

CHINSEGUT DINING HALL ADA PARKING & RESTROOM
ADDITION

23-T00040/AP Q21

County of Hernando
15470 Flight Path Drive
Brooksville, FL 34604



County of Hernando
CHINSEGUT DINING HALL ADA PARKING & RESTROOM ADDITION

- I. Quote Instructions
- II. Scope of Work
- III. Pricing Proposal
- IV. Vendor Questionnaire

Attachments:

- A - Sample Work Authorization Agreement
- B - project management-1
- C - schedule requirements
- D - permit docs-plans and specs-chin-hill

1. Quote Instructions

A. TIME OF COMPLETION: - The Project Timeline will be discussed at the Pre-Construction Meeting.

- A. Vendor/Contractor agrees that the work will be substantially complete within days to substantial completion (##) calendar days after the commencement date indicated in the Notice to Proceed and ready for final payment within days to final completion (##) calendar days after the date indicated on the Notice to Proceed. Completion time includes material ordering lead times. Materials shall not be ordered by the Vendor/Contractor until the Notice to Proceed has been issued.

B. LIQUIDATED DAMAGES:

- A. Vendor/Contractor hereby agrees that time is of the essence and that a precise determination of actual damages which could be incurred by the County for delay in the completion of the work provided herein would be difficult to ascertain. Accordingly the parties agree that the liquidated damages for those items of damage not otherwise provided for by the Quote Documents, for each and every day that the time consumed in completing the work provided for herein exceeds the time allowed in achieving Substantial Completion and/or Final Completion therefore shall be in accordance with the N/A. The parties specifically agree that the liquidated damages provided herein do not constitute a penalty. The amount of liquidated damages occasioned by the Vendor/Contractor's delay will be deducted and retained out of the monies payable to the Vendor/Contractor. If not so deducted the Vendor/Contractor and sureties for the Vendor/Contractor shall be liable thereof.

D. PERFORMANCE AND PAYMENT BOND: - Not Required if Quote is under \$200,000

- A. A Performance and Payment Bond issued in a sum equal to one hundred (100%) percent of the total awarded Contract amount by a surety company considered satisfactory by the County and otherwise authorized to transact business in the State of Florida will be required from the successful Bidder for purposes of insuring the faithful performance of the obligations imposed by the resulting Contract and for purposes of protecting the County from lawsuits for non-payment of debts as might be incurred during the successful Bidder's performance under such Contract. When applicable, the performance and payment bond form will be included in the Contract Documents and said form must be properly executed by the surety company and successful Bidder within fifteen (15) calendar days after notification by the County of the County's intent to award the Contract.

- B. If, within fifteen (15) calendar days after notification by the County of the County's intent to award a Contract, the successful Bidder refuses or otherwise neglects to execute the required written Contract or fails to furnish the required Performance and Payment Bond, the amount of the Bidder's Bid security (check or Bid Bond) shall be forfeited and the same shall be retained by the County. No plea of mistake in the Bid or misunderstanding of the conditions of forfeiture shall be available to the Bidder for the recovery of his Bid security or as a defense to any action based upon the neglect or refusal to execute a written Contract.

- C. The surety company must provide an "Increase Rider" to the Performance and Payment Bond or execute the "Consent of Surety and Increase of Penalty" form provided by the County if the Contract is increased by change order.

E. SURVEY CONTROL:

- A. Vendor/Contractor will furnish all surveys and construction stakeouts unless otherwise specified. The Vendor/Contractor will provide horizontal control and bench marks or elevations for vertical control. The Vendor/Contractor shall furnish, free of charge, all stakes, all templates, and other materials necessary for marking and maintaining points and lines given. The Vendor/Contractor shall be held responsible for the preservation of all stakes and markers, and if the stakes or markers are destroyed or disturbed, the cost of replacing them shall be charged against, and shall be deducted from the payment for the work. The Vendor/Contractor shall be responsible for any mistakes that may be caused by their unnecessary loss or disturbance.

2. Scope of Work

2.1. General

The project consists of all permitting, site work, utility connections, new aluminum walkway cover and the installation of a pre-fabricated restroom facility at Chinsegut Hill Retreat per plans and specifications attached to this solicitation.

The pre-fabricated restroom facility has been purchased by the County and not part of this bid.

The Project Timeline will be discussed at the Pre-Construction Meeting.

2.2. Scope of Work

The Scope of Work is to include, but is not limited to, the following:

- A. GENERAL CONDITIONS
 - 1. Mobilization
 - 2. Construction Survey & Layout
 - 3. Construction Material Testing
 - 4. Silt Fence
 - 5. Permitting
 - a. Building
- B. CLEARING, GRUBBING AND EARTHWORK
 - 1. Rough Grade
 - 2. Finish Grade
 - 3. Sod and Restoration
- C. SIDEWALKS AND PARKING AREAS
 - 1. 5-Ft Sidewalk
 - 2. Striping and Signage
 - 3. Wheel Stops
 - 4. Concrete Parking Spaces
 - 5. Slab; bathroom entrance landing

D. UTILITIES

1. 1-Inch Sch.80 PVC Water Line
2. 4-Inch PVC SDR 26

E. OVERHEAD WALKWAY

1. Gabled Overhead Walkway

Refer to the Attachments section for more details.

3. Pricing Proposal

BID TAB

Line Item	Description	Quantity	Unit of Measure	Unit Cost	Total
1	General Conditons	1	LS		
2	Clearing, Grubbing, Eathwork	1	LS		
3	Sidewalks and Parking Area	1	LS		
4	Utilities	1	LS		
5	Overhead Walkway	1	LS		
TOTAL					

4. Vendor Questionnaire

4.1. Bid Confirmation*

The undersigned, hereinafter called “Bidder”, having visited the site of the proposed project and familiarized himself with the local conditions, nature and extent of the work, and having examined carefully the agreement form, General Conditions, Special Conditions, Supplementary Conditions for Federal/State Requirements, plans and specifications and other contract documents, with the bond requirements herein, proposed to furnish all labor, materials, equipment and other necessary items, facilities and services for the proper execution and completion of the subject project in full accordance with the drawings and specifications prepared in accordance with your Advertisement of Bids, instruction to bidders, agreement and all other documents related thereto on file in the office of the Hernando County Procurement Department and if awarded the Contract, to complete said work within the time limits specified for their bid price.

Please confirm

*Response required



**BOARD OF COUNTY COMMISSIONERS
HERNANDO COUNTY, FLORIDA
SAMPLE WORK AUTHORIZATION AGREEMENT**

This Contract, entered into this _____ day of _____, 20_____, by and between the Hernando County Board of County Commissioners, hereafter called the COUNTY, and _____ hereinafter called the VENDOR/CONTRACTOR. Owner and Vendor/Contractor, in consideration of the mutual covenants hereinafter set forth, agree as follow:

CONSTRUCTION SERVICES FOR PROJECTS UNDER \$500K - RFQ NO. 23-T00040/AP

PROJECT NAME AND QUOTE NUMBER

ARTICLE 1 – CONTRACT DOCUMENTS

1.01 The Vendor/Contractor shall furnish all labor, equipment and materials and perform the work per Construction Project in strict accordance with the General Conditions, Special Conditions, Supplementary Conditions, Exhibits, Plans, Specifications, and other Contract Documents, all of which are made a part hereof and designated as follows:

A. The Contract Documents for ITB 23-T00040/AP consist of the following:

Solicitation-Offer-Award

Advertisement of Request for Qualifications

Definitions

Solicitation Document

General Conditions for Quotes

Special Conditions for Quotes

Construction Conditions

Scope of Work

Technical Specifications

Required Forms

Request for Quote – PROJECT NAME AND NUMBER

Work Authorization and Required Documents After Award

Construction Agreement and Required Documents After Award

Request for Quote Exhibits

Exhibit A – General Requirements and Technical Specifications
Exhibit B – Plans/Drawings

All addenda issued by the County prior to the receipt of Quotes and all supplementary drawings issued after award of the Contract become part of the Contract Document.

