

Shown on overhead
1/12/26

PETITIONER'S PROPOSED REVISIONS TO CONDITIONS

HEARINGS: Planning & Zoning Commission: January 12, 2026
Board of County Commissioners: March 3, 2026

APPLICANT: SV Tampa Land LP

FILE NUMBER: H-25-49

REQUEST: Master Plan Revision on Property Zoned Combined Planned Development Project (CPDP) with deviations

GENERAL LOCATION: North side of Kelso Street, bound by Commercial Way and Downing Street

PARCEL KEY NUMBER(S): 1100007, 1099992 and 1259863

APPLICANTS' PROPOSED REVISIONS TO STAFF RECOMMENDATION FOR 1/12/26 PLANNING & ZONING COMMISSION HEARING

5. The single-family areas are approved with the following land uses and minimum development standards:
- Single family detached
- o Minimum lot sizes: 4,500, 5,500, 6,500 s.f. (Previously approved deviation from 65,500 s.f.)
 - o Minimum lot widths: 50' (no minimum lot width previously specified)
 - o Minimum lot width Curve/Cul-de-sac: 30'
 - o Minimum Floor Area Ratio: 65% (deviation from 35%)
 - o Maximum Height: 35'
 - o Front: 25'
 - o Side: 5' (deviation from 10'; previously approved 5')
 - o Rear: 15' (deviation from 20'; previously approved 15')

The maximum number of units shall be 3,400 in the residential and mixed-use pods plus up to 400 multifamily units (defined below). The total number of units shall not exceed 3,800.

7. The multifamily areas are approved as apartments or condominiums with the following land uses minimum development standards:

Multifamily

- Maximum Number of Units: 400
- Maximum units per building: 24 (deviation from 12)
- Maximum lot coverage: 45% building area for the multi-family acreage

- Maximum Height: 45'

- Setbacks:

- Front: 25'
- Sides: 0' feet Internal/7.5' External (Deviation from 10' in R-3)
- Rear: 20'
- Building Separation: 15'

9. ~~All future buffers shall meet remain undisturbed and/or enhanced to meet 80% opacity within 18 months of the completion of construction. Any buffer enhancement must be clearly identified in the plans with a the planting cross section detail attached to the master plan and be included in the landscape plans submitted at conditional plat. If any buffers must be disturbed due to the installation of utilities and/or right of way access, those areas must be clearly noted on the construction plans with a revegetation plan included as part of the landscape plans. For any portion of the buffer that does not meet the 80% criteria upon the initialization of construction, an opaque construction barrier fence or wall must be installed where immediately adjacent to residential properties in accordance with the Hernando County Land Development Regulations.~~

