

HERNANDO COUNTY ZONING AMENDMENT PETITION



Application to Change a Zoning Classification

Application request (check one):
Rezoning [X] Standard [ ] PDP
Master Plan [ ] New [ ] Revised
PSFOD [ ] Communication Tower [ ] Other
PRINT OR TYPE ALL INFORMATION

Date: 3/2/2022

File No. H-22-17 Official Date Stamp:
Received
MAR 02 2022
Planning Department
Hernando County, Florida

APPLICANT NAME: JOSEPH A. GIARRATANA AND DONNA M. GIARRATANA

Address: 6244 SPRING LAKE HWY.
City: BROOKSVILLE State: FLORIDA Zip: 34601
Phone: 352-585-7557 Email: alimenajoe@papajoes.org
Property owner's name: (if not the applicant)

REPRESENTATIVE/CONTACT NAME: DAVID C. SASSER

Company Name: DAVID C. SASSER, P. A.
Address: 161 E. JEFFERSON STREET
City: BROOKSVILLE State: FLORIDA Zip: 34601
Phone: 352-345-4003 Email: dcs@davidsasserpa.com

HOME OWNERS ASSOCIATION: [ ] Yes [X] No (if applicable provide name)

Contact Name:
Address: City: State: Zip:

PROPERTY INFORMATION:

- 1. PARCEL(S) KEY NUMBER(S): 38934
2. SECTION 3, TOWNSHIP 23 SOUTH, RANGE 20 EAST
3. Current zoning classification: R1B
4. Desired zoning classification: C1
5. Size of area covered by application: 19,500 SQUARE FEET
6. Highway and street boundaries: SPRING LAKE HWY (WEST) AND OGBURN STREET (EAST)
7. Has a public hearing been held on this property within the past twelve months? [ ] Yes [X] No
8. Will expert witness(es) be utilized during the public hearings? [ ] Yes [X] No (If yes, identify on an attached list.)
9. Will additional time be required during the public hearing(s) and how much? [ ] Yes [X] No (Time needed: )

PROPERTY OWNER AFFIDIVAT

I, JOSEPH A. GIARRATANA, have thoroughly examined the instructions for filing this application and state and affirm that all information submitted within this petition are true and correct to the best of my knowledge and belief and are a matter of public record, and that (check one):

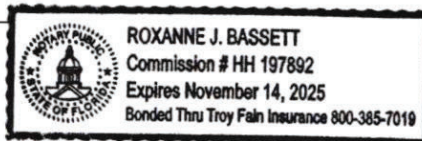
- [X] I am the owner of the property and am making this application OR
[ ] I am the owner of the property and am authorizing (applicant):
and (representative, if applicable):
to submit an application for the described property.

Signature of Property Owner (Handwritten signature)

STATE OF FLORIDA
COUNTY OF HERNANDO

The foregoing instrument was acknowledged before me this 2 day of March, 2022, by Joseph A. GIARRATANA who is personally known to me or produced as identification.

Signature of Notary Public (Handwritten signature)



Notary Seal/Stamp

Effective Date: 11/8/16 Last Revision: 11/8/16

April 25, 2022

David C. Sasser, PA  
161 E. Jefferson Street  
Brooksville, FL 34601

Attn: David Sasser, PA  
**Re: H2217, Giarratana Planning and Zoning Comments**

Received

APR 28 2022

Planning Department  
Hernando County, Florida

Dear Mr. Sasser,

Please accept the following narrative to serve as the required response to Hernando County Planning and Zoning Comments dated March 23, 2022 for the above referenced application.

Public Works:

**Comment:**

*The proposed area is insufficient for typical parking layout. Engineering will need a detailed site plan showing the proposed parking configuration and the internal site traffic circulation. Refer to Hernando County Facility Design Guidelines sheet IV-28.*

*Please update the site plan to address concerns related to the parking lot and submit to the planning department for review and distribution.*

**Response:**

Please see revised site plan dated 04.25.22 showing dimensions and circulation arrows and signage in compliance with HCFD Guidelines sheet IV-28.

