



SITE DATA

OWNER/APPLICANT:
 GLEN LAKES COMMONS
 13904 NORTH BOULEVARD
 TAMPA, FL 33613

PARCEL KEY NO. 00339798
AREA: APPROX. 21.37 ACRES
SECTION/TOWNSHIP/RANGE: 13/22S/17E
CURRENT ZONING: PDP (GHC) WITH C-2 USES
PROPOSED NO. OF LOTS: 8 MAXIMUM
PERIMETER BUILDING SETBACKS:
 EAST: 75' (US 19/COMMERCIAL WAY)
 NORTH/SOUTH: 20'
 WEST: 45' (LOT 2 - 100')

INTERNAL BUILDING SETBACKS:
 FRONT - 35' (From the internal road)
 SIDE - 10' (North & South)
 REAR - 15' (East & West)

MAXIMUM BUILDING HEIGHT:
 45' ALF
 45' FOR SELF-STORAGE FACILITY

BUFFERS: 30' NATURAL VEGETATIVE BUFFER, ENHANCED TO 80% OPACITY, ALONG THE WESTERN BOUNDARY OF THE SUBJECT SITE. NATURAL VEGETATION PRESERVED AND ENHANCED TO 80% OPACITY WITHIN 3 YEARS OF PLANTING.

FEMA FIRM COMMUNITY PANELS: FEMA PANEL 12053C 0158D, EFFECTIVE DATE OF FEBRUARY 2, 2012. ONE VERY SMALL AREA OF ZONE AE IS LOCATED ON THE PROPERTY. ZONE AE IS A SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD WITH BASE FLOOD ELEVATIONS DETERMINED.

WETLANDS: NO WETLANDS ARE LOCATED ON THE PROPERTY.

FIRE PROTECTION: FIRE MAIN STUB OUTS WILL BE PROVIDED FOR EACH LOT. FIRE FLOW REQUIREMENTS WILL BE EVALUATED ON FINAL ENGINEERING FOR EACH LOT BASED ON THE PROPOSED USAGE.

GENERAL NOTES:

- THIS IS A PLANNING DOCUMENT AND IS NOT TO BE CONSIDERED A FINAL DESIGN OR CONSTRUCTION PLAN. ALSO, NOT INTENDED FOR RECORDATION IN PUBLIC RECORDS. DRAINAGE AND UTILITY EASEMENT WILL BE INCLUDED IN THE FINAL CONSTRUCTION PLANS AND SHALL MEET THE REQUIREMENT OF HERNANDO COUNTY AND ANY AGENCIES HAVING JURISDICTION RELATED TO THIS PROJECT.
- DRAINAGE RETENTION AREAS (DRA) ARE CONCEPTUALLY LOCATED. THE ACTUAL SIZE AND LOCATION WILL BE DETERMINED WITH FINAL ENGINEERING DESIGN.
- HOTELS LOCATED WITHIN 100' OF RESIDENTIAL PROPERTY LINE WILL ADHERE TO THE RESIDENTIAL PROTECTION STANDARDS.

BCC ACTION:

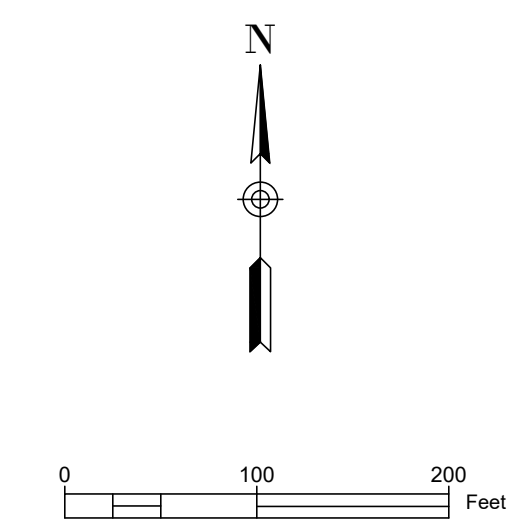
THE MINI-WAREHOUSE STORAGE MAY ONLY OPEN TOWARD THE EAST OF THE PROPERTY (FACING U.S. HIGHWAY 19).
 THE HOTEL IS TO BE PLACED PERPENDICULAR TO THE GLEN LAKES WALL, AS LONG AS IT'S WITHIN THE 100' RESIDENTIAL PROTECTION STANDARDS BOUNDARY WHICH LIMITS COMMERCIAL BUILDING HEIGHTS TO 20'. IN THIS CONFIGURATION, WINDOWS FACING GLEN LAKES SHALL BE ACCENT HALLWAY WINDOWS. IF THE HOTEL IS POSITIONED OUTSIDE OF THE 100', THE HOTEL SHALL BE PERMITTED AT 45'.