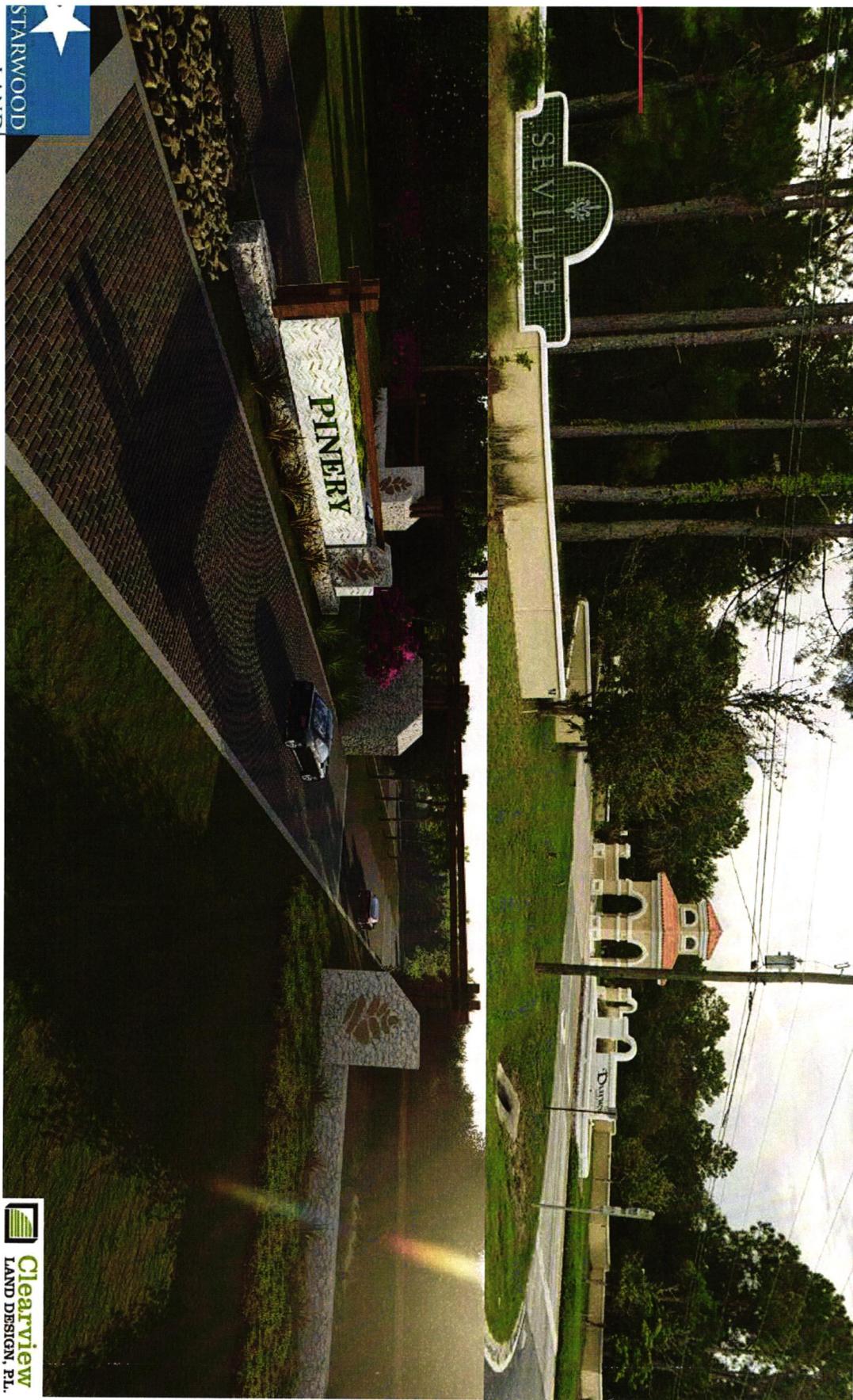
- 9.) Perimeter buffers shall be preserved and enhanced to achieve a minimum of eighty percent (80%) visual opacity within thirty-six (36) months of completion of construction. The primary intent of this requirement is to preserve existing native vegetation within the buffer to the maximum extent practicable, with such native vegetation intended to satisfy the eighty percent (80%) opacity requirement. Buffers proposed to be disturbed during construction shall be clearly identified on the construction plans and accompanied by a revegetation plan included with the landscape plans. If existing native vegetation within a buffer does not achieve the required eighty percent (80%) opacity, the following options shall apply:

The buffer may be selectively cleared and graded, as necessary, and replanted with landscape materials specifically designed to achieve the required eighty percent (80%) opacity. A planting landscape plan view and detailed cross-section shall be provided on the applicable phased conditional plat.

As an alternative, where the existing native vegetation does not meet the required opacity and the developer elects not to clear and replant the buffer, an eight-foot (8') opaque fence or wall may be installed along the interior edge of the buffer, in accordance with the Hernando County Land Development Regulations. In this case, existing native vegetation within the buffer shall remain undisturbed, no supplemental landscape plantings shall be required within the buffer, and only invasive vegetation may be removed.

11. If common offsite county public utility and/or transportation improvements are required for development, the petitioner shall amend and/or enter into a binding development agreement and/or utilities agreement with the County identifying the pipeline improvements necessary to facilitate the development.
- ~~14. The petitioner shall enter into an amended utility service agreement if required by the County.~~
15. An updated Traffic Access Analysis shall be required. Any Transportation improvements identified by the Traffic Access Analysis will be the responsibility of the developer to install and shall be incorporated into a Development Agreement with the County.
16. The petitioner shall provide the minimum neighborhood park acreage in accordance with the Hernando County Land Development Regulations. The proposed master plan includes plans for a centralized recreation area which shall meet the requirement for neighborhood parks provided it meets the minimum size requirement for aggregate acreage. If not, the greenways, trails, drainage areas, open space and passive recreation areas shall be counted toward meeting this requirement.
22. The master plan shall remain valid as long as if the development proceeds in accordance with the approved master zoning terms and conditions terms of the Development Agreement.

ENTRY - HARDSCAPE



STARWOOD
LAND

Clearview
LAND DESIGN, P.L.

