

PARKS AND RECREATION OFFICE EXPANSION

23-T00040/AP Q27

County of Hernando
15470 Flight Path Drive
Brooksville, FL 34604



County of Hernando
Parks and Recreation Office Expansion

- I. Quote Instructions
- II. Scope of Work
- III. Pricing Proposal
- IV. Vendor Questionnaire.....

Attachments:

A - Sample Work Authorization Agreement

B - Non-Disclosure Hernando_MAT032124

C - Cover Sheet - Sensitive Information Packet_MAT032124 (002)

D - Parks and Recreation Office Expansion Plans

1. Quote Instructions

A. TIME OF COMPLETION:

- A. Vendor/Contractor agrees that the work will be substantially complete within days to substantial completion (60) calendar days after the commencement date indicated in the Notice to Proceed and ready for final payment within days to final completion (15) calendar days after the date indicated on the Notice to Proceed. Completion time includes material ordering lead times. Materials shall not be ordered by the Vendor/Contractor until the Notice to Proceed has been issued.

B. LIQUIDATED DAMAGES:

- A. Vendor/Contractor hereby agrees that time is of the essence and that a precise determination of actual damages which could be incurred by the County for delay in the completion of the work provided herein would be difficult to ascertain. Accordingly the parties agree that the liquidated damages for those items of damage not otherwise provided for by the Quote Documents, for each and every day that the time consumed in completing the work provided for herein exceeds the time allowed in achieving Substantial Completion and/or Final Completion therefore shall be in accordance with the amount(s) of enter amount of LD in words (\$Two hundred and fifty dollars). The parties specifically agree that the liquidated damages provided herein do not constitute a penalty. The amount of liquidated damages occasioned by the Vendor/Contractor's delay will be deducted and retained out of the monies payable to the Vendor/Contractor. If not so deducted the Vendor/Contractor and sureties for the Vendor/Contractor shall be liable thereof.

D. PERFORMANCE AND PAYMENT BOND: - Not Required if Quote is under \$200,000

- A. A Performance and Payment Bond issued in a sum equal to one hundred (100%) percent of the total awarded Contract amount by a surety company considered satisfactory by the County and otherwise authorized to transact business in the State of Florida will be required from the successful Bidder for purposes of insuring the faithful performance of the obligations imposed by the resulting Contract and for purposes of protecting the County from lawsuits for non-payment of debts as might be incurred during the successful Bidder's performance under such Contract. When applicable, the performance and payment bond form will be included in the Contract Documents and said form must be properly executed by the surety company and successful Bidder within fifteen (15) calendar days after notification by the County of the County's intent to award the Contract.

- B. If, within fifteen (15) calendar days after notification by the County of the County's intent to award a Contract, the successful Bidder refuses or otherwise neglects to execute the required written Contract or fails to furnish the required Performance and Payment Bond, the amount of the Bidder's Bid security (check or Bid Bond) shall be forfeited and the same shall be retained by the County. No plea of mistake in the Bid or misunderstanding of the conditions of forfeiture shall be available to the Bidder for the recovery of his Bid security or as a defense to any action based upon the neglect or refusal to execute a written Contract.
- C. The surety company must provide an "Increase Rider" to the Performance and Payment Bond or execute the "Consent of Surety and Increase of Penalty" form provided by the County if the Contract is increased by change order.

OPTIONAL SECTIONS (REMOVE SECTIONS E , F & G BELOW IF NOT APPLICABLE TO PROJECT)

F. TRAFFIC CONTROL:

- A. The Vendor/Contractor shall be responsible for installing, operating, and maintaining all traffic control associated with the project, including detours, advance warnings, channelization, or other features, both at the immediate work site and at outlying points as detailed on the construction plans or as referenced by the Florida Department of Transportation (FDOT) indexes.
- B. Vendor/Contractor shall prepare a detailed traffic control plan designed to accomplish the level of performance outlined in the scope of work, and incorporating the methods and criteria contained in the Manual on Uniform Traffic Control Devices published by the U.S. Department of Transportation and adopted as amended by the FDOT. This plan must be approved in writing by the Engineer.
- C. The Engineer may inspect and monitor the traffic control scheme and devices of the Vendor/Contractor and shall, through the County's Inspector assigned to the project, make known his requirements for any alterations and adjustments to the control plan or devices. The

Vendor/Contractor shall take direction only as appropriately expressed by the Inspector or Engineer.

G. Sensitive Information (Pre-Bid Meeting Preparation) (Note if this section is removed the Vendor Questionnaire Section needs to be removed as well. This statement should be removed either way.)

- A. The Vendor/Contractor shall download the “Sensitive Information Cover Page” and “Non-Disclosure/Confidentiality Agreement” documents under the Vendor Questionnaire Section.
- B. The Vendor/Contractor shall complete and sign 2 copies of the documents and bring them the Pre-Quote Conference. At the Pre-Quote Conference, the County's Sensitive Information Manager will sign off as noted on these forms. One copy will be retained by the County, and one will be returned to the Vendor/Contractor.
- C. The Vendor/Contractor shall be required to upload a copy of these form as indicated in the Vendor Questionnaire Section.

2. Scope of Work

2.1. Parks and Rec's office expansion.

The Parks and Recreation department needs the five (5) new offices, which would be constructed in the existing warehouse, and shall be constructed first (room numbers 13, 19, 20, 21, and 22). After the new offices are completed, five (5) staff members will move from the existing offices leaving enough room for the rest of the project to be constructed. Once the warehouse offices are completed, construction can begin on the existing offices and lobby (room numbers 14, 15, 16, 17, and 18). The scope of work includes constructing firewalls in the warehouse and adding five (5) new offices. The lobby location will be moved and three (3) open offices will be constructed. All of the new electrical wiring will connect to panel A (Room 9). All Data goes to the Data room (Room 4). A/C # 4 will be removed and discarded. Leave the pad and connections. A/C # 2 will be moved to the # 4 spot and connected. Leave the pad and connections. A new A/C will be placed at the # 2 location and connected to the office expansion. Hernando County Utilities Department (HCUD) comment # 1: HCUD approves the project for construction with the following condition: Contractor to route all condensate drain line piping from the A/C systems to discharge either into a dry well pit or onto the ground outside of the building. No connections to the sanitary sewer system is permitted per Hernando County Ordinance Chapter 28, Article VI, Division 2, Section 28-242 (e) & F.A.C. 62-604.130 (4). All A/C vents shall have adjustable louvers and all returns shall have filters. All offices shall have commercial carpet and insulation for sound deadening. The county will supply the paint color name/number. The contractor will supply all necessary materials and labor to build new office walls, complete electrical wiring and Data cabling, install flooring, door installation, encompassing all aspects of framing, drywall finishing, electrical installation, data cabling, adhering to relevant building codes and specifications. A Building Contractor or General Contractor can bid on this project. The permits have already been pulled. The contractor will have to put their information on the permit and pay for it. It has already been approved as submitted by the Building Department.