Utilities:

**Comment:**

*HCUD currently provides water and sewer service to this parcel. There is an existing 2-inch water main (with associated water meters) running along the rear property lines that service the existing homes and commercial businesses. There is an existing 8-inch sewer gravity main that is also located in this area. We have several questions/comments associated with this request that need to be answered before complete review can be provided:*

- 1. Will a parcel be created between the existing water and gravity mains and the existing homes (i.e. will the new parking lot be merged with the existing commercial buildings? If so, the water main and meters will need to be relocated into a green area.*
- 2. Will the existing homes remain residential, or will they be converted to commercial use(s)?*

# OUTSIDEIn Architecture, LLC

Architecture | Planning | Interior Design | LEED Consulting

*Please provide a supplement to the narrative addressing these questions and submit to the planning department for review and distribution.*

## **Response:**

The area to be rezoned is the West 60 feet of the North 25 feet of Lot 5 (the South 75 feet of Lot 5 is currently zoned PDP(GC)) and the West 60 feet of Lots 6, 7 and 8. The application identifies the West 60 feet of all four residential parcels as part of the area to be rezoned. The remaining 123' of each of lots 6, 7, & 8 shall remain residential with a R1-B zoning.

The new parking area shown on the site plan dated 04-25-22 has been changed to reflect a pervious grass parking area similar to the grass parking area to the north of said property as suggested in our conversation with HC Utilities on 04-19-22. The existing gravity sewer and water supply extends between the parking area and said grass parking area then under the paved parking area and back into the grassed parking area to the north. The existing manhole shall be protected by landscaping, curbing or approved wheel stops if located near the parking area. Currently, it appears the manhole cover is outside of the grass parking or aisleway as shown on the site plan.

The new culvert and associated apron shall be located at the existing base elevation of the existing spillway and then covered with fill and appropriate compacted crushed concrete or stone to prevent erosion at this location or disturb the existing gravity sewer which is significantly lower than the existing grade. Please note this gravity sewer leads to an existing lift station located to the northeast of said 8" gravity sewer line and manhole. A survey has been provided with this site plan submission.

Should you have any questions, please do not hesitate to contact me at (813) 400-2399.

Sincerely,



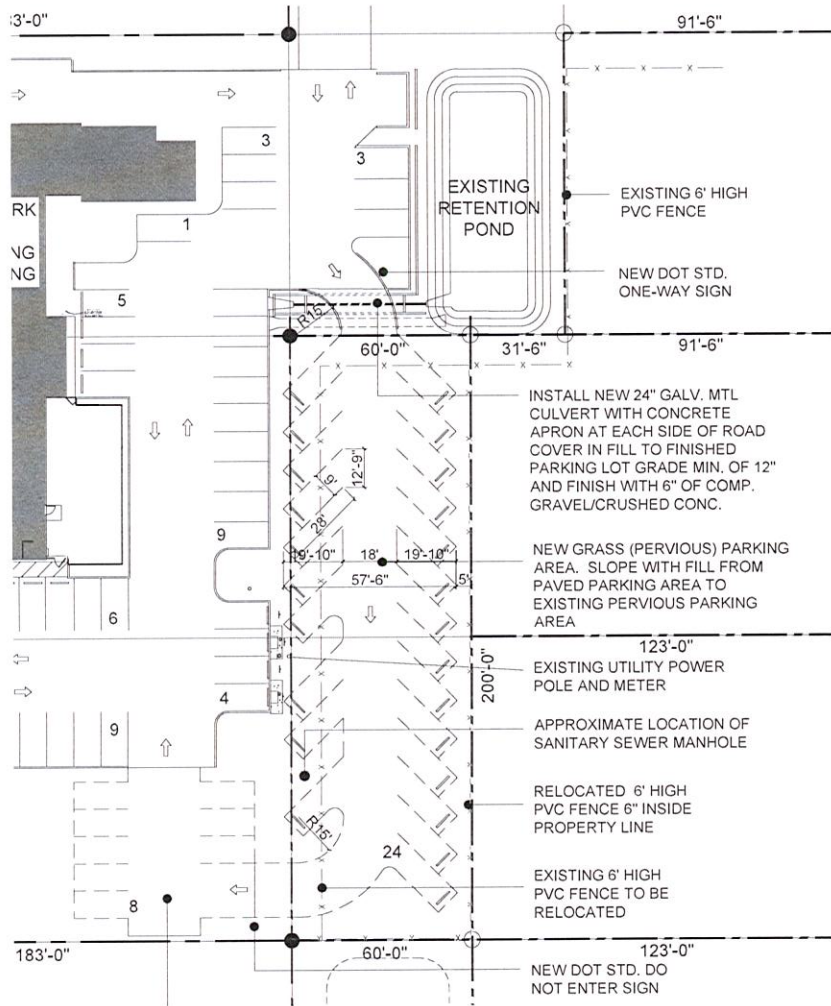
Darren M. Azdell, AIA, NCARB  
Principal