7100 South Orange Avenue, Suite 100, Orlando, FL 32839

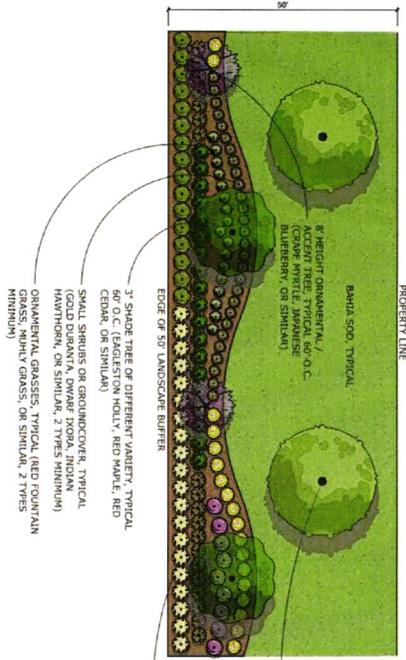
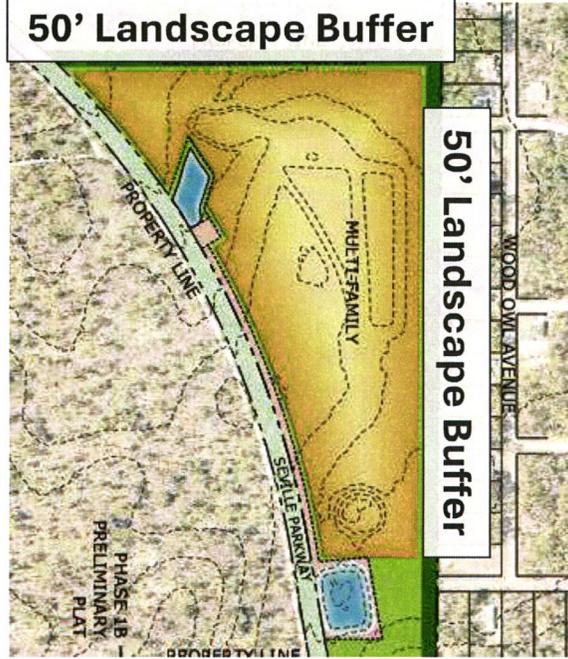
PLANNED AMENITIES



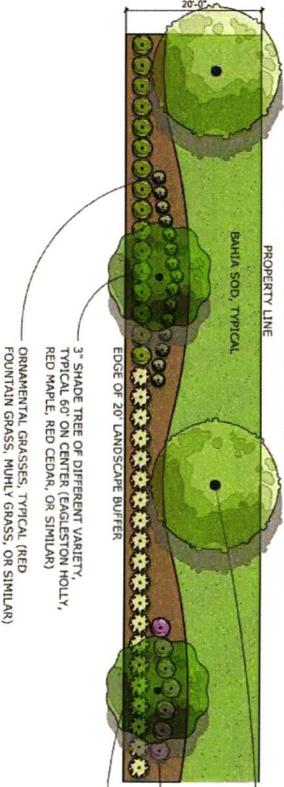
**Clubhouse
Resort-Style Pool
Pickleball Courts
Play Fields**



FUTURE PHASE BUFFERS



20' Landscape Buffer



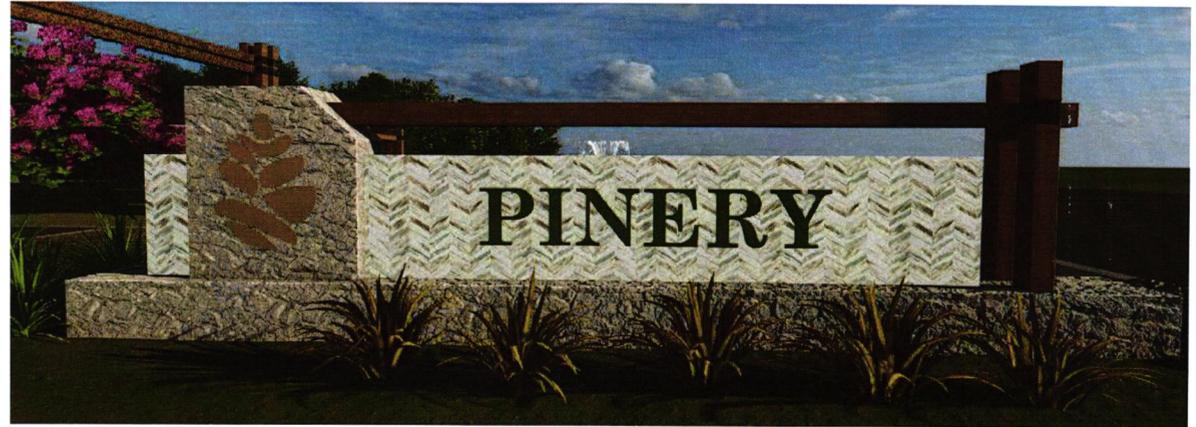
Duke Easement

PERIMETER SETBACK:

SOUTH:	35' (INCLUSIVE OF BUFFER)
EAST:	35' (INCLUSIVE OF BUFFER)
WEST:	35' (INCLUSIVE OF BUFFER)
NORTH:	35' (INCLUSIVE OF BUFFER)

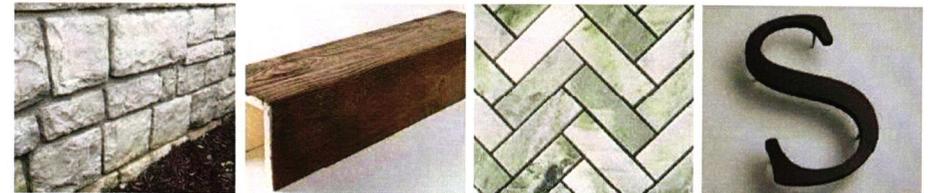
PINERY KEY BENEFITS

- **Reinstates Amenities**
 - Clubhouse
 - Resort Style Pool
 - Pickleball
 - Play Fields
- **Beautiful Entry on US 19 and US-98**
- **Retains Greenways**
- **Min. 5,500 SF SFD & Villas on Perimeter**
 - 5,500 SF Lot Previously Approved
- **20' Landscape Buffer** in future phases
 - **50' Landscape Buffer** west and north of MF
- **Residential Mixed Use Area**
 - Internal to Project
 - Min 4,500 SF SFD, TH & Villa
 - **Consistent with existing approved VC MU**



VIEW FROM US-19

MATERIALS



CONCLUSION

- Retains general concept of prior Master Plan with **Density Levels within Prior Approved Ranges**
- Lower Density External - Higher Density Internal & Where Previously Approved
 - **MF approved in Medium Density Area to SW**
- **Predominately surrounded by State/SWFWM Property** except to West bounded by 50' Vegetative Buffer in initial phases & 20' Landscape Buffer by 2 future development pods
- **Fulfills Unmet Need for Amenities**
- Addresses certain Impacts with existing Development Agreement and future DA's/USA's to be further evaluated at each Conditional Plat
- **Staff Recommends Approval** – in agreement with most conditions with minor changes/clarifications



PINERY
FLORIDA



Questions?



BCC -







Coastal
Engineering
Associates
Inc.

January 12, 2026

Hernando County Planning & Zoning Commission

Hernando Case #: H-25-49

Project Name: Pinery (FKA Seville West)