3. Pricing Proposal

BID TAB

Line Item	Description	Quantity	Unit of Measure	Unit Cost	Total
01	Mobilization	1	LS		
02	Metal Studs and any wood needed for the project.	1	LS		
03	Doors to code (match current doors Birch wood fire rated doors to code). 7 total new doors.	1	LS		
04	Insulation for sound deadening in walls and on top of all drop ceiling (Minimum 5 ml vapor barrier between the ceiling tiles and the insulation).	1	LS		
05	Commercial Carpet in all new space except the warehouse office (Low pile Nylon).	1	LS		
06	2 none-opening windows for Warehouse Office to code (4' x 8' and 2.5' x 4' double pane).	1	LS		
07	All Electrical Wiring, Switches, Receptacles, Data Ports and Cat 6 Wire, Switch Plates, and Breakers.	1	LS		
08	20 LED Light fixtures (2' x 4'), Dimmable (for offices only), and any accessories required for installation. 14 LED Light Fixtures (2' x 4') Non-Dimmable, for Hallways/Walkways and 2 small A/C rooms. 10 LED Exit/Emergency Lighting Combo.	1	LS		
09	Drywall (5/8" XP Fire Shield Mold, Mildew, & Moisture resistant or Equivalent).	1	LS		

Line Item	Description	Quantity	Unit of Measure	Unit Cost	Total
10	Paint and Cove Base (Sherwin Williams 7632 Modern Gray for all walls and Sherwin Williams (County to supply trim code.) also Red Epoxy Flooring paint for marking exit door route in the warehouse.	1	LS		
11	A/C (Remove A/C # 4 and discard. Move A/C # 2 to A/C 4 slab and connect. Install new A/C on # 2 slab for the offices. 4 ton with return). All condensate to drain outside.	1	LS		
12	All A/C Duct Work, Adjustable Vents, all returns with Filters, and materials.	1	LS		
13	Clean concrete flooring and fill all holes in concrete flooring before carpet install.	1	LS		
14	2' x 4' Drop Ceiling Tiles.	1	LS		
15	Remove 4 and re-hang 3 existing doors to opposite side of frame with same swing out.	1	LS		
16	Demolition of overhead structure above single warehouse office.	1	LS		
TOTAL					

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05	Commercial Carpet in all new space except the warehouse office (Low pile Nylon).	1	LS		
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16	Demolition of overhead structure above single warehouse office.	1	LS		
TOTAL					

4. Vendor Questionnaire

4.1. Bid Confirmation*

The undersigned, hereinafter called "Bidder", having visited the site of the proposed project and familiarized himself with the local conditions, nature and extent of the work, and having examined carefully the agreement form, General Conditions, Special Conditions, Supplementary Conditions for Federal/State Requirements, plans and specifications and other contract documents, with the bond requirements herein, proposed to furnish all labor, materials, equipment and other necessary items, facilities and services for the proper execution and completion of the subject project in full accordance with the drawings and specifications prepared in accordance with your Advertisement of Bids, instruction to bidders, agreement and all other documents related thereto on file in the office of the Hernando County Procurement Department and if awarded the Contract, to complete said work within the time limits specified for their bid price.

☐ Please confirm

*Response required

4.2. Foreign Countries of Concern *

Please download the below documents, complete, and upload.

- [Foreign Countries of Concer...](#)

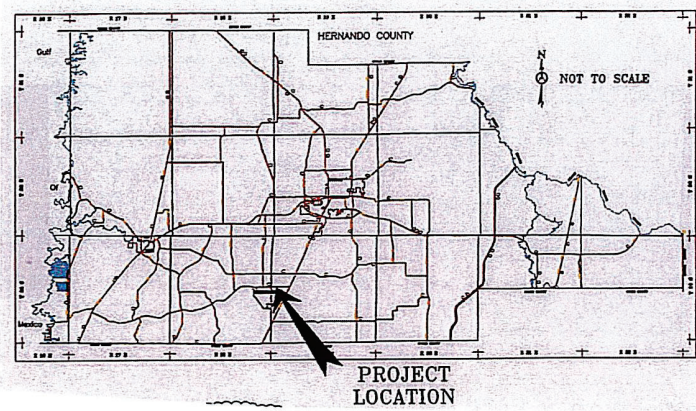
*Response required

4.3. Anti-Human Trafficking Affidavit *

Please download the below documents, complete, and upload.

Hernando County
--- Proposed ---
Parks & Recreation Office & Maintenance Building
Office Additions – Fiscal 2025