C-2 USES SHALL BE LIMITED TO DRIVE-IN RESTAURANTS, MINI-WAREHOUSES AND TIRE/AUTOMOTIVE ACCESSORY ESTABLISHMENT.

*THE SITE IS APPROVED FOR A CONGREGATE CARE FACILITY WITH 70 DEPENDENT UNITS AND 140 ASSISTED LIVING UNITS.

LEGEND

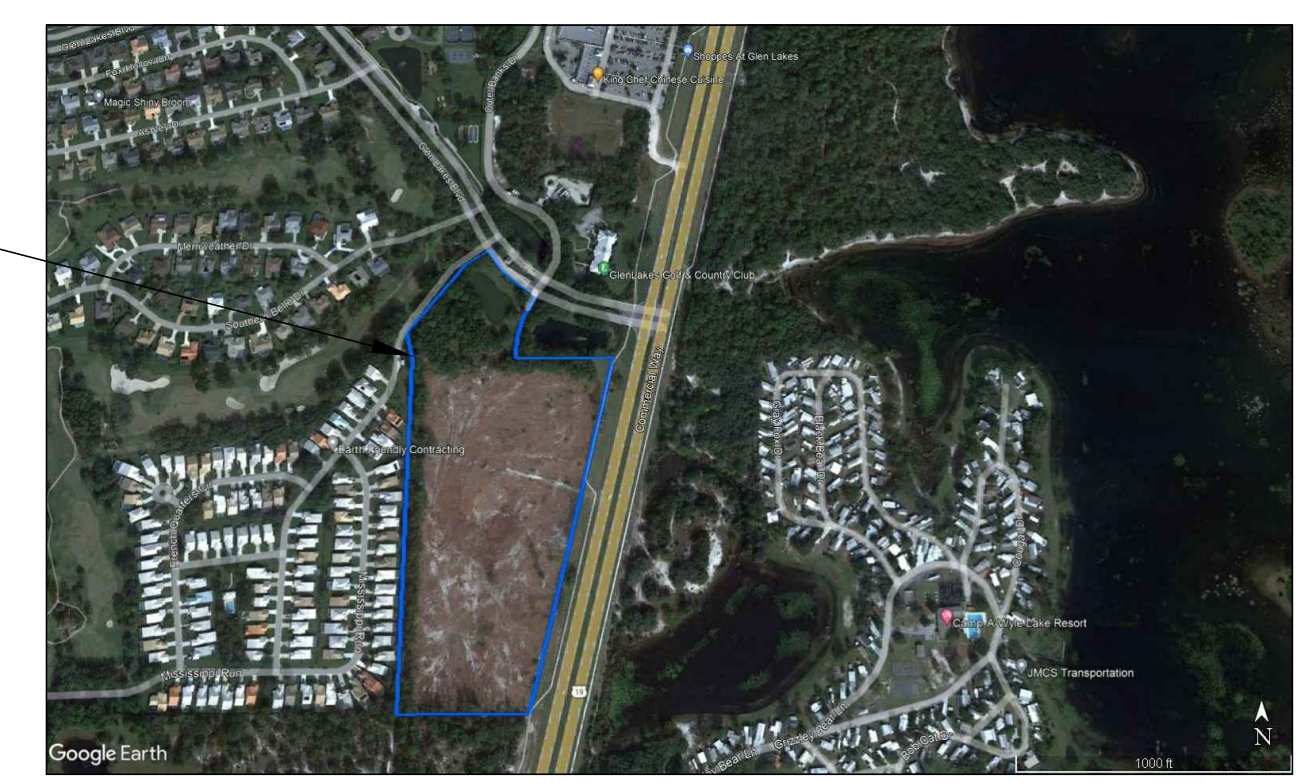
- VEGETATIVE BUFFER
- DRA
- SITE SIGN
- DIRECTORY SIGN