H2549 - Petitioner Exhibit

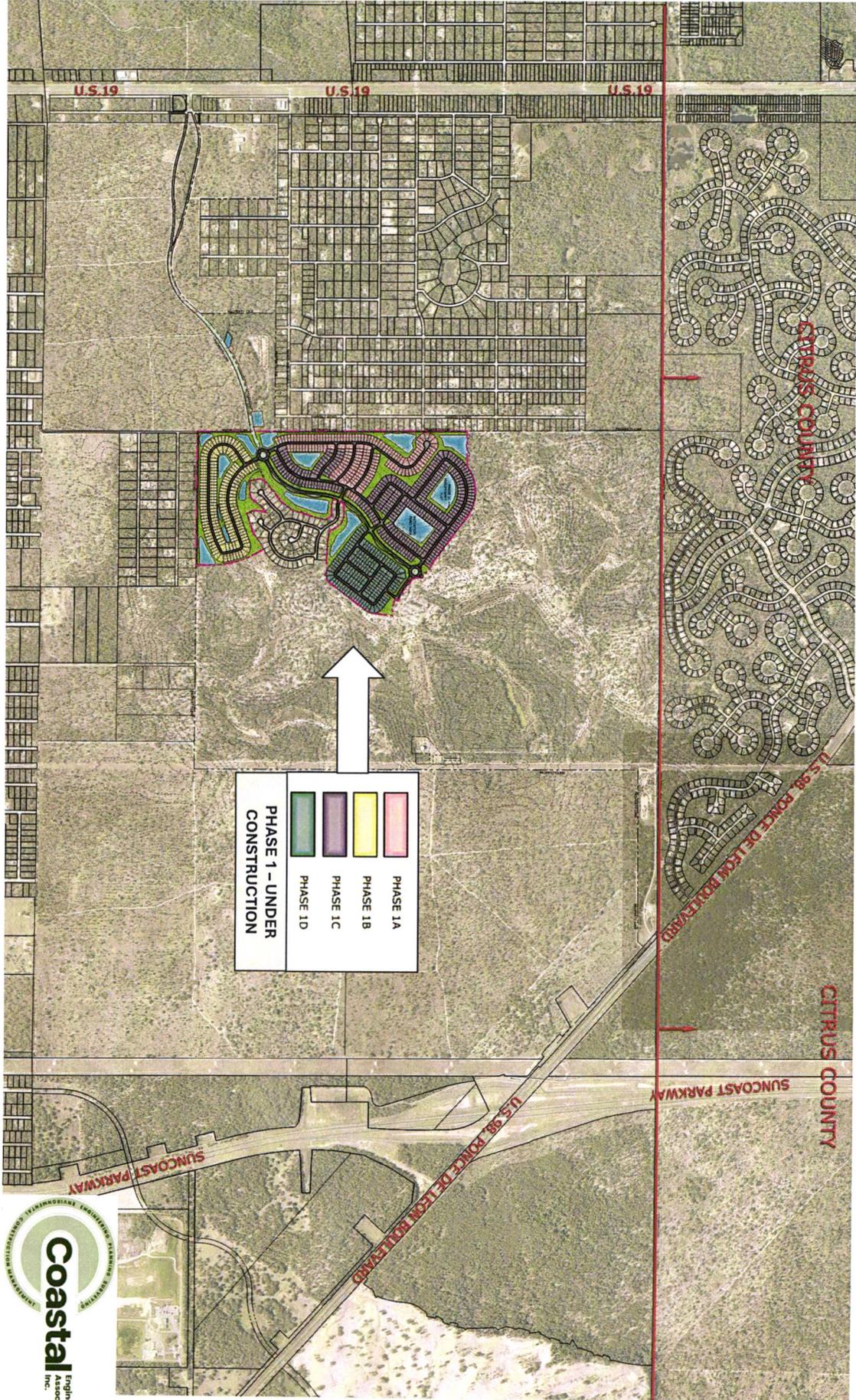
Application Overview

Request:	Revise CPDP Master Plan
Site Area/Location:	±1,071 acres located in between US 19 & US 98/Suncoast
Existing Zoning:	CPDP
Proposed Zoning:	CPDP
Existing FLU:	Residential, Recreation, Conservation and Public Facility