Sheet Index

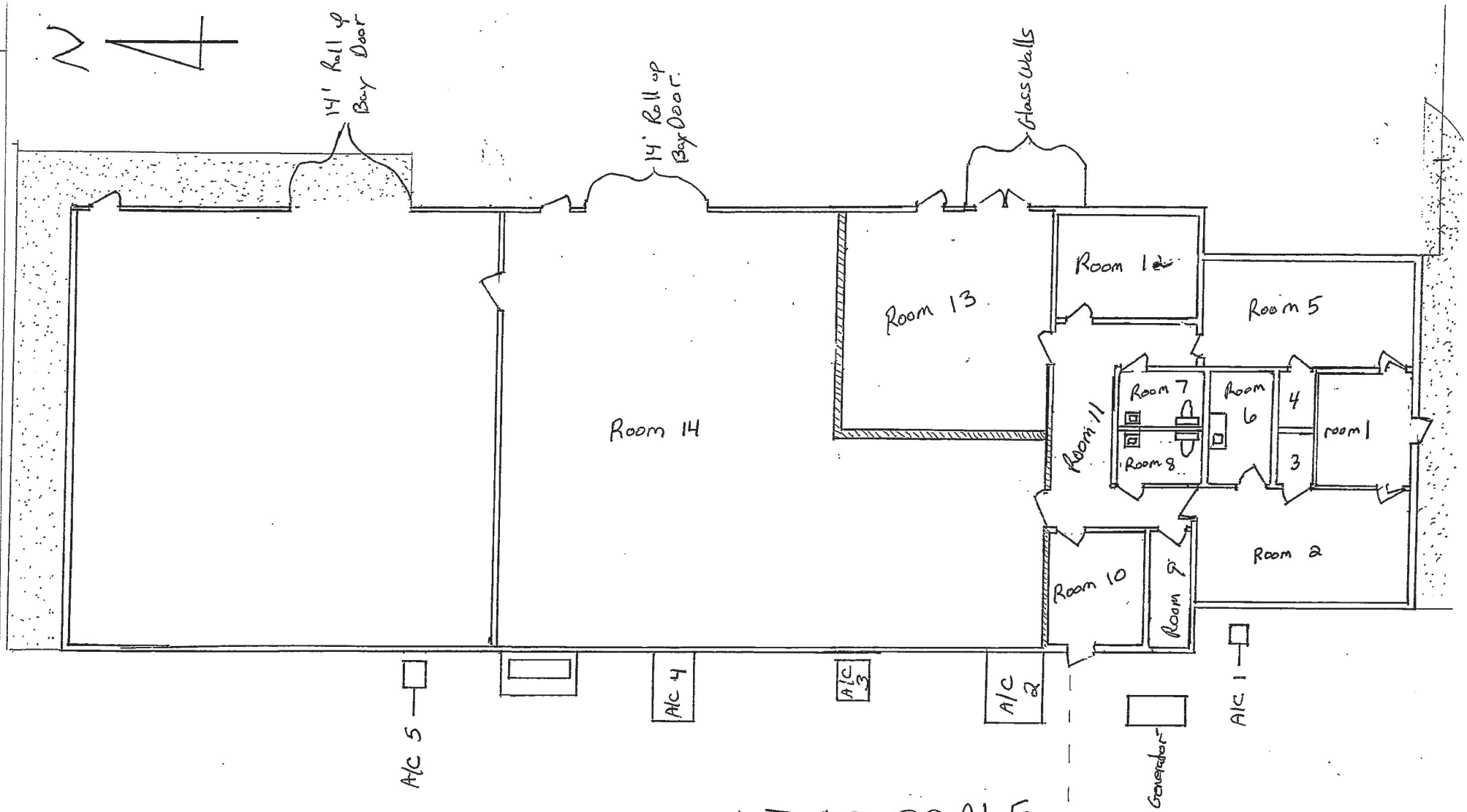


- Sheet 01 – Cover Sheet
- Sheet 02 – Existing Floor Plan
- Sheet 03 – Proposed Floor Plan
- Sheet 04 – Proposed Room Numbers
- Sheet 05 – Proposed Office Detail 01
- Sheet 06 – Proposed Office Detail 02
- Sheet 07 – Proposed Office Detail 03
- Sheet 08 – Proposed Electric & Data Plan
- Sheet 09 – Proposed lighting & Switches Plan
- Sheet 10 – Proposed Drop Ceiling Plan
- Sheet 11 – Proposed H.V.A.C. Plan
- Sheet 12 – Life Safety Plan
- Sheet 13 – Existing Site Plan

General Conditions:

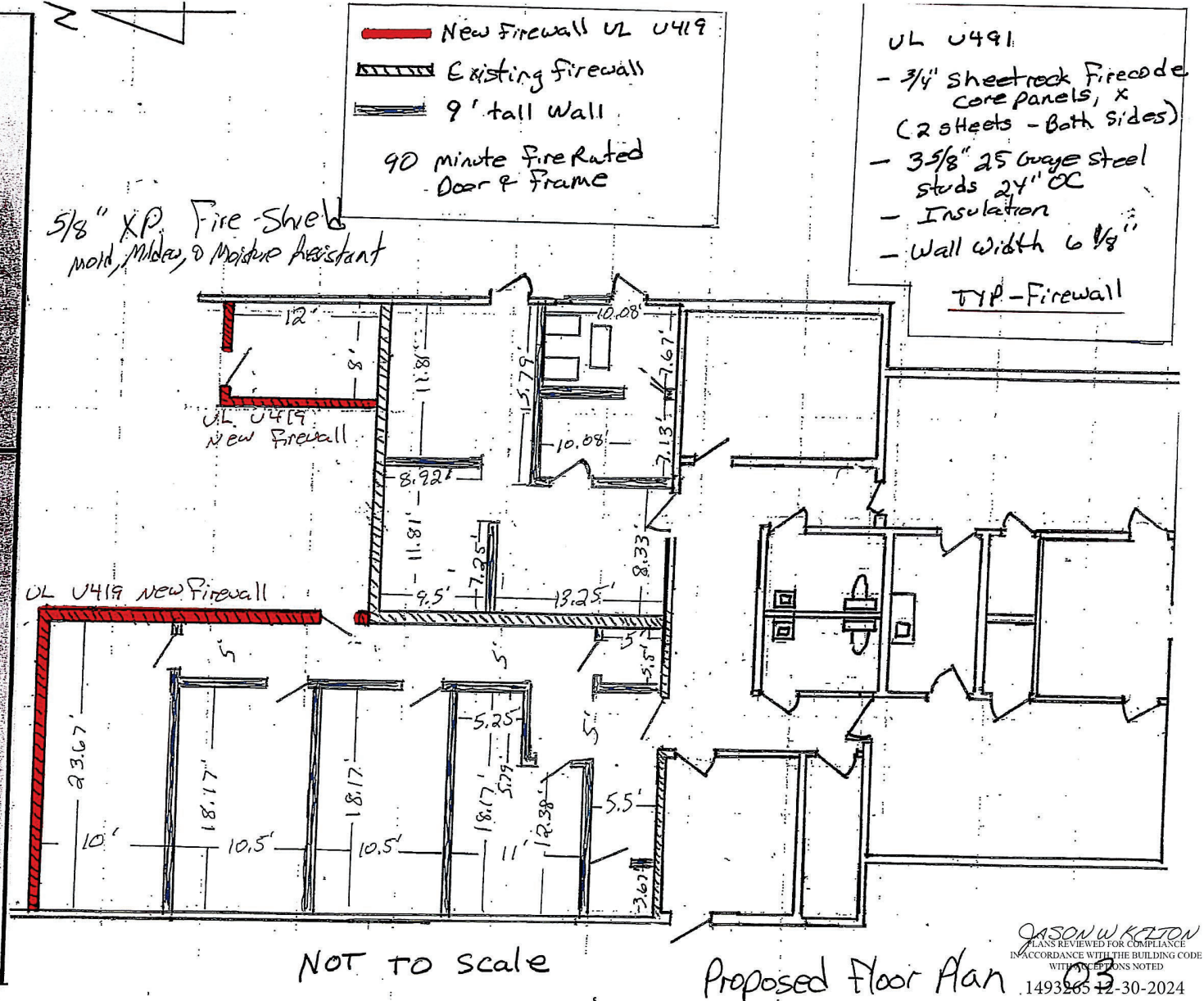
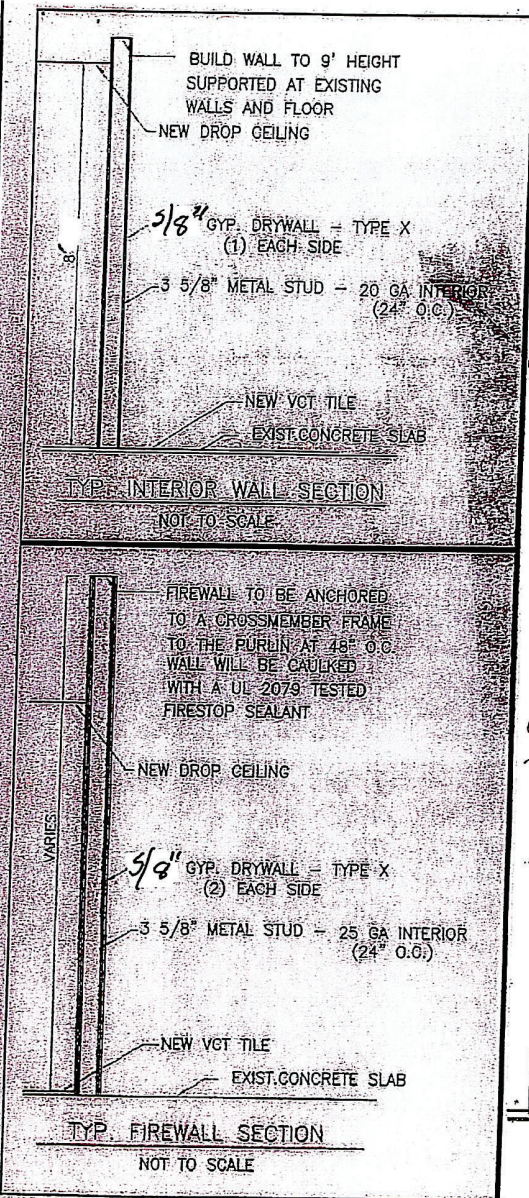
- 1) All work to be completed in compliance with all Federal, state, and County codes, laws, rules, specs and standards, and ordinances.
- 2) All work shall be in accordance with manufacturers recommendations.
- 3) This building does not have a fire alarm or fire sprinkler system.