CURVE TABLE					
CURVE NO.	DELTA	RADIUS	LENGTH	CHORD DISTANCE	CHORD BEARING
C1	012°08'54.74"	500.00	106.02'	105.82'	S06°45'41.47"W
C2	007°23'09.90"	500.00	64.46'	64.41'	S09°08'33.89"W
C3	005°37'50.43"	400.00	39.31'	39.29'	S02°38'03.72"W

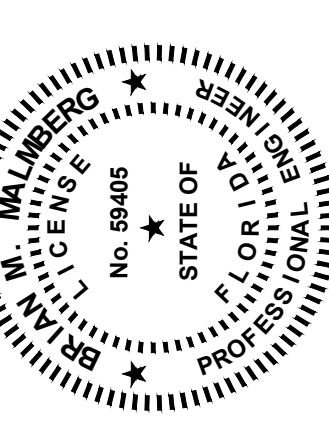
LAND USE TABLE				
LAND USE	ACRES	LOTS	DENSITY	UNITS
COMMERCIAL LOTS	11.56	7	180,000 SF	
CONGREGATE CARE FACILITY (LOT 1)	3.40	1		210*
ROAD RIGHT-OF-WAY	1.95			
PRESERVED VEGETATION	0.98			
DRAINAGE	3.50			
TOTAL	21.4	8	180,000 SF	210

PROJECT LOCATION



PRINTED: 07/28/2023 - 11:14am
 PRINTED BY: JY
 PATH: L:\21093\Glen Lakes Commons\dwg\PLAN\CP21093_CP_REV4.dwg

CONDITIONAL PLAT
 GLEN LAKES COMMONS



Coastal
 Engineering
 Surveying
 Environmental
 Transportation
 Management
 engineering associates, inc.
 966 Candlelight Boulevard - Brooksville - Florida 34601
 (352) 796-9423 - Fax (352) 799-8359
 EB-0000142

REUSE OF DOCUMENT
 THIS DOCUMENT COMPRISED OF THE
 INFORMATION IS THE PROPERTY OF
 AS AN INSTRUMENT OF
 PROFESSIONAL SERVICE, IS THE
 PROPERTY OF COASTAL ENGINEERING
 ASSOCIATES, INC. AND IS NOT TO BE
 USED, IN WHOLE OR IN PART FOR
 ANY OTHER PROJECT WITHOUT THE
 WRITTEN AUTHORIZATION OF COASTAL
 ENGINEERING ASSOCIATES, INC.
 DRAWING INVALID UNLESS SIGNED, DATED
 & SEALED BY REGISTERED PROFESSIONAL