Amending and Supplementing Contract Documents:

The Contract Documents may be amended to provide for additions, deletions, and revisions in the work or to modify the terms and conditions thereof by Change Order.

The requirements of the Contract Documents may be supplemented, and minor variations and deviations in the work may be authorized, by one or more of the following ways:

1. A Field Order;
2. Engineer's approval of a shop drawing or sample; or -
3. Engineer's written interpretation or clarification per the provisions described in the Contract Documents.

In resolving such conflicts, errors and discrepancies, the documents shall be given preference in the following order: Agreement, Specifications, Drawings, Solicitation Instructions. Within the specifications the order of preference shall

be as follows: Addenda, General Conditions, Technical Specifications. Figure dimensions on drawings shall govern over scale dimensions, and the detailed drawings shall govern over general drawings. Any work that may reasonably be inferred from the specifications or drawings as being required to produce the intended result shall be supplied whether or not it is specifically called for. Work materials or equipment described in words which so applied have a well-known technical or trade meaning shall be deemed to refer to such recognized standards. In case of conflict the more stringent requirements shall take precedence and govern.

The Vendor/Contractor shall take no advantage of any error or omission in the plans or of any discrepancy between the plans and specifications, and the Engineer shall make such interpretation as may be deemed necessary for the fulfillment of the intent of the plans and specifications as construed by him and his decision shall be final.

All provisions required by law to be inserted in this Contract, whether actually inserted or not.

Exhibits to this Agreement (as follows):

1. Vendor/Contractor's Quote
2. Documentation submitted by Vendor/Contractor after to Notice of Award:
 - a. Insurance Certificate
- B. The following which may be delivered or issued on or after the Effective Date of the Agreement and are not attached hereto:
 1. Notice to Proceed
 2. Change Order(s)
- C. The documents listed in this Article are attached to this Agreement (except as expressly noted otherwise).
- D. There are no Contract Documents other than those listed in this Article.
- E. The Contract Documents may only be amended, modified, or supplemented as stated in Paragraph 33.

ARTICLE 2 - THE ENGINEER

- 2.01** Engineer in the administration of this Contract and any references to the Engineer or the Professional shall be deemed to mean **INSERT ENGINEER OF RECORD NAME**, for the plans and specifications. **INSERT PROJECT MANAGER NAME OR PROJECT MANAGER'S SUPERVISOR NAME** will act as the Owner's representative, assume all duties and responsibilities, and have the rights and authority assigned to Engineer in the Contract Documents in connection with the completion of the work in accordance with their respective scope of work and the Contract Documents.

ARTICLE 3 - CONTRACT TIMES

3.01 Time of the Essence:

- A. All time limits for completion and readiness for final payment as stated in the Contract Documents are of the essence of the Contract.

3.02 Days to Achieve Substantial Completion and Final Payment:

- A. Vendor/Contractor agrees that the work will be substantially complete within **days to substantial completion (000)** calendar days after the commencement date indicated in the Notice to Proceed and ready for final payment within **days to final completion (000)** calendar days after the date indicated on the Notice to Proceed.

3.03 Liquidated Damages:

Vendor/Contractor and Owner agree for each consecutive calendar day that the work remains incomplete after the Contract date established for Substantial Completion and/or Final Completion, the County will retain from the compensation otherwise to be paid to the Vendor/Contractor the sum of **INSERT AMOUNT FOR LIQUIDATED DAMAGES (\$_____)**. This amount is the minimum measure of damages the County will sustain by failure of the Vendor/Contractor to complete all remedial work, correct deficient work, clean up the project and other miscellaneous tasks as required to complete all work specified.

ARTICLE 4 – CONTRACT PRICE

4.01 Owner shall pay Vendor/Contractor for completion of the work in accordance with the Quote an amount in current funds equal to the sum of the amounts determined pursuant to the Paragraphs below:

A. For all work other than Unit Price Work, a Lump Sum of:

_____ (\$ _____)
 (words) (figure)

All specific cash allowances are included in the above price and have been computed in accordance with Paragraph 34.2.2.

B. For all Unit Price Work, an amount equal to the sum of the established unit price for each separately identified item of Unit Price Work times the estimated quantity of that item as indicated in this Paragraph:

As provided in Paragraph 34.3, estimated quantities are not guaranteed, and determinations of actual quantities and classifications are to be made by Owner Designated Representative as provided in Paragraph 34.3. Unit prices have been computed as provided in Paragraph 34.3.

UNIT PRICE WORK

ITEM	QTY	DESCRIPTION	PART NO	UNIT PRICE	EXTENDED PRICE

_____ \$

ESTIMATED TOTAL OF ALL UNIT PRICE WORK \$ _____ \$(_____)
 (use words) (figure)

ARTICLE 5 – PAYMENT PROCEDURES

5.01 Submittal and Processing of Payments:

A. Vendor/Contractor shall submit Applications for Payment in accordance with Paragraph 37.2.1. Applications for Payment will be processed by Owner Designated Representative as provided in the Contract Documents.

5.02 Progress Payments; Retainage:

A. Owner shall make progress payments on account of the Contract Price on the basis of Vendor/Contractor's Applications for Payment not later than the time periods established by applicable provisions of the Florida Prompt Payment Act, Part VII, Ch. 218.735, F.S. (current version), during performance of the work as provided in Paragraphs below. All such payments will be measured by the Schedule of Values (and in the case of Unit Price Work based on the number of units completed) or, in the event there is no schedule of values, as provided in the General Requirements:

1. Progress payments will be made in an amount equal to the percentage indicated below but, in each case, less the aggregate of payments previously made and less such amounts as Owner Designated Representative may determine or Owner may withhold, including but not limited to liquidated damages, in accordance with the Contract Documents:

a. Ninety-five (95%) of work completed (with the balance being retainage); and

- b. Ninety-five (95%) of cost of materials and equipment not incorporated in the work (with the balance being retainage).

5.03 Final Payment:

- A. Upon receipt of the final Application for Payment accompanied by Owner Designated Representative's recommendation of payment in accordance with Paragraph 37.7.1, Owner shall pay Vendor/Contractor the remainder of the Contract Price as recommended by Owner Designated Representative, less any sum Owner is entitled to set off against Owner Designated Representative's recommendation, including but not limited to liquidated damages.
- B. Final Payment, constituting the entire unpaid balance of the Contract Sum, shall be paid by the Owner to the Vendor/Contractor when the work has been completed, the Contract fully performed, and a final Certificate for Payment has been issued by the Owner Designated Representative.

