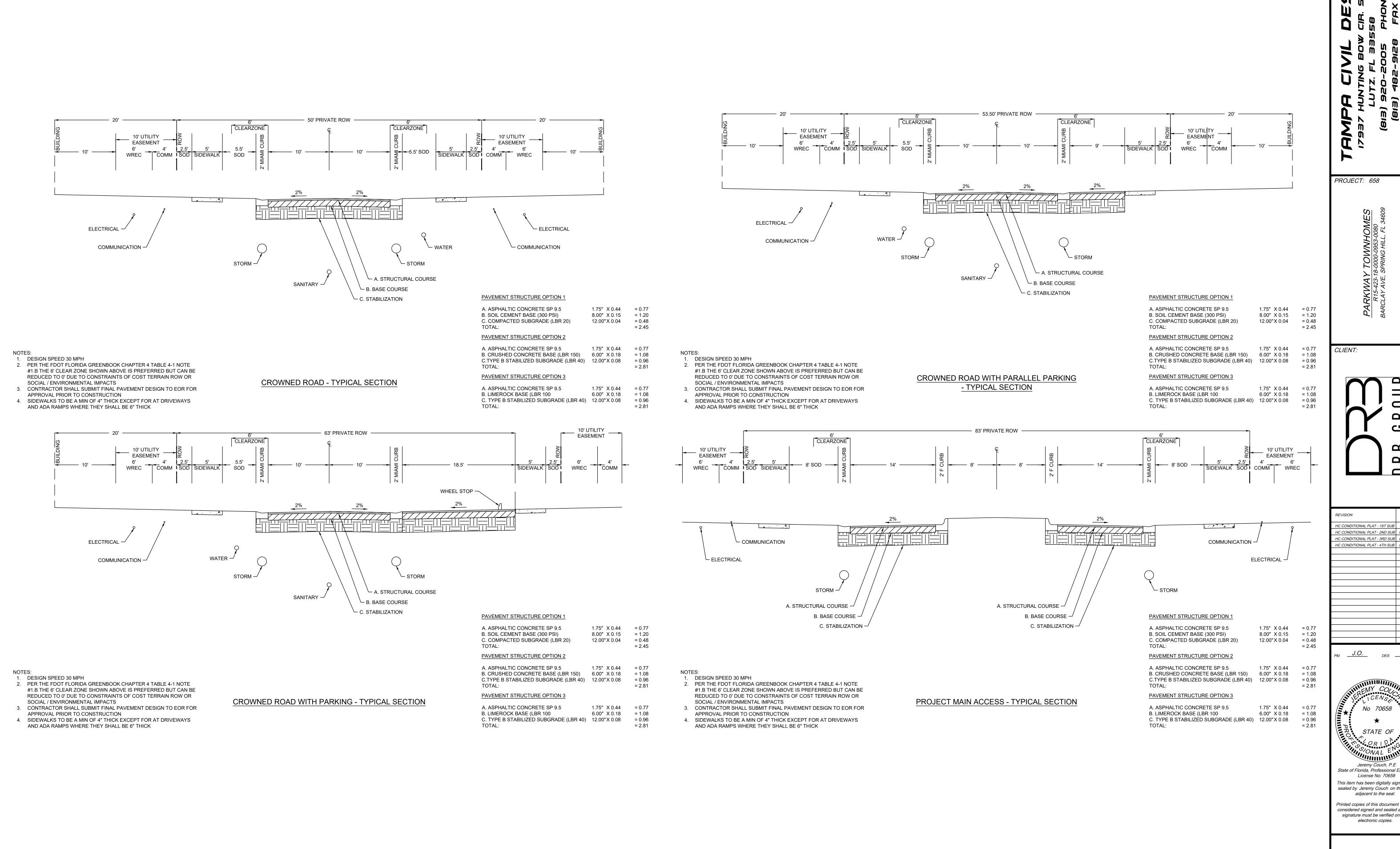


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GENERAL NOTES

SHEET NO: C-2

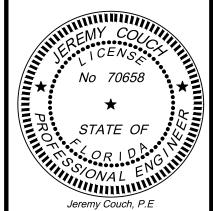


PROJECT: 658

PARKWAY TOWNHOMES
R15-423-18-0000-0953-0080
3ARCLAY AVE. SPRING HILL EL 21800

B

IC CONDITIONAL PLAT - 1ST SUB 10-02-2024 HC CONDITIONAL PLAT - 2ND SUB 04-30-2023 HC CONDITIONAL PLAT - 3RD SUB 07-25-2025 HC CONDITIONAL PLAT - 4TH SUB 09-22-2025



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TYPICAL ROADWAY SECTIONS

SHEET NO: C-3