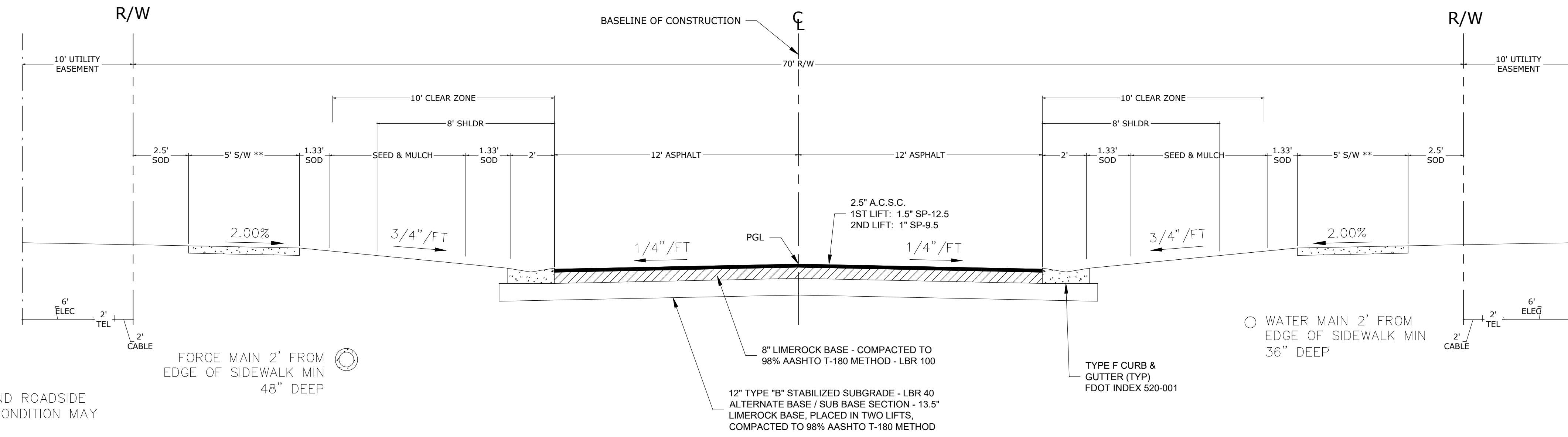
DATE	REV. BY/REV. NO.	REVISION
6/7/2023	JY 1	REVISED PER COUNTY COMMENTS
7/28/2023	JY 2	REVISED PER COUNTY COMMENTS

SHEET
1
 JOB No.: 21093

COLLECTOR / 2 LANE ROAD - CLOSED DRAINAGE

DESIGN SPEED = 40 MPH*

HERNANDO COUNTY ROADWAY STANDARD DETAL (IV-10)



GENERAL NOTES:
DESIGN SPEED, RIGHT-OF-WAY, AND ROADSIDE DIMENSIONS ARE MINIMUMS. SITE CONDITION MAY REQUIRE INCREASES.