ARTICLE 6 – INTEREST

- 6.01** All monies not paid when due shall bear interest at the maximum legal rate.

ARTICLE 7 – VENDOR/CONTRACTOR'S REPRESENTATIONS

- 7.01** In order to induce Owner to enter into this Agreement Vendor/Contractor makes the following representations:
- A. Vendor/Contractor has examined and carefully studied the Contract Documents and the other related data identified in the Bid Documents.
 - B. Vendor/Contractor has visited the site and become familiar with and is satisfied as to the general, local, and site conditions that may affect cost, progress, and performance of the work.
 - C. Vendor/Contractor is familiar with and is satisfied as to all federal, state, and local laws and regulations that may affect cost, progress, and performance of the work.
 - D. Vendor/Contractor does not consider that any further examinations, investigations, explorations, tests, studies, or data are necessary for the performance of the work at the Contract Price, within the Contract Times, and in accordance with the other terms and conditions of the Contract Documents.
 - E. Vendor/Contractor is aware of the general nature of work to be performed by Owner and others at the site that relates to the work as indicated in the Contract Documents.
 - F. Vendor/Contractor has correlated the information known to Vendor/Contractor, information and observations obtained from visits to the site, reports and drawings identified in the Contract Documents, and all additional examinations, investigations, explorations, tests, studies, and data with the Contract Documents.
 - G. Vendor/Contractor has given Engineer written notice of all conflicts, errors, ambiguities, or discrepancies that Vendor/Contractor has discovered in the Contract Documents, and the written resolution thereof by Engineer is acceptable to Vendor/Contractor.
 - H. The Contract Documents are generally sufficient to indicate and convey understanding of all terms and conditions for performance and furnishing of the work.

ARTICLE 8 – MISCELLANEOUS

8.01 Terms:

- A. Terms used in this Agreement will have the meanings stated in the Contract Documents.

8.02 Assignment of Contract:

- A. No assignment by a party hereto of any rights under or interests in the Contract will be binding on another party hereto without the written consent of the party sought to be bound; and, specifically but without limitation,

monies that may become due and moneys that are due may not be assigned without such consent (except to the extent that the effect of this restriction may be limited by law), and unless specifically stated to the contrary in any written consent to an assignment, no assignment will release or discharge the assignor from any duty or responsibility under the Contract Documents.

8.03 Successors and Assigns:

- A. Owner and Vendor/Contractor each binds itself, its partners, successors, assigns, and legal representatives to the other party hereto, its partners, successors, assigns, and legal representatives in respect to all covenants, Agreements, and obligations contained in the Contract Documents.

8.04 Severability:

- A. Any provision or part of the Contract Documents held to be void or unenforceable under any Law or Regulation shall be deemed stricken, and all remaining provisions shall continue to be valid and binding upon Owner and Vendor/Contractor, who agree that the Contract Documents shall be reformed to replace such stricken provision or part thereof with a valid and enforceable provision that comes as close as possible to expressing the intention of the stricken provision.

- 8.05** This Agreement may be executed in several counterparts, each of which shall be an original and all of which shall constitute but one and the same instrument.

ARTICLE 9 – CONTRACT PAYMENT

- 9.01** The County agrees to pay the Vendor/Contractor for the faithful performance under this Contract for the agreed amount of _____ Dollars (\$_____) and is based on the lump sum prices contained herein and subject to additions or deductions as modified.

IN WITNESS WHEREOF, Owner and Vendor/Contractor have signed this Agreement in two (2) copies. All portions of the Contract Documents have been signed, initialed, or identified by Owner and Vendor/Contractor.

OWNER:
HERNANDO COUNTY BOARD OF COUNTY
COMMISSIONERS

VENDOR/CONTRACTOR

By: _____

By: _____

Name: ELIZABETH NARVERUD

Name: _____

Title: CHAIR

Title: _____

[CORPORATE SEAL]

[CORPORATE SEAL]

Attest: Douglas A. Chorvat, Jr.

Attest: _____

Title: Clerk of Circuit Court & Comptroller

Title: _____

Address for giving notices:

Address for giving notices:

15470 Flight Path Dr.

Brooksville, FL 34604

Agent for service of process:

(If Vendor/Contractor is a corporation or a partnership,
attach evidence of authority to sign.)

CHINSEGUT DINING HALL ADA PARKING & RESTROOM ADDITION

SECTION 013100 - PROJECT MANAGEMENT AND COORDINATION

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative provisions for coordinating construction operations on Project including, but not limited to, the following:
 - 1. General coordination procedures.
 - 2. Coordination drawings.
 - 3. Requests for Information (RFIs).
 - 4. Project meetings.
- B. Each contractor shall participate in coordination requirements. Certain areas of responsibility are assigned to a specific contractor.
- C. Related Requirements:
 - 1. Section 013200 "Construction Progress Documentation" for preparing and submitting Contractor's construction schedule.
 - 2. Section 017300 "Execution" for procedures for coordinating general installation and field-engineering services, including establishment of benchmarks and control points.
 - 3. Section 017700 "Closeout Procedures" for coordinating closeout of the Contract.

1.3 DEFINITIONS

- A. RFI: Request from Owner, Construction Manager, Architect, or Contractor seeking information required by or clarifications of the Contract Documents.

1.4 INFORMATIONAL SUBMITTALS

- A. Subcontract List: Prepare a written summary identifying individuals or firms proposed for each portion of the Work, including those who are to furnish products or equipment fabricated to a special design. Use CSI Form 1.5A. Include the following information in tabular form:
 - 1. Name, address, and telephone number of entity performing subcontract or supplying products.
 - 2. Number and title of related Specification Section(s) covered by subcontract.
 - 3. Drawing number and detail references, as appropriate, covered by subcontract.
- B. Key Personnel Names: Within 15 days of starting construction operations, submit a list of key personnel assignments, including superintendent and other personnel in attendance at Project site. Identify individuals and their duties and responsibilities; list addresses and telephone numbers, including home, office, and cellular telephone numbers and e-mail addresses. Provide names, addresses, and telephone numbers of individuals assigned as alternates in the absence of individuals assigned to Project.
 - 1. Post copies of list in project meeting room, in temporary field office and by each temporary telephone. Keep list current at all times.