Plans prepared by
CASON W. KILTON
PLANS REVIEWED FOR COMPLIANCE
Hernando County, Florida
Parks and Recreation
16161 Flight 93265-12-30-2024
Brooksville, Florida 34604
THE ASSURANCE OF THIS PERMIT SHALL NOT BE
HELD TO PERMIT OR APPROVE THE VIOLATION
OF ANY CITY, COUNTY, OR STATE LAW,
REGULATION OR ORDINANCE

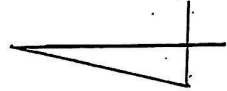


NOT TO SCALE
Existing Floor Plan

JASON W. KILTON
 PLANS REVIEWED FOR COMPLIANCE
 IN ACCORDANCE WITH THE BUILDING CODE
 WITH ACCEPTIONS NOTED
 1493265 12-30-2024
 THE ISSUANCE OF THIS PERMIT SHALL NOT BE
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 REGULATION OR ORDINANCE



N



NOT TO SCALE

Proposed Room Numbers

JASON W. KELTON
PLANS REVIEWED FOR COMPLIANCE
IN ACCORDANCE WITH THE BUILDING CODE
WITH ACCEPTATIONS NOTED

1493265 12-30-2024

THE ISSUANCE OF THIS PERMIT SHALL NOT BE
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23.667' Inside wall

49.75' Inside
measurements.

Existing wall
Proposed Drawing has
of 5' thick
office walls.
this can be
adjusted to
Detail: 33' thick
0 walls.
whatever
is standard