Staff Recommends Approval with Conditions



PINERY PHASE 1



FUTURE LAND USE MAP

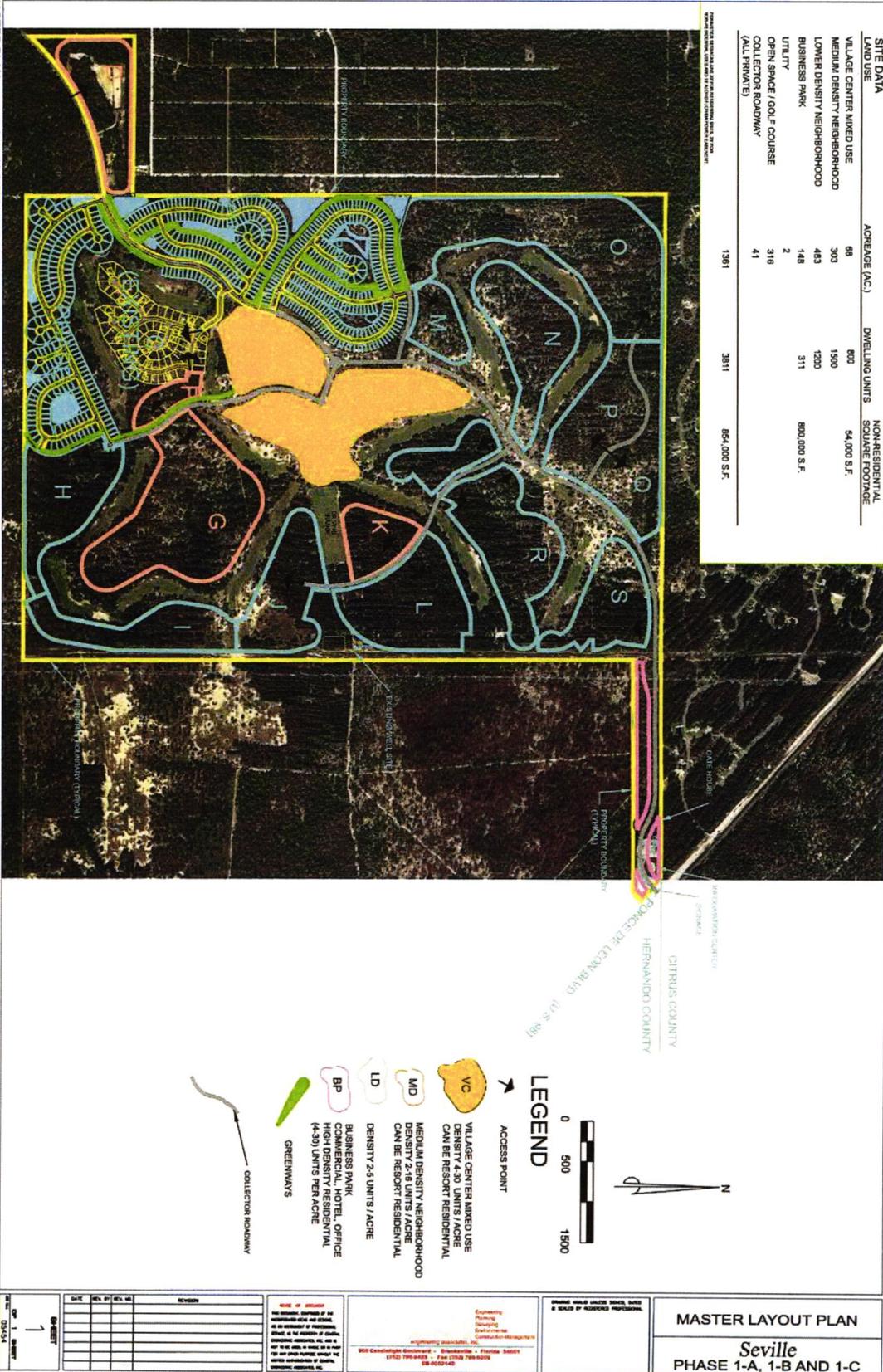


REGIONAL MAP



2006 MASTER PLAN – STAFF UPDATE

MASTER PLAN_recover.dwg 10/9/2006 3:35:52 PM



SITE DATA AND USE	ACREAGE (AC.)	DWELLING UNITS	NON-RESIDENTIAL SQUARE FOOTAGE
VILLAGE CENTER MIXED USE	69	800	54,000 S.F.
MEDIUM DENSITY NEIGHBORHOOD	303	1900	
LOWER DENSITY NEIGHBORHOOD	483	1200	
BUSINESS PARK	148	311	800,000 S.F.
UTILITY	2		
OPEN SPACE / GOLF COURSE	316		
COLLECTOR ROADWAY (ALL PRIVATE)	41		
	1361	3611	854,000 S.F.

0 500 1500

LEGEND

ACCESS POINT

- VC VILLAGE CENTER MIXED USE DENSITY 4-30 UNITS / ACRE CAN BE RESORT RESIDENTIAL
- MD MEDIUM DENSITY NEIGHBORHOOD DENSITY 2-18 UNITS / ACRE CAN BE RESORT RESIDENTIAL
- LD DENSITY 2.5 UNITS / ACRE
- BP BUSINESS PARK DENSITY 2-4 UNITS / ACRE CAN BE RESORT RESIDENTIAL
- GREENWAYS
- COLLECTOR ROADWAY