CHINSEGUT DINING HALL ADA PARKING & RESTROOM ADDITION

1.5 GENERAL COORDINATION PROCEDURES

- A. Coordination: Coordinate construction operations included in different Sections of the Specifications to ensure efficient and orderly installation of each part of the Work. Coordinate construction operations, included in different Sections, that depend on each other for proper installation, connection, and operation.
 - 1. Schedule construction operations in sequence required to obtain the best results where installation of one part of the Work depends on installation of other components, before or after its own installation.
 - 2. Coordinate installation of different components to ensure maximum performance and accessibility for required maintenance, service, and repair.
 - 3. Make adequate provisions to accommodate items scheduled for later installation.
- B. Prepare memoranda for distribution to each party involved, outlining special procedures required for coordination. Include such items as required notices, reports, and list of attendees at meetings.
 - 1. Prepare similar memoranda for Owner and separate contractors if coordination of their Work is required.
- C. Administrative Procedures: Coordinate scheduling and timing of required administrative procedures with other construction activities to avoid conflicts and to ensure orderly progress of the Work. Such administrative activities include, but are not limited to, the following:
 - 1. Preparation of Contractor's construction schedule.
 - 2. Preparation of the schedule of values.
 - 3. Installation and removal of temporary facilities and controls.
 - 4. Delivery and processing of submittals.
 - 5. Progress meetings.
 - 6. Preinstallation conferences.
 - 7. Project closeout activities.
 - 8. Startup and adjustment of systems.
- D. Conservation: Coordinate construction activities to ensure that operations are carried out with consideration given to conservation of energy, water, and materials. Coordinate use of temporary utilities to minimize waste.
 - 1. Salvage materials and equipment involved in performance of, but not actually incorporated into, the Work. See other Sections for disposition of salvaged materials that are designated as Owner's property.

1.6 COORDINATION DRAWINGS

- A. Coordination Drawings, General: Prepare coordination drawings according to requirements in individual Sections, and additionally where installation is not completely shown on Shop Drawings, where limited space availability necessitates coordination, or if coordination is required to facilitate integration of products and materials fabricated or installed by more than one entity.
 - 1. Content: Project-specific information, drawn accurately to a scale large enough to indicate and resolve conflicts. Do not base coordination drawings on standard printed data. Include the following information, as applicable:
 - a. Use applicable Drawings as a basis for preparation of coordination drawings. Prepare sections, elevations, and details as needed to describe relationship of various systems and components.
 - b. Coordinate the addition of trade-specific information to the coordination drawings by multiple contractors in a sequence that best provides for coordination of the information and resolution of conflicts between installed components before submitting for review.
 - c. Indicate functional and spatial relationships of components of architectural, structural, civil, mechanical, and electrical systems.

CHINSEGUT DINING HALL ADA PARKING & RESTROOM ADDITION

- d. Indicate space requirements for routine maintenance and for anticipated replacement of components during the life of the installation.
 - e. Show location and size of access doors required for access to concealed dampers, valves, and other controls.
 - f. Indicate required installation sequences.
 - g. Indicate dimensions shown on the Drawings. Specifically note dimensions that appear to be in conflict with submitted equipment and minimum clearance requirements. Provide alternate sketches to Architect indicating proposed resolution of such conflicts. Minor dimension changes and difficult installations will not be considered changes to the Contract.
- B. Coordination Drawing Organization: Organize coordination drawings as follows:
1. Floor Plans and Reflected Ceiling Plans: Show architectural and structural elements, and mechanical, plumbing, fire-protection, fire-alarm, and electrical Work. Show locations of visible ceiling-mounted devices relative to acoustical ceiling grid. Supplement plan drawings with section drawings where required to adequately represent the Work.
 2. Plenum Space: Indicate subframing for support of ceiling and wall systems, mechanical and electrical equipment, and related Work. Locate components within ceiling plenum to accommodate layout of light fixtures indicated on Drawings. Indicate areas of conflict between light fixtures and other components.
 3. Mechanical Rooms: Provide coordination drawings for mechanical rooms showing plans and elevations of mechanical, plumbing, fire-protection, fire-alarm, and electrical equipment.
 4. Structural Penetrations: Indicate penetrations and openings required for all disciplines.
 5. Slab Edge and Embedded Items: Indicate slab edge locations and sizes and locations of embedded items for metal fabrications, sleeves, anchor bolts, bearing plates, angles, door floor closers, slab depressions for floor finishes, curbs and housekeeping pads, and similar items.
 6. Mechanical and Plumbing Work: Show the following:
 - a. Insulation, bracing, flanges, and support systems.
 - b. Dimensions of major components, such as dampers, valves, diffusers, access doors, cleanouts and electrical distribution equipment.
 - c. Fire-rated enclosures around ductwork.
 - d. Runs of vertical and horizontal conduit 1-1/4 inches in diameter and larger.
 - e. Light fixture, exit light, emergency battery pack, smoke detector, and other fire-alarm locations.
 - f. Panel board, switch board, switchgear, transformer, busway, generator, and motor control center locations.
 - g. Location of pull boxes and junction boxes, dimensioned from column center lines.
 7. Fire-Protection System: Show the following:
 - a. Locations of standpipes, mains piping, branch lines, pipe drops, and sprinkler heads.
 8. Review: Architect will review coordination drawings to confirm that the Work is being coordinated, but not for the details of the coordination, which are Contractor's responsibility. If Architect determines that coordination drawings are not being prepared in sufficient scope or detail, or are otherwise deficient, Architect will so inform Contractor, who shall make changes as directed and resubmit.
 9. Coordination Drawing Prints: Prepare coordination drawing prints according to requirements in Section 013300 "Submittal Procedures."
- C. Coordination Digital Data Files: Prepare coordination digital data files according to the following requirements:
1. File Preparation Format: Same digital data software program, version, and operating system as original Drawings.

CHINSEGUT DINING HALL ADA PARKING & RESTROOM ADDITION

2. File Submittal Format: Submit or post coordination drawing files using Portable Data File (PDF) format.
3. Architect will furnish Contractor one set of digital data files of Drawings for use in preparing coordination digital data files.
 - a. Architect makes no representations as to the accuracy or completeness of digital data files as they relate to Drawings.
 - b. Digital Data Software Program: Drawings are available in AutoCAD Format.
 - c. Contractor shall execute a data licensing agreement in the form of AIA Document C106.

1.7 REQUESTS FOR INFORMATION (RFIs)

- A. General: Immediately on discovery of the need for additional information or interpretation of the Contract Documents, Contractor shall prepare and submit an RFI in the form specified.
 1. Architect will return RFIs submitted to Architect by other entities controlled by Contractor with no response.
 2. Coordinate and submit RFIs in a prompt manner so as to avoid delays in Contractor's work or work of subcontractors.
- B. Content of the RFI: Include a detailed, legible description of item needing information or interpretation and the following:
 1. Project name.
 2. Project number.
 3. Date.
 4. Name of Contractor.
 5. Name of Architect.
 6. RFI number, numbered sequentially.
 7. RFI subject.
 8. Specification Section number and title and related paragraphs, as appropriate.
 9. Drawing number and detail references, as appropriate.
 10. Field dimensions and conditions, as appropriate.
 11. Contractor's suggested resolution. If Contractor's suggested resolution impacts the Contract Time or the Contract Sum, Contractor shall state impact in the RFI.
 12. Contractor's signature.
 13. Attachments: Include sketches, descriptions, measurements, photos, Product Data, Shop Drawings, coordination drawings, and other information necessary to fully describe items needing interpretation.
 - a. Include dimensions, thicknesses, structural grid references, and details of affected materials, assemblies, and attachments on attached sketches.
- C. RFI Forms: AIA Document G716.
 1. Attachments shall be electronic files in Adobe Acrobat PDF format.
- D. Architect's Action: Architect will review each RFI, determine action required, and respond. Allow seven working days for Architect's response for each RFI. RFIs received by Architect after 1:00 p.m. will be considered as received the following working day.
 1. The following Contractor-generated RFIs will be returned without action:
 - a. Requests for approval of submittals.
 - b. Requests for approval of substitutions.
 - c. Requests for approval of Contractor's means and methods.
 - d. Requests for coordination information already indicated in the Contract Documents.
 - e. Requests for adjustments in the Contract Time or the Contract Sum.
 - f. Requests for interpretation of Architect's actions on submittals.