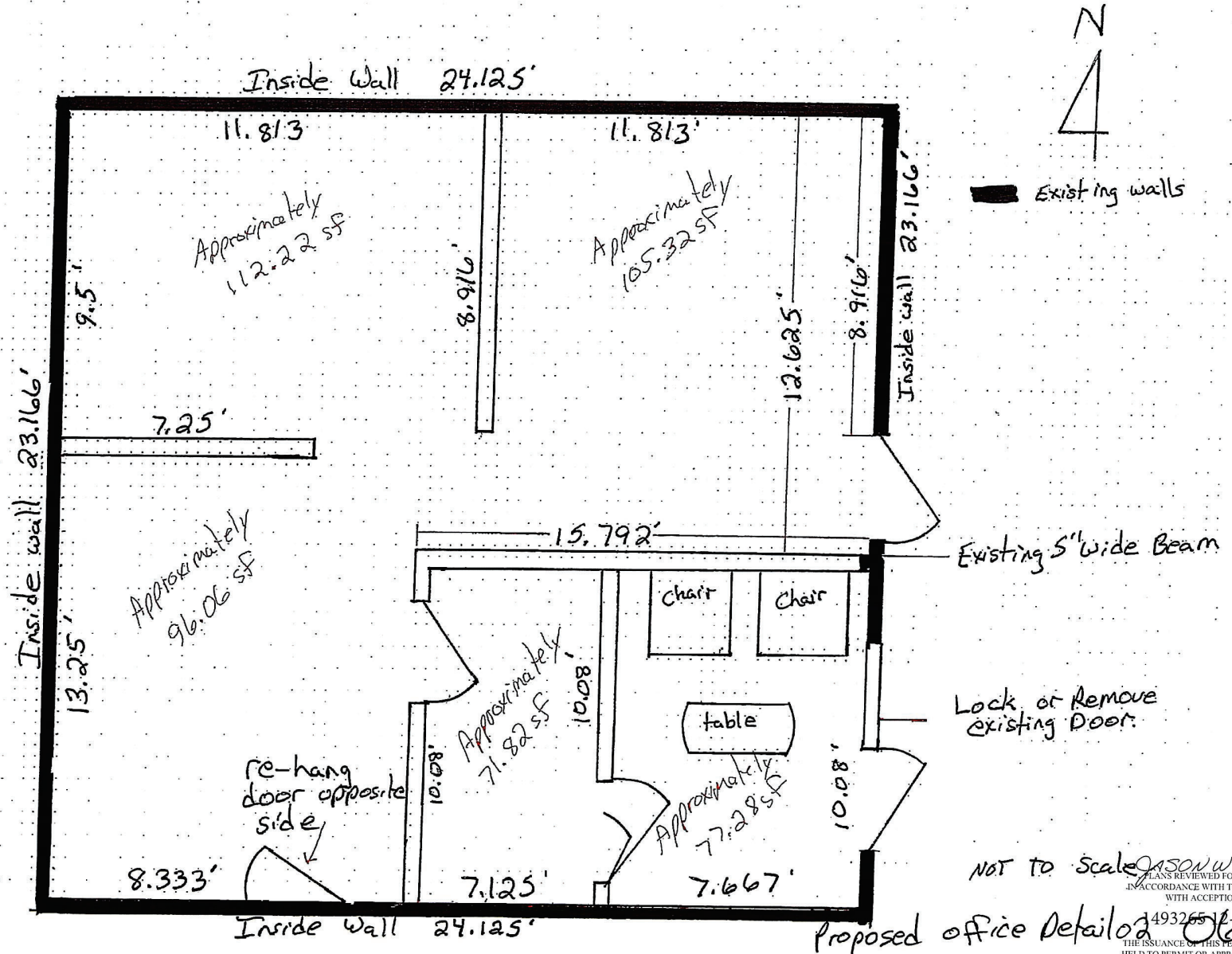
commercial carpet on the office floors

JASON W. KELTON
PLANS REVIEWED FOR COMPLIANCE
IN ACCORDANCE WITH THE BUILDING CODE
WITH ACCEPTIONS NOTED

1493265 12-30-2024

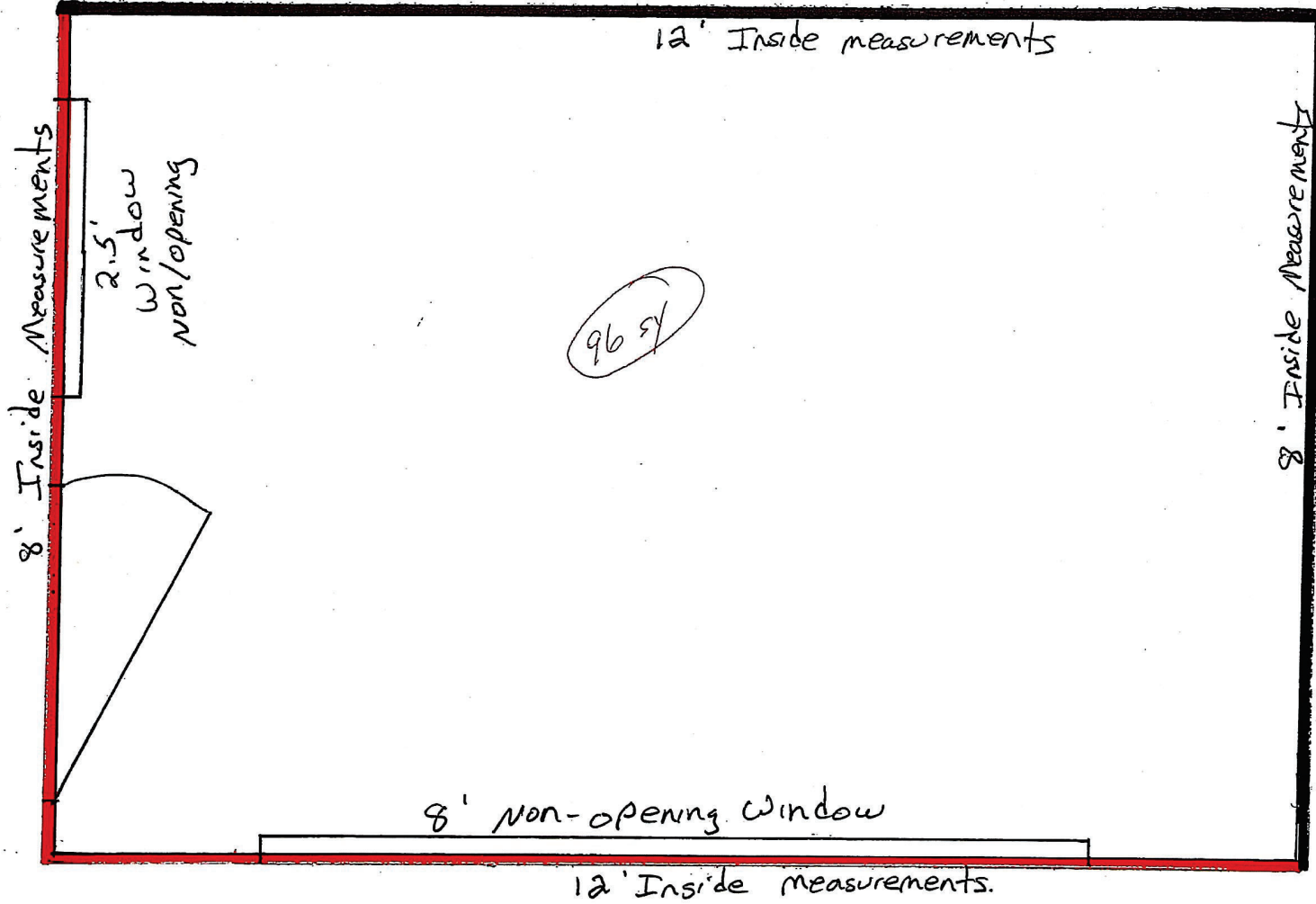
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Recreation Offices & New Lobby Location



N

Warehouse office



8' Drop Ceiling
Data Drops (2)
Quad's (2)
A/C through Ceiling
connect to existing new A/C.

Existing Wall
New Firewall
NOT TO SCALE

Proposed office detail 03

JASON W. KILTON
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1493265 12-30-2024
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▷ #0 Data/Cat 6 (25)

⊖ Duplex (42)

—— All Data to Data Room

—— All power to Panel A

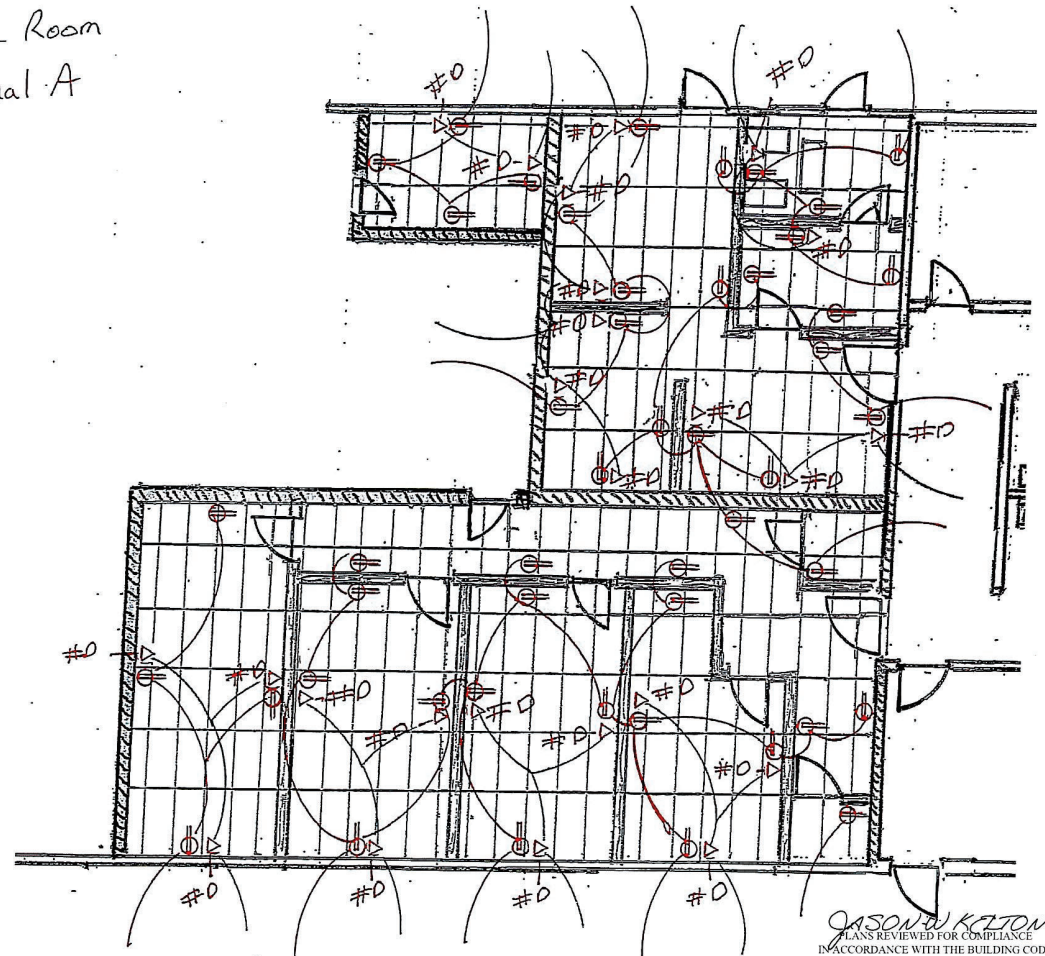
—— Empty

All New Electric to Panel A.