MASTER LAYOUT PLAN

Seville

PHASE 1-A, 1-B AND 1-C

Engineering
Planning
Surveying
Environmental
Construction Management

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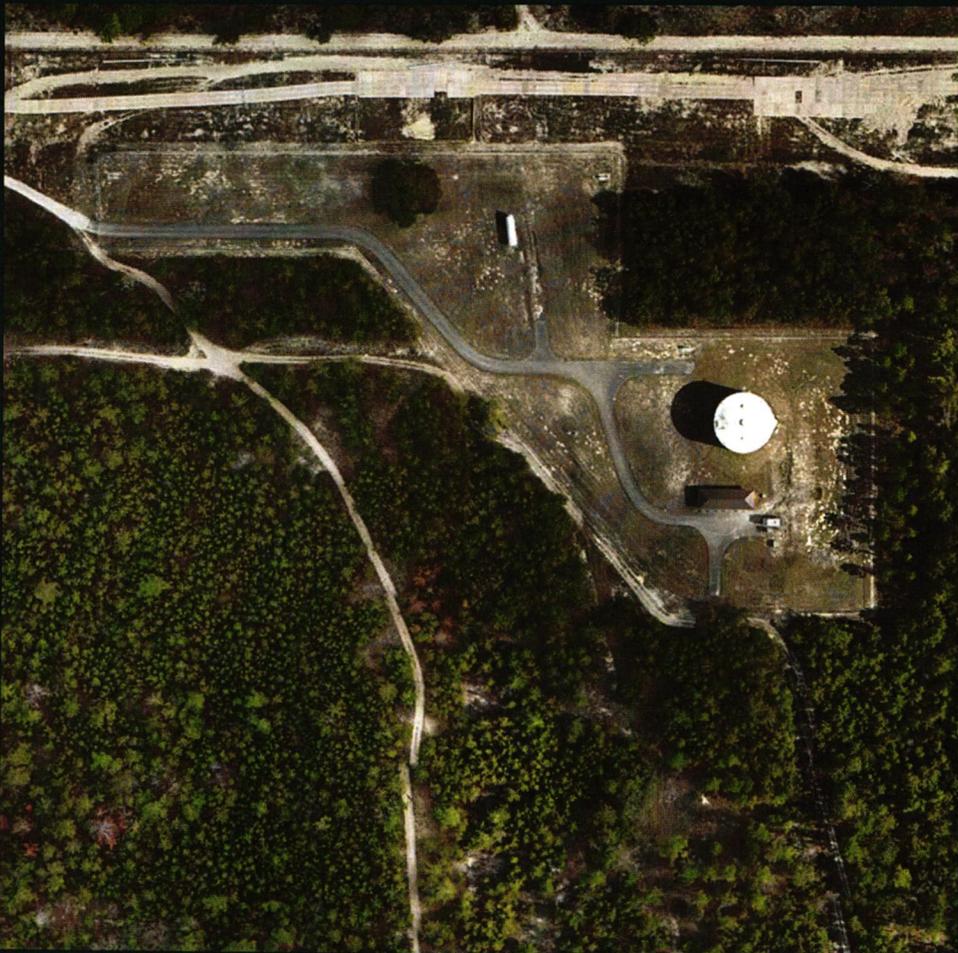
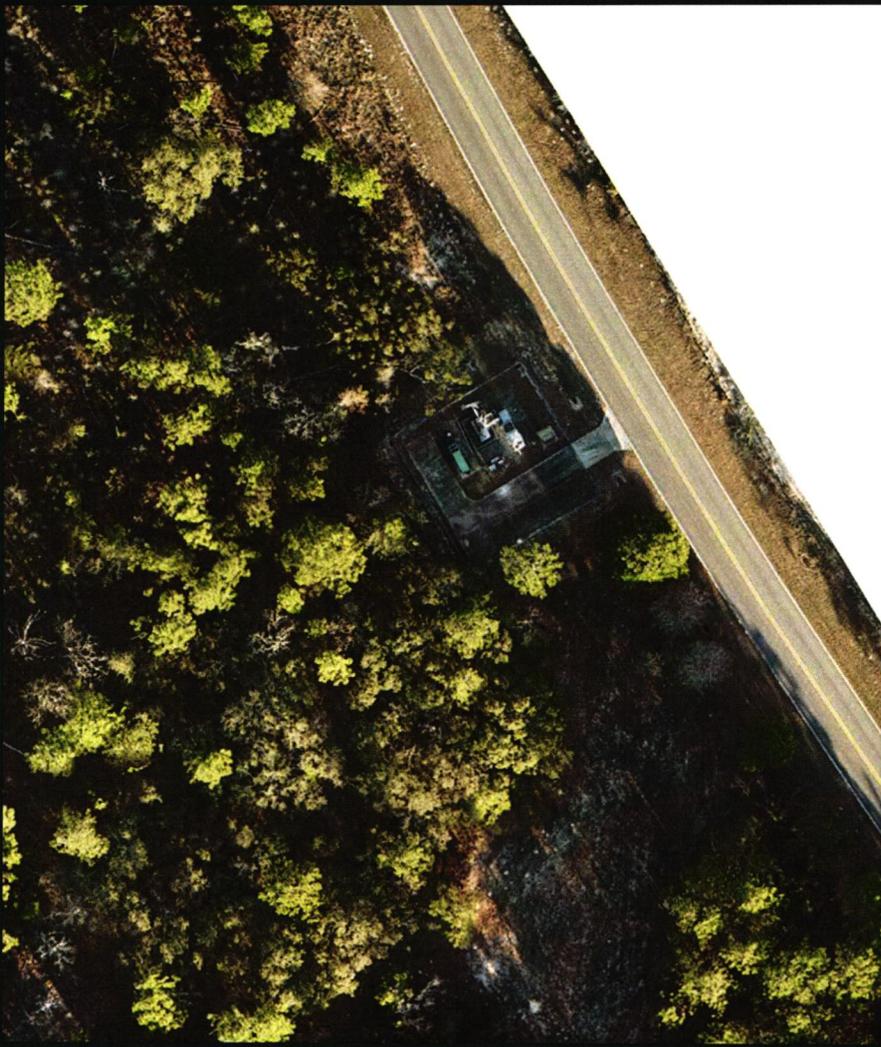
2007 Construction Development • Jacksonville • Florida 32201
904 796 6200 • Fax 904 796 6200
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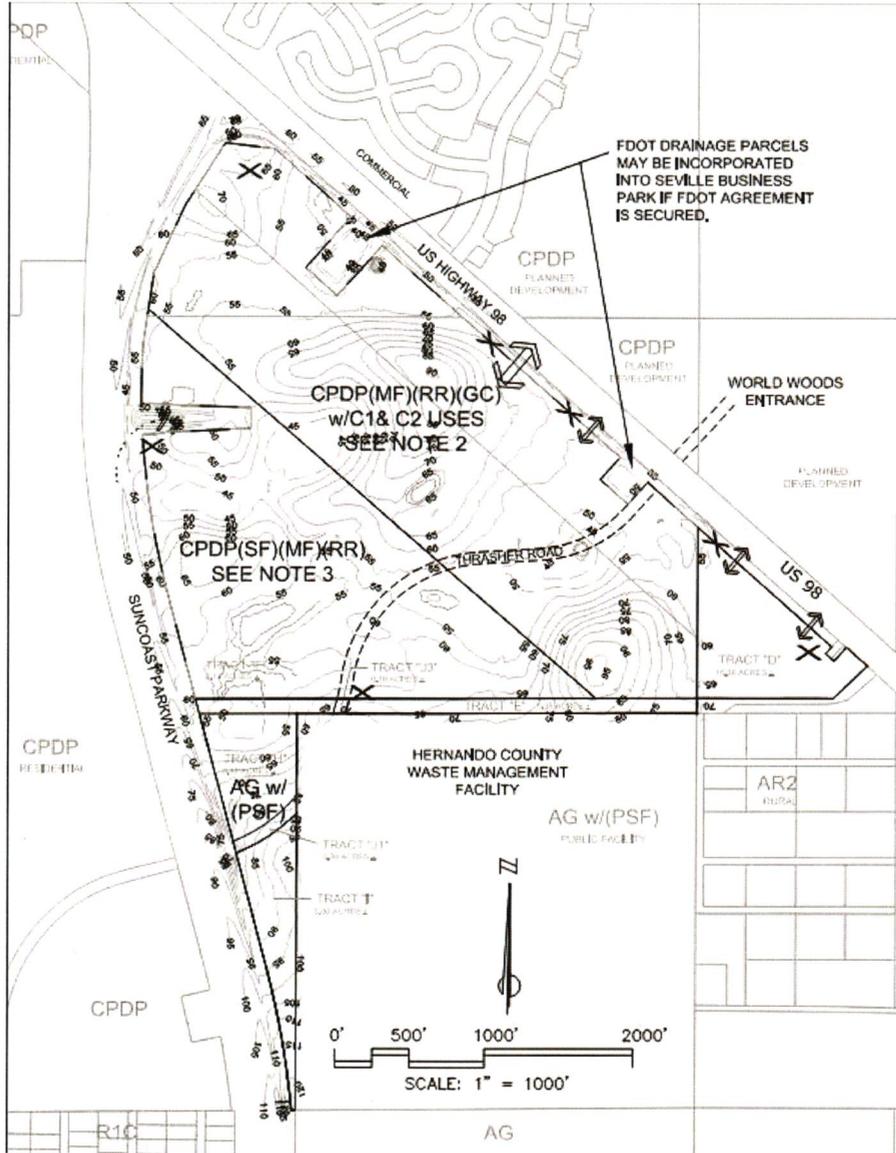
REV. BY

REV. NO.

DATE	REV. BY	REV. NO.



2010 SEVILLE EAST MASTER PLAN



LEGEND

SEVILLE EAST

CPDP(MF)(RR)(GC) w/C1 & C2 USES SEE NOTE 2

BUSINESS PARK = 148,16 Ac.

CPDP(SF)(MF)(RR) SEE NOTE 3

MID-DENSITY RESIDENTIAL 84 Ac, 2-16 units/Ac.

800,000 MAX. BUILDING S.F., 726 MAX. RESIDENTIAL UNITS
TOTAL ACRES 232,16

AG w/(PSF)

PROPERTY RETAINED BY COUNTY (26,68Ac.)

REZONING BOUNDARY (258,84 Ac.)