CC: Joseph Giarratana  
File: 22-004

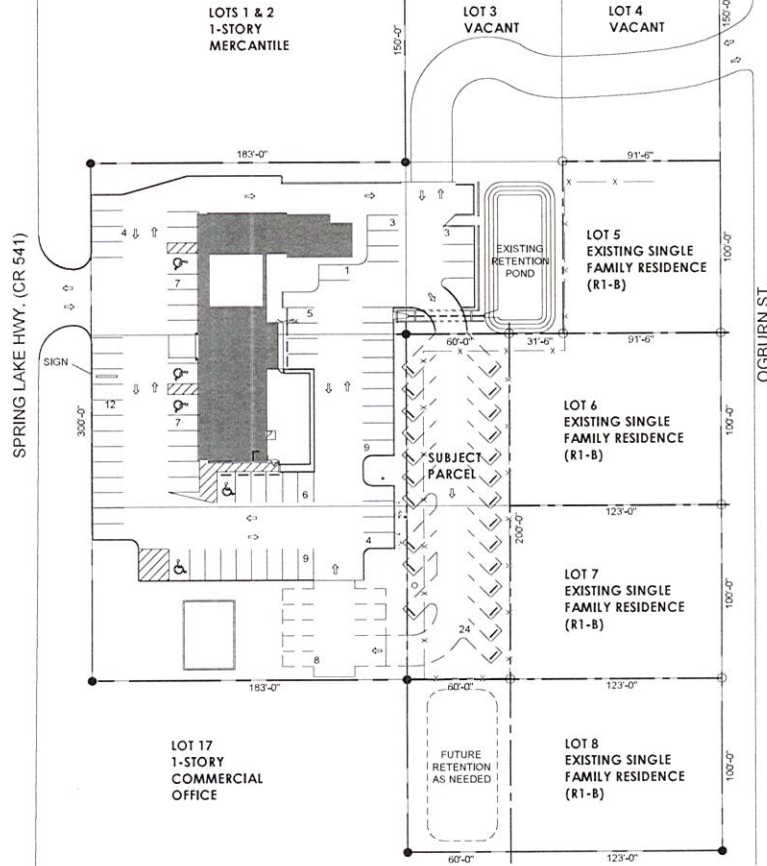
Received

APR 29 2022

Planning Department  
Hernando County, Florida



ENLARGED PROPOSED SITE PLAN | 1" = 40' +/-



PROPOSED PLOT PLAN | 1" = 70' +/-

**PAPA JOE'S PERVIOUS PARKING EXPANSION - PRELIMINARY - NOT FOR CONSTRUCTION**  
**6244 SPRING LAKE HWY. BROOKSVILLE , FL 34601**

04.25.22



NOTE: THIS IS NOT A SURVEY.  
BACKGROUND AERIAL IMAGE IS FOR  
REFERENCE ONLY AND IS TO  
APPROXIMATE SCALE ONLY

THIS PLAN IS NOT FOR CONSTRUCTION  
AND IS FOR PLANNING PURPOSES ONLY