CHINSEGUT DINING HALL ADA PARKING & RESTROOM ADDITION

- e. Lines of communications.
 - f. Procedures for processing field decisions and Change Orders.
 - g. Procedures for RFIs.
 - h. Procedures for testing and inspecting.
 - i. Procedures for processing Applications for Payment.
 - j. Distribution of the Contract Documents.
 - k. Submittal procedures.
 - l. Preparation of record documents.
 - m. Use of the premises.
 - n. Work restrictions.
 - o. Working hours.
 - p. Owner's occupancy requirements.
 - q. Responsibility for temporary facilities and controls.
 - r. Procedures for moisture and mold control.
 - s. Procedures for disruptions and shutdowns.
 - t. Construction waste management and recycling.
 - u. Parking availability.
 - v. Office, work, and storage areas.
 - w. Equipment deliveries and priorities.
 - x. First aid.
 - y. Security.
 - z. Progress cleaning.
4. Minutes: Entity responsible for conducting meeting will record and distribute meeting minutes.
- C. Preinstallation Conferences: Conduct a preinstallation conference at Project site before each construction activity that requires coordination with other construction.
- 1. Attendees: Installer and representatives of manufacturers and fabricators involved in or affected by the installation and its coordination or integration with other materials and installations that have preceded or will follow, shall attend the meeting. Advise Architect of scheduled meeting dates.
 - 2. Agenda: Review progress of other construction activities and preparations for the particular activity under consideration, including requirements for the following:
 - a. Contract Documents.
 - b. Options.
 - c. Related RFIs.
 - d. Related Change Orders.
 - e. Purchases.
 - f. Deliveries.
 - g. Submittals.
 - h. Review of mockups.
 - i. Possible conflicts.
 - j. Compatibility requirements.
 - k. Time schedules.
 - l. Weather limitations.
 - m. Manufacturer's written instructions.
 - n. Warranty requirements.
 - o. Compatibility of materials.
 - p. Acceptability of substrates.
 - q. Temporary facilities and controls.
 - r. Space and access limitations.
 - s. Regulations of authorities having jurisdiction.
 - t. Testing and inspecting requirements.
 - u. Installation procedures.
 - v. Coordination with other work.
 - w. Required performance results.

CHINSEGUT DINING HALL ADA PARKING & RESTROOM ADDITION

- x. Protection of adjacent work.
 - y. Protection of construction and personnel.
 - 3. Record significant conference discussions, agreements, and disagreements, including required corrective measures and actions.
 - 4. Reporting: Distribute minutes of the meeting to each party present and to other parties requiring information.
 - 5. Do not proceed with installation if the conference cannot be successfully concluded. Initiate whatever actions are necessary to resolve impediments to performance of the Work and reconvene the conference at earliest feasible date.
- D. Project Closeout Conference: Schedule and conduct a project closeout conference, at a time convenient to Owner and Architect, but no later than 90 days prior to the scheduled date of Substantial Completion.
- 1. Conduct the conference to review requirements and responsibilities related to Project closeout.
 - 2. Attendees: Authorized representatives of Owner, Architect, and their consultants; Contractor and its superintendent; major subcontractors; suppliers; and other concerned parties shall attend the meeting. Participants at the meeting shall be familiar with Project and authorized to conclude matters relating to the Work.
 - 3. Agenda: Discuss items of significance that could affect or delay Project closeout, including the following:
 - a. Preparation of record documents.
 - b. Procedures required prior to inspection for Substantial Completion and for final inspection for acceptance.
 - c. Submittal of written warranties.
 - d. Requirements for preparing operations and maintenance data.
 - e. Requirements for delivery of material samples, attic stock, and spare parts.
 - f. Requirements for demonstration and training.
 - g. Preparation of Contractor's punch list.
 - h. Procedures for processing Applications for Payment at Substantial Completion and for final payment.
 - i. Submittal procedures.
 - j. Coordination of separate contracts.
 - k. Owner's partial occupancy requirements.
 - l. Installation of Owner's furniture, fixtures, and equipment.
 - m. Responsibility for removing temporary facilities and controls.
 - 4. Minutes: Entity conducting meeting will record and distribute meeting minutes.
- E. Progress Meetings: Conduct progress meetings at regular intervals.
- 1. Coordinate dates of meetings with preparation of payment requests.
 - 2. Attendees: In addition to representatives of Owner and Architect, each contractor, subcontractor, supplier, and other entity concerned with current progress or involved in planning, coordination, or performance of future activities shall be represented at these meetings. All participants at the meeting shall be familiar with Project and authorized to conclude matters relating to the Work.
 - 3. Agenda: Review and correct or approve minutes of previous progress meeting. Review other items of significance that could affect progress. Include topics for discussion as appropriate to status of Project.
 - a. Contractor's Construction Schedule: Review progress since the last meeting. Determine whether each activity is on time, ahead of schedule, or behind schedule, in relation to Contractor's construction schedule. Determine how construction behind schedule will be expedited; secure commitments from parties involved to do so. Discuss whether schedule revisions are required to ensure that current and subsequent activities will be completed within the Contract Time.

CHINSEGUT DINING HALL ADA PARKING & RESTROOM ADDITION

- 1) Review schedule for next period.
- b. Review present and future needs of each entity present, including the following:
 - 1) Interface requirements.
 - 2) Sequence of operations.
 - 3) Status of submittals.
 - 4) Deliveries.
 - 5) Off-site fabrication.
 - 6) Access.
 - 7) Site utilization.
 - 8) Temporary facilities and controls.
 - 9) Progress cleaning.
 - 10) Quality and work standards.
 - 11) Status of correction of deficient items.
 - 12) Field observations.
 - 13) Status of RFIs.
 - 14) Status of proposal requests.
 - 15) Pending changes.
 - 16) Status of Change Orders.
 - 17) Pending claims and disputes.
 - 18) Documentation of information for payment requests.
4. Minutes: Entity responsible for conducting the meeting will record and distribute the meeting minutes to each party present and to parties requiring information.
 - a. Schedule Updating: Revise Contractor's construction schedule after each progress meeting where revisions to the schedule have been made or recognized. Issue revised schedule concurrently with the report of each meeting.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION (Not Used)

END OF SECTION 013100

SUPPLEMENTAL CONDITIONS OF THE WORK AUTHORIZATION

CONSTRUCTION SCHEDULE

PART 1 - GENERAL

1.01. REQUIREMENTS INCLUDED

- A. Promptly after award of the Contract, prepare and submit to the design professional and/or Owners Representative an estimated Construction Progress Schedule for the work, with subschedules of related activities which are essential to its progress.
- B. Submit revised Progress Schedules as conditions dictate and as specified below.