PANEL A SCHEDULE

- | | |
|----------------------------|----------------------------|
| 1. 100 AMP FEED TO PANEL 0 | 2. 20 AMP LIGHTS & REC |
| 3. 30 AMP WATER HEATER | 4. 20 AMP LIGHTS & REC |
| 5. 30 AMP CONDENSOR | 6. 20 AMP LIGHTS & REC |
| 7. 50 AMP HEAT | 8. 20 AMP LIGHTS & REC |
| 9. 20 AMP REC | 10. 20 AMP LIGHTS & REC |
| 11. 20 AMP LIGHT & REC | 12. 20 AMP LIGHTS & REC |
| 13. 20 AMP REC | 14. 20 AMP LIGHTS & REC |
| 15. 20 AMP SPARE | 16. 20 AMP LIGHTS & REC |
| 17. 20 AMP REC | 18. 20 AMP LIGHTS & REC |
| 19. 20 AMP SPARE | 20. 20 AMP LIGHTS & REC |
| 21. 20 AMP REC | 22. MTG RM & RM 12 LIGHTS |
| 23. 20 AMP SPARE | 24. 20 AMP SPARE |
| 25. 20 AMP REC | 26. 20 AMP SPARE |
| 27. 20 AMP SPARE | 28. 20 AMP SPARE |
| 29. 20 AMP REC | 30. 20 AMP SPARE |
| 31. 20 AMP SPARE | 32. HALLWAY & RM 10 LIGHTS |
| 33. 20 AMP REC | 34. RM 12 & 13 REC |
| 35. 20 AMP SPARE | 36. RM 10 & 11 REC |
| 37. 20 AMP REC | 38. RM 12 & 13 REC |
| 39. 20 AMP SPARE | 40. RM 10 & 11 REC |
| 41. 20 AMP REC | 42. RM 10 & 11 REC |

PANEL A IS ON GENERATOR POWER BACKUP



NOT TO SCALE

Proposed Electric & Data Plan

JASON W. KILTON
PLANS REVIEWED FOR COMPLIANCE
IN ACCORDANCE WITH THE BUILDING CODE
WITH ACCEPTATIONS NOTED

1493265 12-30-2024

IN WITNESS WHEREOF, THE SIGNER SHALL NOT BE
HELD TO PERMIT OR APPROVE THE VIOLATION
OF ANY CITY, COUNTY, OR STATE LAW,
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Exit Sign/Emergency Light Combo
9 total

2 X 4 LED Lights
2 Oc Sensor light switches
with bypass / office. (22 S1)

S3 switches @ both ends of 3
Hallways. (6 S3)

Painted Red lines
open Floor plan
with free
standing shelving.

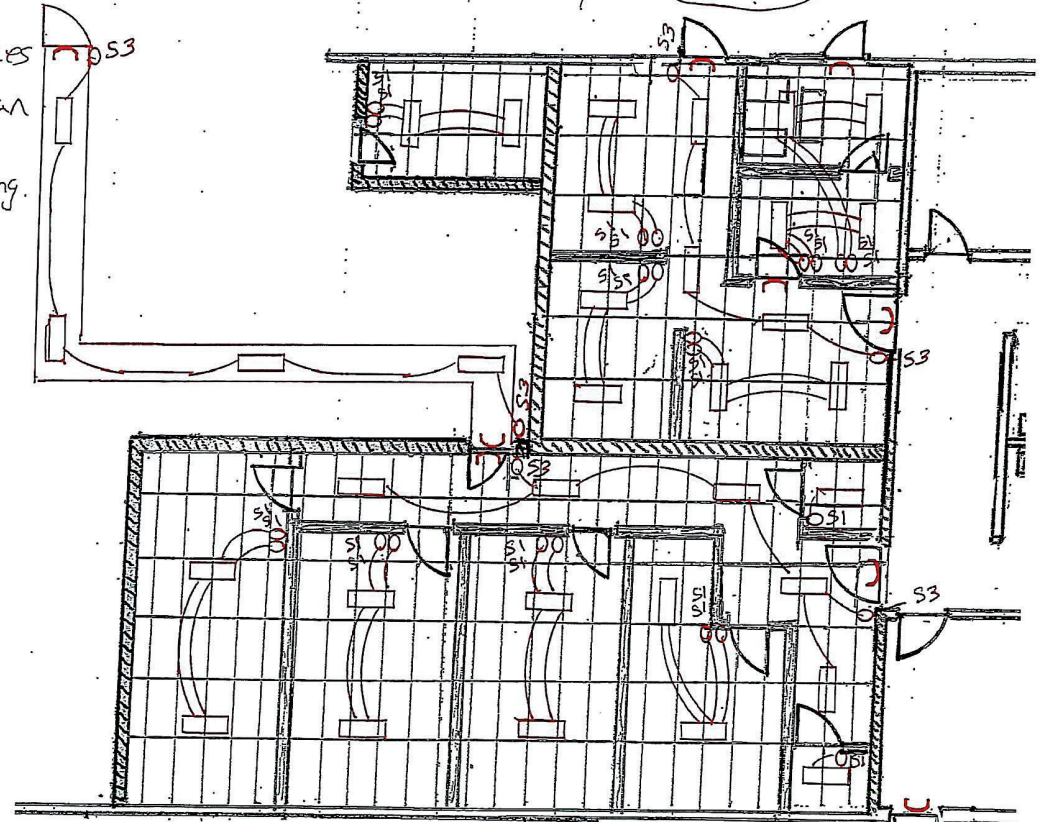
Empty

All New Electric to Panel A.

PANEL A SCHEDULE

- | | |
|----------------------------|----------------------------|
| 1. 100 AMP FEED TO PANEL 0 | 2. 20 AMP LIGHTS & REC |
| 3. 30 AMP WATER HEATER | 4. 20 AMP LIGHTS & REC |
| 5. 30 AMP CONDENSOR | 6. 20 AMP LIGHTS & REC |
| 7. 50 AMP HEAT | 8. 20 AMP LIGHTS & REC |
| 9. 20 AMP REC | 10. 20 AMP LIGHTS & REC |
| 11. 20 AMP LIGHT & REC | 12. 20 AMP LIGHTS & REC |
| 13. 20 AMP REC | 14. 20 AMP LIGHTS & REC |
| 15. 20 AMP REC | 16. 20 AMP LIGHTS & REC |
| 17. 20 AMP REC | 18. 20 AMP LIGHTS & REC |
| 19. 20 AMP REC | 20. 20 AMP LIGHTS & REC |
| 21. 20 AMP REC | 22. MTG RM & RM 12 LIGHTS |
| 23. 20 AMP REC | 24. 20 AMP SPARE |
| 25. 20 AMP REC | 26. 20 AMP SPARE |
| 27. 20 AMP REC | 28. 20 AMP SPARE |
| 29. 20 AMP REC | 30. 20 AMP SPARE |
| 31. 20 AMP REC | 32. 20 AMP SPARE |
| 33. 20 AMP REC | 34. HALLWAY & RM 10 LIGHTS |
| 35. 20 AMP REC | 36. 20 AMP SPARE |
| 37. 20 AMP REC | 38. RM 12 & 13 REC |
| 39. 20 AMP REC | 40. RM 10 & 11 REC |
| 41. 20 AMP REC | 42. 20 AMP SPARE |