* VARIANCE IN HORIZONTAL DESIGN SPEED ALLOWED WITH JUSTIFICATION AND APPROPRIATE SIGNAGE

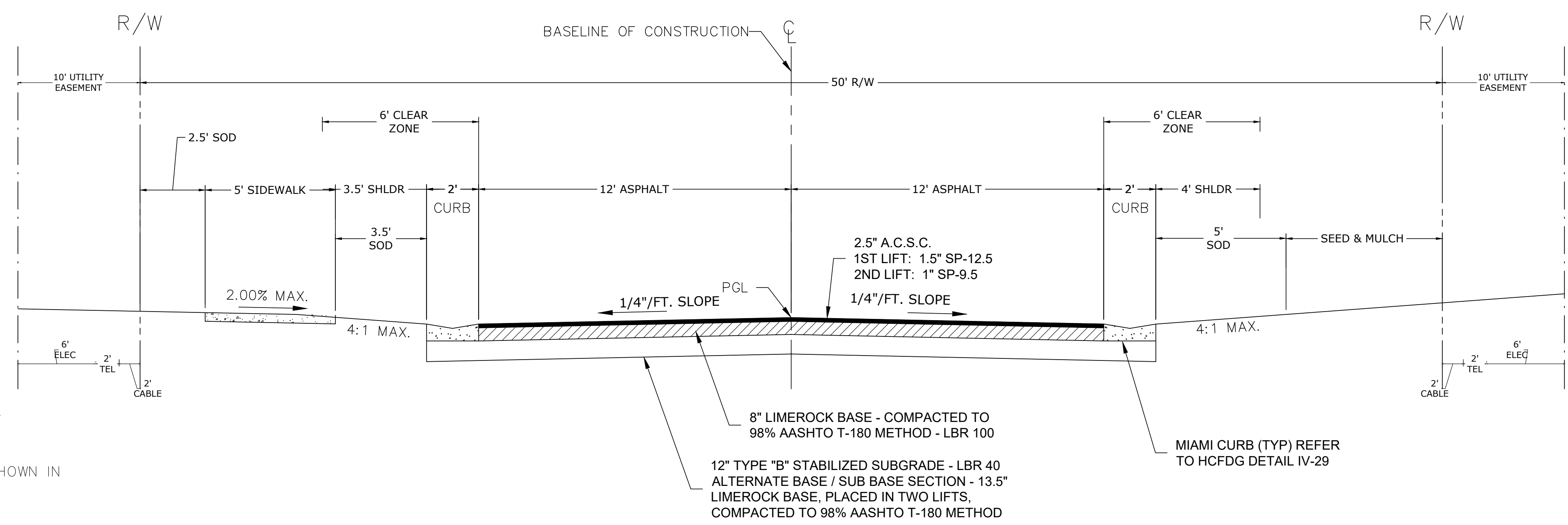
** SIDEWALKS IF APPLICABLE

ALL DIMENSIONS & LABELS ARE TYPICAL AND SHOWN IN FEET UNLESS LABELED OTHERWISE

FRONTAGE ROAD - CLOSED DRAINAGE

DESIGN SPEED = 30 MPH*

HERNANDO COUNTY ROADWAY STANDARD DETAL (IV-04)

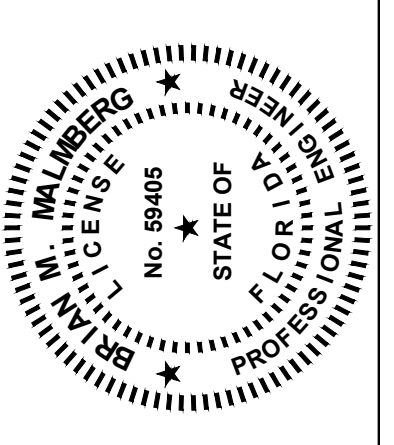


GENERAL NOTES:
DESIGN SPEED, RIGHT-OF-WAY, AND ROADSIDE DIMENSIONS ARE MINIMUMS. SITE CONDITION MAY REQUIRE INCREASES.

ALL DIMENSIONS & LABELS ARE TYPICAL AND SHOWN IN FEET UNLESS LABELED OTHERWISE

MODIFICATIONS
* ADDITION OF MIAMI CURB

TYPICAL SECTIONS
GLEN LAKES COMMONS



Coastal
Engineering
Planning
Environmental
Transportation
Construction Management

966 Candlelight Boulevard - Brooksville, Florida 34601
(352) 796-9423 Fax (352) 796-8359
EE-0000142

REUSE OF DOCUMENT
THIS DOCUMENT, COMPRISED OF THE DRAWINGS AND SPECIFICATIONS, IS THE PROPERTY OF COASTAL ENGINEERING ASSOCIATES, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE FOR WHICH IT WAS PREPARED. ANY OTHER USE, REUSE, OR REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF COASTAL ENGINEERING ASSOCIATES, INC. IS PROHIBITED.
DRAWING INVALID UNLESS SIGNED, DATED & SEALED BY REGISTERED PROFESSIONAL ENGINEER

DATE	REV. BY	REV. NO.	REVISION
6/7/2023	JY	1	REVISED PER COUNTY COMMENTS
7/28/2023	JY	2	REVISED PER COUNTY COMMENTS

WHEN PRINTED TO SCALE, DRAWING SIZE SHALL BE 22" X 34"