1.02. FORM OF SCHEDULES

- A. Prepare Schedules in the form of a horizontal bar chart.
 - 1. Provide separate horizontal bar for each trade or operation.
 - 2. Horizontal Time Scale: Identify the first work day of each week.
 - 3. Scale and Spacing: To allow space for notations and future revisions.
 - 4. Format: No larger than 30" x 42" native size.
- B. Prepare Network Analysis System, if desired, at Contractor's option.
- C. Format of Listings: The chronological order of the start of each item of work.
- D. Identification of Listings: By major Specification Section numbers.

1.03. CONTENT OF SCHEDULES

- A. Construction Progress Schedule:
 - 1. Show the complete sequence of demolition and construction by activity.
 - 2. Show the dates for the beginning and completion of each major element of demolition or construction.
 - 3. Show projected percentage of completion for each item as of the first day of each month.
- B. Submittals Schedule for Shop Drawings, Product Data and Samples.
Show:
 - 1. The dates for Contractor's submittals.
 - 2. The dates submittals will be required for Owner-furnished products.

3. The dates approved submittals will be required from the Architect.
- C. Product Delivery Schedule. Show the delivery dates for:
1. Products furnished by the Owner

1.04. PROGRESS REVISIONS

- A. Indicate progress of each activity to date of submission.
- B. Show changes occurring since previous submission of Schedule:
 1. Major changes in scope.
 2. Activities modified since previous submission.
 3. Revised projections of progress and completion.
 4. Other identifiable changes.
- C. Provide a narrative report as needed to define:
 1. Problem areas, anticipated delays, and the impact on the Schedule.
 2. Corrective action recommended, and its effect.
 3. The effect of changes on Schedules of other prime Contractors.
- D. Recovery Schedule: When periodic update indicates the Work is 14 or more calendar days behind the current approved schedule, submit a separate recovery schedule indicating means by which Contractor intends to regain compliance with the schedule. Indicate changes to working hours, working days, crew sizes, and equipment required to achieve compliance, and date by which recovery will be accomplished.

1.05. SUBMISSIONS

- A. Submit initial Schedules within fifteen (15) calendar days after award of Contract.
 1. Owners Representative and Architect will review Schedules and return review copy within ten (10) calendar days after receipt.
 2. If required, resubmit within seven (7) calendar days after return of review copy.
- B. Submit revised Progress Schedules with each Application for Payment.
- C. Submit the number of opaque reproductions which the Contractor requires, plus an electronic version which will be retained by the Owners Representative and Architect.

1.06. DISTRIBUTION

- A. Distribute copies of the reviewed Schedules to:
 1. Jobsite file.
 2. Subcontractors.
 3. Owners Representative.

4. Other concerned parties.
- B. Instruct recipients to report promptly to the Contractor, in writing, any problems anticipated by the projections shown in the Schedules.

END OF SECTION



966 Candlelight Boulevard • Brooksville • Florida 34601
 (352) 796-9423 • Fax: (352) 799-8359
 e-mail: permits@Coastal-Engineering.com
 Website: www.Coastal-Engineering.com

Transmittal Letter

To: Becky Crosby, Lead Permit Coordinator – **SUBMITTED VIA HC BUILDING PORTAL**
 Hernando County Building Division
 789 Providence Blvd.
 Brooksville, FL 34601

From: Concetta Cook, Permit Coordinator

Date: September 30, 2024

Re: Chinsegut Dining Hall – **Commercial Building**

We are sending you the attached:

Copies	Description
1	Application
1	Justification Letter
1	Construction Plans
1	Structural Plans
1	Design Survey
1	Pre-Fab Bathroom Drawings
1	Product Approval
1	SWFWMD Exemption Letter

THESE ARE BEING TRANSMITTED AS CHECKED BELOW:

- | | | |
|--|---|--|
| <input type="checkbox"/> For approval | <input type="checkbox"/> No exception taken | <input type="checkbox"/> Rejected, see Remarks |
| <input checked="" type="checkbox"/> For your use | <input type="checkbox"/> Make corrections noted | <input checked="" type="checkbox"/> For review |
| <input type="checkbox"/> As requested | <input type="checkbox"/> Amend & resubmit | <input type="checkbox"/> For signature(s) |

**HERNANDO COUNTY COMMERCIAL BUILDING
PERMIT APPLICATION**

00336032

Application Number

Key Number

Project name: Chinsegut Dining Hall
Building Sq. Footage 2,200 Site Acreage 114.60 Project Development Acreage 0.5
Address of Job Site 22495 Chinsegut Hill Rd, Brooksville, FL 34601, Hernando County
Legal Description: Lot: Block: Subdivision: 0
Previous Use: (84) Colleges
Direction to Job site: <small>FL-50 E/Cortez Blvd to FL-50A E/W Jefferson ST. in S. Brooksville. Follow S Broad St. to Snow Memorial Highway. Continue on Snow Memorial Hwy to 22495 Chinsegut Hill Road. Destination will be on the left.</small>

Describe Work To Be Done: Construction of a new 270sf bathroom building and apron, 175sf of new concrete walk and 445sf of new handicapped parking.

MUST HAVE THIS INFORMATION – Valuation of work to be done: \$ \$266,923.25

Property Owner: Hernando County BOCC
Address: 15470 Flight Path Dr City: Brooksville State: FL Zip: 34604
Interest in Property Fee Simple
Name of Fee Simple Title holder: (if other than Owner:)
Address: City: State: Zip:

Architect: RLG Engineering, LLC Phone: ()
Address: 14960 Orange River Road City: Fort Myers State: FL Zip: 33905
Email: Fax: ()
Building Engineer: TBD Phone: ()
Address: City: State: Zip:
Email: Fax: ()
Site Civil Engineer: Coastal Engineering Associates, Inc. #59405 Phone: (352) 796-9423
Address 966 Candlelight Blvd. City: Brooksville State: FL Zip: 34601
Email: permits@Coastal-Engineering.com

Public Contact Person – Responsible for Coordination of Project

Address: 15470 Flight Path Dr City: Brooksville State: FL Zip: 34604

Email: EVANDEBOOGAURD@CO.HERNANDO.FL.US

Phone: (352) 754-4096 Fax: ()

License number – State Certification Number or Hernando County Number only

Building Contractor: TBD License Number: _____

Phone: () _____ Fax: () _____

Email _____

Electrical Contractor: TBD License Number: _____

Phone: () _____ Fax: () _____

Email: _____

Plumbing Contractor: TBD License Number: _____

Phone: _____ Fax: () _____

Email: _____

Mechanical Contractor: TBD License Number: _____

Phone: _____ Fax: () _____

Email: _____

Roofing Contractor: TBD License Number: _____

Phone: _____ Fax: () _____

Email: _____

Underground utilities Contractor: License Number: _____

Category Five: TBD License Number: _____

Phone: _____ Fax: () _____

Email: _____

Paving Contractor: TBD License Number: _____

Phone: _____ Fax: () _____

Email: _____

Gas Line Contractor (within building only); TBD	License Number:
Phone: ()	Fax: ()
Email:	

Low Voltage Contractor: TBD	License Number:
Phone: ()	Fax: ()
Email:	

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a permit must be secured for **ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS and AIR CONDITIONING, ETC.**

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: Your failure to record a Notice of Commencement for jobs in which the valuation exceeds \$2,500.00 may result in your paying twice for improvements to your property. If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement.