PANEL A IS ON GENERATOR POWER BACKUP



NOT TO SCALE
Proposed Lighting & switches Plan 09

JASON W. KILTON
PLANS REVIEWED FOR COMPLIANCE
IN ACCORDANCE WITH THE BUILDING CODE
WITH ACCEPTIONS NOTED
1493265 12-30-2024
PERMIT NO. 1493265
IF THIS PERMIT IS NOT BE
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New Drop Ceiling  2' X 4' Tiles

8' Drop Ceiling

New Drop Ceiling
8'

New 8' Drop Ceiling

NOT TO SCALE

Proposed Drop Ceiling Plan

JASON W. KILTON
PLANS REVIEWED FOR COMPLIANCE
IN ACCORDANCE WITH THE BUILDING CODE
WITH ACCEPTIONS NOTED

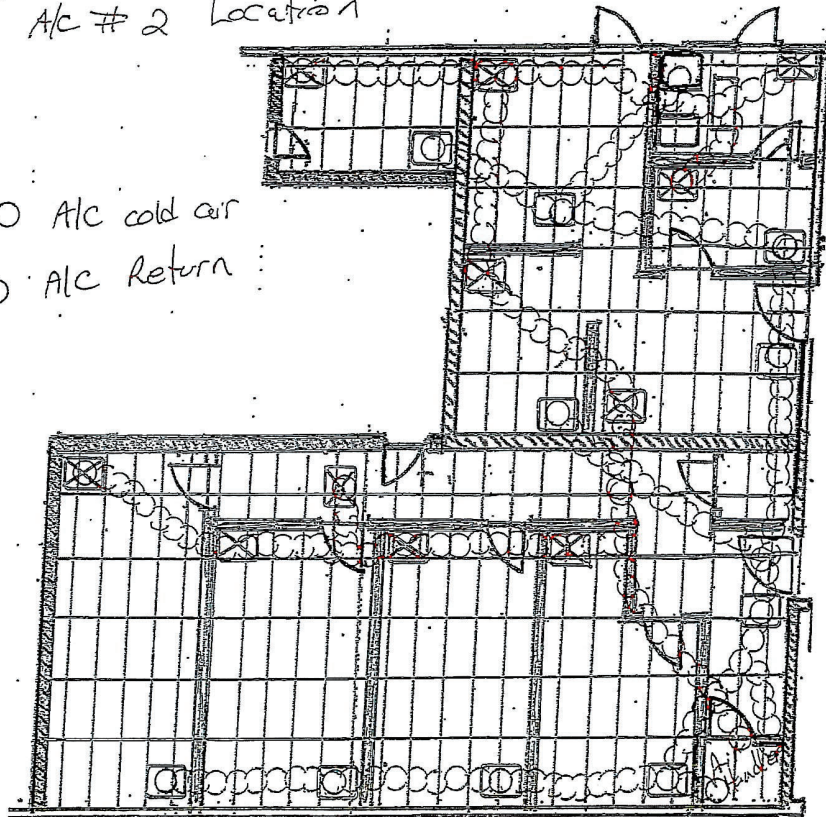
1493265-12-30-2024

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Remove A/C # 4. Leave pad, wiring, & ducts.
 Move A/C # 2 to #4 location and connect.
 Save duct work from A/C # 2. For Plenum
 Leave slab & power.
 Install new A/C with return in A/C # 2 location