[Signature]
 Owner or Agent (including Contractor)

State of Florida County of Hernando
 The foregoing instrument was sworn to and subscribed before me this 30 day of September
 by Jeffrey Rogers, who is () personally known to me or has ()
 produced Driver License as identification.

Jessica Wright
 Notary Public



Application Approved By _____

Hernando County Building Division
 789 Providence Blvd.
 Brooksville, FL 34601
 Phone: (352) 754-4050 Fax: (352) 754-4151
www.hernandocounty.us/bldg

September 30, 2024

Hernando County Building Division
789 Providence Blvd.
Brooksville, FL 34601

Re: Chinsegut Dining Hall

To Whom It May Concern:

The Chinsegut Dining Hall Project is situated on the historic Chinsegut Hill in Brooksville, Florida. The existing cabins and dining hall, built in the 1970s, currently lack ADA-compliant restroom facilities, which are also located a significant distance from the dining hall.

Hernando County retained Coastal Engineering Associates, Inc. to provide design and permitting services to provide professional engineering services to upgrade the existing site including handicap and ADA compliant sidewalks, covered walkway, and a prefabricated bathroom for the existing dining hall.

The following items are not included in the application submittal for the permit process:

- Utility Basis of Design Report (Signed & Sealed): The project does not require utilities in the scope of work.
- Geotech: The project does not require Geotechnical work based on the project did not require stormwater design. The project limits consist mainly of Arrendondo fine sand and is a well-drained soil class (NRCS Soil Map Survey).
- Truss Calculations: The building design does not include trusses.
- SWERP: The site is exempt form an ERP. The exemption letter is included in the package.
- Biotics Report: No biotic report was performed based on the project is located on an well-maintained existing site. A visual inspection of the site concluded that there are no active gopher tortoises within 25-ft of the project limits.
- Mechanical AC Calculations: AC is not included in the project scope.

If you have any questions, please feel free to contact me at 352-423-1665.

Regards,



Christina Malmberg, P.E.
Coastal Engineering



An Equal
Opportunity
Employer

Southwest Florida Water Management District

Bartow Office
170 Century Boulevard
Bartow, Florida 33830-7700
(863) 534-1448 or
1-800-492-7862 (FL only)

Sarasota Office
78 Sarasota Center Boulevard
Sarasota, Florida 34240-9770
(941) 377-3722 or
1-800-320-3503 (FL only)

Tampa Office
7601 U.S. 301 North (Fort King Highway)
Tampa, Florida 33637-6759
(813) 985-7481 or
1-800-836-0797 (FL only)

2379 Broad Street, Brooksville, Florida 34604-6899

(352) 796-7211 or 1-800-423-1476 (FL only)

WaterMatters.org

September 25, 2023

Coastal Engineering Associates, Inc.
Attn: Concetta Cook
966 Candlelight Boulevard
Brooksville, FL 34601

Subject: **Project Evaluation - Permit Not Required**

Project Name:	Chinsegut Dining Hall
File Number:	876474
County:	Hernando
Sec/Twp/Rge:	S36/T21S/R19E

References: Chapter 62-330, Florida Administrative Code (F.A.C.)

Dear Concetta Cook:

The District has reviewed the information you submitted for the project referenced above and has determined that an Environmental Resource Permit (ERP) **will not be required** for the proposed construction of a building, additional sidewalk, and parking. The project results in a net increase of 995 square feet of impervious area, of which 445 is subject to vehicular use. [Rule 62-330.020(2), F.A.C.]

The information received by the District will be kept on file to support the District's determination regarding your application. This information is available for viewing or downloading through the District's Application and Permit Search Tools located at www.WaterMatters.org/permits.

The District's determination that your project does not require an ERP is only applicable pursuant to the statutes and rules in effect at the time the information was submitted and may not be valid in the event subsequent changes occur in the applicable rules and statutes. Additionally, this notification does not mean that the District has determined that your project is permanently exempt from permitting requirements. Any subsequent change you make in the project's operation may necessitate further evaluation or permitting by the District. Therefore, you are advised to contact the District before beginning the project and before beginning any activity which is not specifically described in your submittal. Your timely pursuit of this activity is encouraged to avoid any potential rule changes that could affect your request.

This letter constitutes notice of Intended Agency Action of the project referenced above. The District's action in this matter only becomes closed to future legal challenges from members of the public if such persons have been properly notified of the District's action and no person objects to the District's action within the prescribed period of time following the notification. The District does not publish notices of agency action. If you wish to limit the time within which a person who does not receive actual written notice from the District may request an administrative hearing regarding this action, you are strongly encouraged to publish, at your own expense, a notice of agency action in the legal advertisement section of a newspaper of general circulation in the county or counties where the activity will occur. Publishing notice of agency action will close the window for filing a petition for hearing. Legal requirements and instructions for publishing notice of agency action, as well as a noticing form that can be used is available from the District's website at www.WaterMatters.org/permits/noticing. If you publish notice of agency

action, a copy of the affidavit of publishing provided by the newspaper should be sent to the Regulation Division at the District Service Office that services this permit or other agency action, for retention in the File of Record for this agency action.

If you have questions regarding this matter, please contact Giancarlos Rivas-Fajardo, in the Tampa Service Office, at 8134386703. Please reference the Project Name and Inquiry/Permit Number in future communications concerning this project.

Sincerely,

David Kramer, P.E.
Bureau Chief
Environmental Resource Permit Bureau
Regulation Division