☁ A/C cold air
 ☁ A/C Return

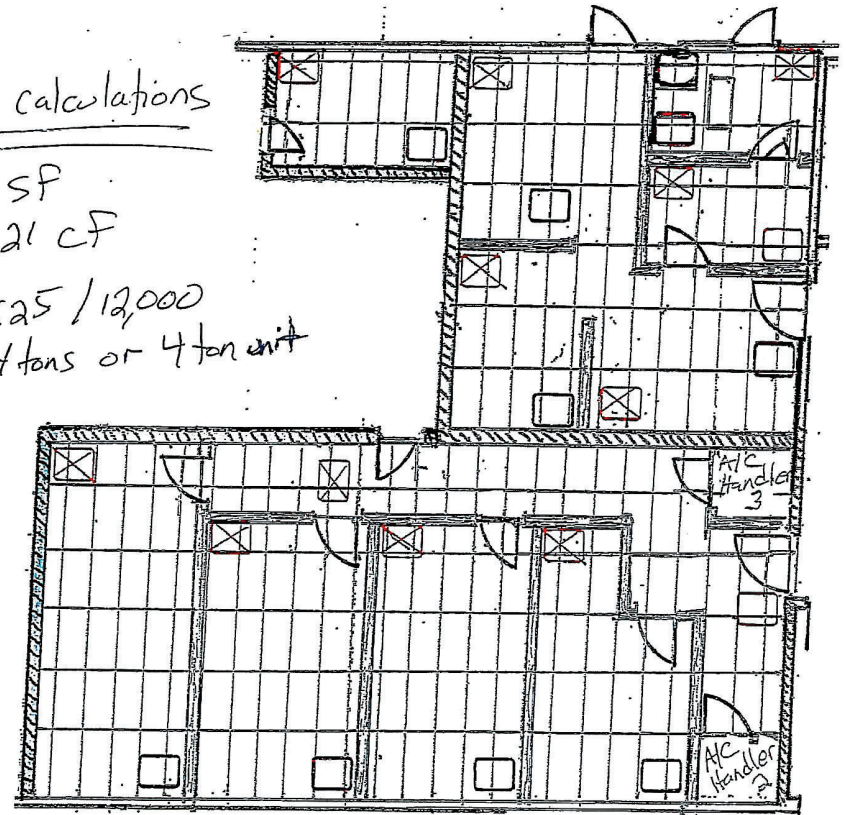


- ☐ A/C outlet w/ manual control
- ☒ A/C Return w/ Filter

A/C calculations

1641 SF
 13,121 CF

$1641 \times 25 / 12,000$
 = 3.4 tons or 4 ton unit



NOT TO Scale
 Proposed H.V.A.C. Plan

JASON JACKSON
 PLANS REVIEWED FOR COMPLIANCE
 IN ACCORDANCE WITH THE BUILDING CODE
 WITH ADDITIONS NOTED

1498255 12-30-2024

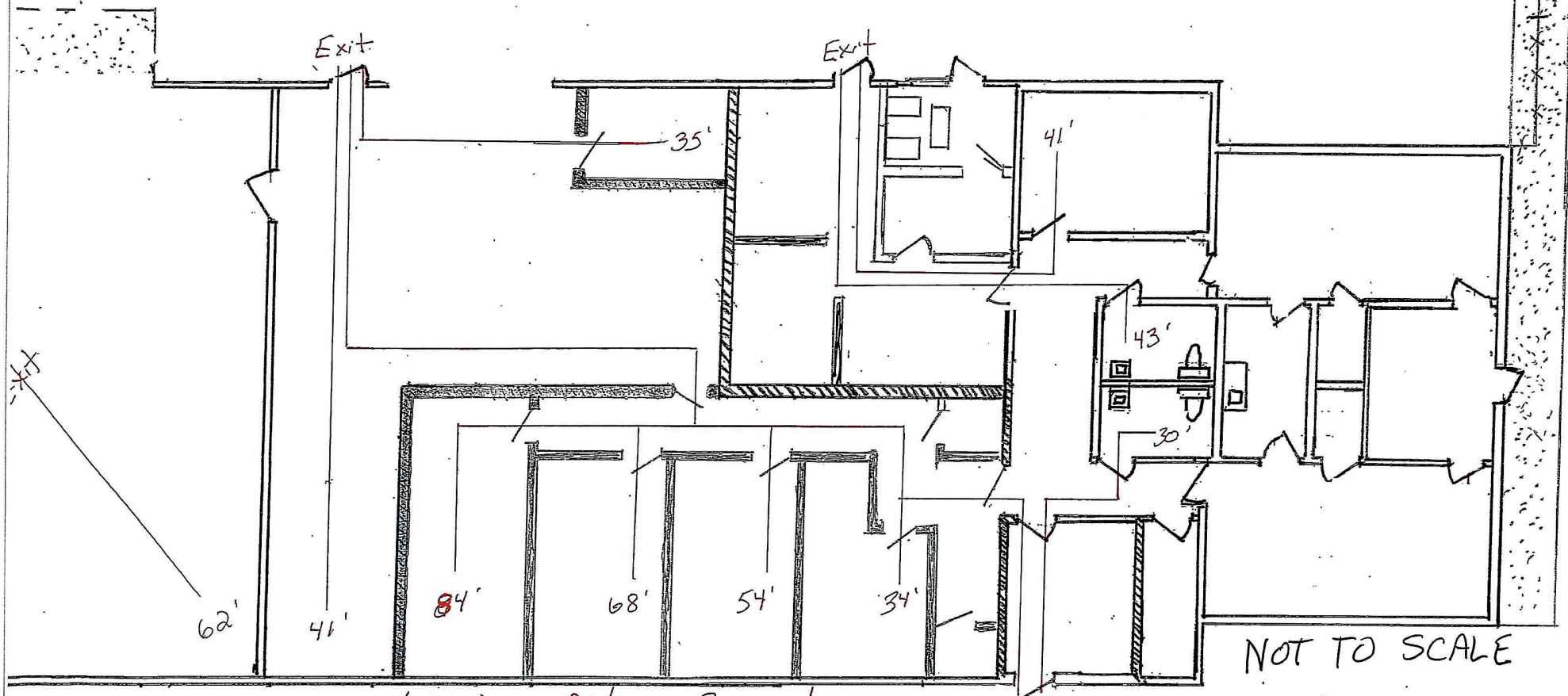
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Life Safety Plan

7,460 total Building SF.
2,264 Occupancy sq. ft.
Occupancy Load of 22 people

Means of egress 3 Exits points @ 36" wide = $\frac{180}{\text{people}}$
- per NFPA 101- SEC 7.3.3.1 2024

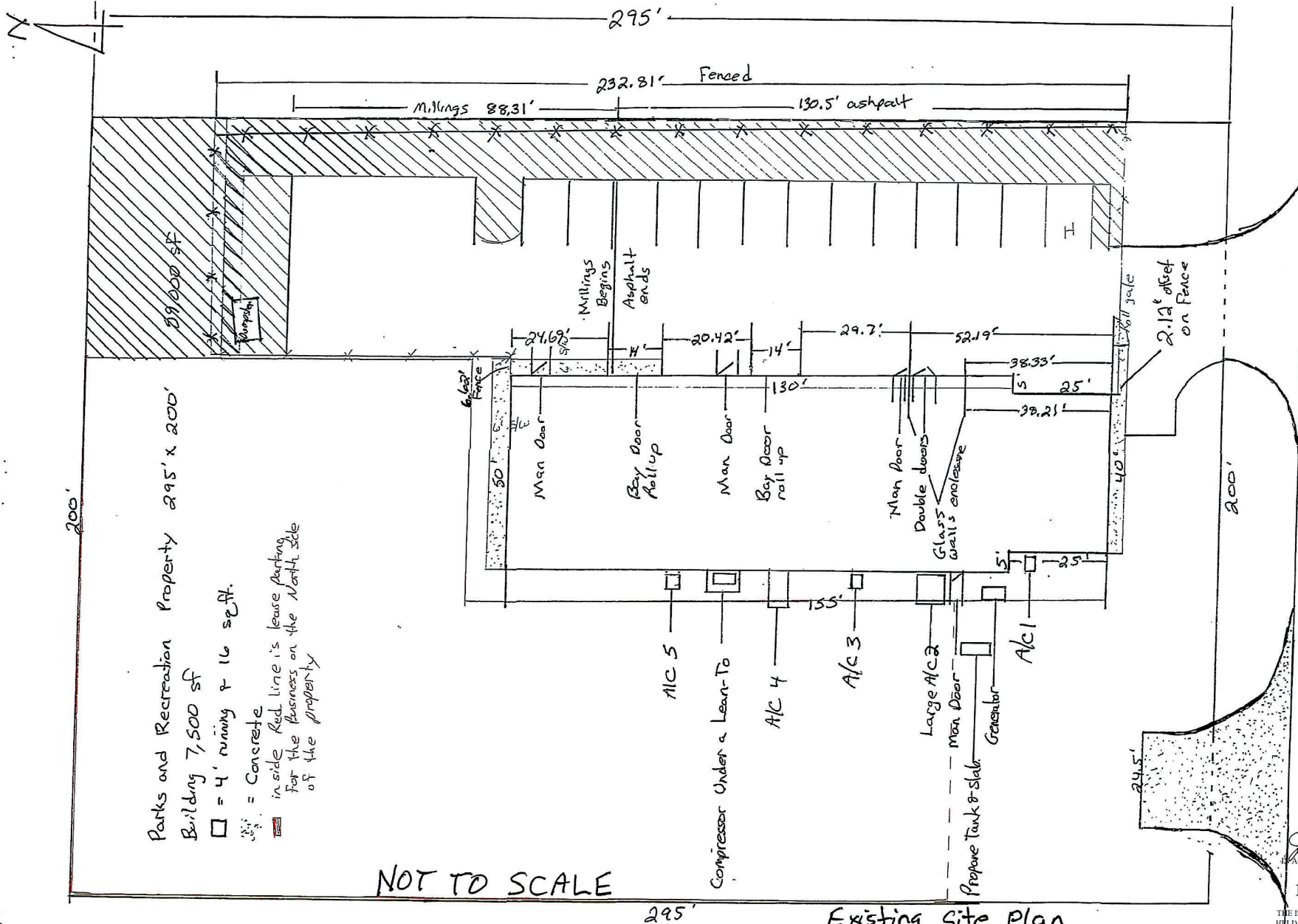


200' maximum Distance for exit.
Longest walk is 84'

Life Safety Plan

JASON W. KELTON
PLANS REVIEWED FOR COMPLIANCE
IN ACCORDANCE WITH THE BUILDING CODE
WITH ACCEPTIONS NOTED
1493765-30-2024

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