Enclosures: Notice of Rights
cc: Brian Malmberg, P.E.
Concetta Cook

Notice of Rights

Administrative Hearing

1. You or any person whose substantial interests are or may be affected by the District's intended or proposed action may request an administrative hearing on that action by filing a written petition in accordance with Sections 120.569 and 120.57, Florida Statutes (F.S.), Uniform Rules of Procedure Chapter 28-106, Florida Administrative Code (F.A.C.) and District Rule 40D-1.1010, F.A.C. Unless otherwise provided by law, a petition for administrative hearing must be filed with (received by) the District within 21 days of receipt of written notice of agency action. "Written notice" means either actual written notice, or newspaper publication of notice, that the District has taken or intends to take agency action. "Receipt of written notice" is deemed to be the fifth day after the date on which actual notice is deposited in the United States mail, if notice is mailed to you, or the date that actual notice is issued, if sent to you by electronic mail or delivered to you, or the date that notice is published in a newspaper, for those persons to whom the District does not provide actual notice.
2. Pursuant to Subsection 373.427(2)(c), F.S., for notices of intended or proposed agency action on a consolidated application for an environmental resource permit and use of sovereignty submerged lands concurrently reviewed by the District, a petition for administrative hearing must be filed with (received by) the District within 14 days of receipt of written notice.
3. Pursuant to Rule 62-532.430, F.A.C., for notices of intent to deny a well construction permit, a petition for administrative hearing must be filed with (received by) the District within 30 days of receipt of written notice of intent to deny.
4. Any person who receives written notice of an agency decision and who fails to file a written request for a hearing within 21 days of receipt or other period as required by law waives the right to request a hearing on such matters.
5. Mediation pursuant to Section 120.573, F.S., to settle an administrative dispute regarding District intended action is not available prior to the filing of a petition for hearing.
6. A request or petition for administrative hearing must comply with the requirements set forth in Chapter 28-106, F.A.C. A petition for a hearing must: (1) explain how the substantial interests of each person requesting the hearing will be affected by the District's intended action or proposed action, (2) state all material facts disputed by the person requesting the hearing or state that there are no material facts in dispute, and (3) otherwise comply with Rules 28-106.201 and 28-106.301, F.A.C. Chapter 28-106, F.A.C., can be viewed at www.flrules.org or at the District's website at www.WaterMatters.org/permits/rules.
7. A petition for administrative hearing is deemed filed upon receipt of the complete petition by the District Agency Clerk at the District's Tampa Service Office during normal business hours, which are 8:00 a.m. to 5:00 p.m., Monday through Friday, excluding District holidays. Filings with the District Agency Clerk may be made by mail, hand-delivery or facsimile transfer (fax). The District does not accept petitions for administrative hearing by electronic mail. Mailed filings must be addressed to, and hand-delivered filings must be delivered to, the Agency Clerk, Southwest Florida Water Management District, 7601 US Hwy 301, Tampa, FL 33637-6759. Faxed filings must be transmitted to the District Agency Clerk at (813) 367-9776. Any petition not received during normal business hours shall be filed as of 8:00 a.m. on the next business day. The District's acceptance of faxed petitions for filing is subject to certain conditions set forth in the District's Statement of Agency Organization and Operation, available for viewing at www.WaterMatters.org/about.

Judicial Review

1. Pursuant to Sections 120.60(3) and 120.68, F.S., a party who is adversely affected by District action may seek judicial review of the District's action. Judicial review shall be sought in the Fifth District Court of Appeal or in the appellate district where a party resides or as otherwise provided by law.
2. All proceedings shall be instituted by filing an original notice of appeal with the District Agency Clerk within 30 days after the rendition of the order being appealed, and a copy of the notice of appeal, accompanied by any filing fees prescribed by law, with the clerk of the court, in accordance with Rules 9.110 and 9.190 of the Florida Rules of Appellate Procedure (Fla. R. App. P.). Pursuant to Fla. R. App. P. 9.020(h), an order is rendered when a signed written order is filed with the clerk of the lower tribunal.

GENERAL CONSTRUCTION NOTES

- 1. BENCHMARK DATUM IS NAVD 88.
2. THE CONTRACTOR SHALL PERFORM ALL CONSTRUCTION IN ACCORDANCE WITH THE LINES AND GRADES SHOWN ON THE PLANS AND TO TOLERANCES STATED HEREIN OR, IN THE NECESSARY AND APPROPRIATE, REFER TO THE BOUNDARY AND TOPOGRAPHIC SURVEY FOR ADDITIONAL INFORMATION ON HORIZONTAL AND VERTICAL CONTROL.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL HORIZONTAL AND VERTICAL CONTROL MARKERS AND PROPERTY CORNERS (MONUMENTS, PIPES, ETC.) FOR THE DURATION OF CONSTRUCTION. MARKERS SHALL BE CONTINUED AND RECORDED. MARKERS SHALL BE RESET IMMEDIATELY BY A FLORIDA LICENSED LAND SURVEYOR IF ANY SHOULD BECOME DISTURBED.
4. LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE DRAWINGS AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES, ETC. AFFECTING HIS WORK PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL REPAIR ALL PAVING, STABILIZED DARTS, DRIVEWAYS, SIDEWALKS, RETAINING WALLS, ETC. REMOVED OR DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COSTS WITH THE SAME MATERIAL REMOVED OR DAMAGED OR AS DIRECTED BY THE ENGINEER.
6. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO POSSIBLE INCIDENTAL CONFLICTS WITH EXISTING STRUCTURES SUCH AS MAIL BOXES, SIGNS, FENCES, BILLBOARDS, ETC. AND SHALL INCLUDE IN HIS OVERALL BID ALL COSTS FOR SPECIFIC CONSTRUCTION METHODS AND PROCEDURES THAT NEED TO BE TAKEN TO WORK AROUND SUCH APPURTENANCES.
7. THE CONTRACTOR PRIOR TO BEGINDING THIS WORK, SHALL APPRAISE HIMSELF AS TO ALL ABOVE AND BELOW GROUND FEATURES THAT HE MAY ENCOUNTER DURING CONSTRUCTION AND INCLUDE INTO HIS OVERALL BID ALL COSTS FOR SPECIFIC CONSTRUCTION METHODS AND PROCEDURES THAT NEED TO BE TAKEN TO WORK AROUND SUCH APPURTENANCES.
8. THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH ANY SITE WORK WITH WHICH A CONFLICT HAS BEEN DURING CONSTRUCTION OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS.
9. CONSTRUCTION SHALL BE CARRIED OUT "IN THE DRY". THE CONTRACTOR SHALL REVIEW SITE CONDITIONS AND DETERMINE METHODS AND MEANS OF DRAINAGE NECESSARY AND SHALL INCLUDE COSTS OF DRAINAGING IN THE BID. NO ADDITIONAL COMPENSATION SHALL BE PROVIDED FOR CONTROL OF GROUND OR SURFACE WATER OR FOR ADDITIONAL MATERIALS OR REMOVAL REQUIRED AS A RESULT OF INADEQUATE OR INSUFFICIENT DRAINAGING.
10. ALL WORK TO BE PERFORMED FOR THE COMPLETION OF THIS PROJECT SHALL BE CONSTRUCTED ACCORDING TO THE BEST PRACTICES OF THE INDUSTRY AND IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND/OR COUNTY CODES, ORDINANCES, STANDARDS, AND PERMIT CONDITIONS. FLORIDA BUILDING CODE (LATEST EDITION) IS APPLICABLE.

MINIMUM REQUIRED AS-BUILTS

GENERAL

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A RECORD SURVEY(S) PREPARED AND SUBMITTED BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER INCLUDING, BUT NOT LIMITED TO, LOCATION AND FINISHED GRADE ELEVATIONS IN PAVED AND NON PAVED AREAS SUFFICIENT TO DETERMINE DIRECTION OF SITE DRAINAGE AND ELEVATIONS OF RETENTION/CONTENTION AREAS, RETENTION AREAS AND DITCH CHANNELS, CONVEYANCES INCLUDING TOP OF BANKS, TOES OF SLOPES, HOND BOTTOMS AND WATER LEVELS, ELEVATIONS AND DIMENSIONS OF POND CONTROL STRUCTURES, SPILLWAYS AND UNDERDRAINS, DRAINAGE STRUCTURES GRATE/INLET ELEVATIONS, STORM PIPE SIZES, PIPE MATERIALS, AND PIPE INVERTS, PLUS LOCATIONS, DIMENSIONS AND ELEVATIONS OF ALL OTHER CONSTRUCTION COMPONENTS WHICH VARY FROM THE DESIGN. UTILITY INFORMATION SHALL INCLUDE LOCATION OF WATER LINE CONNECTIONS, VALVES, BENDS, METERS AND ELEVATIONS OF PIPES WHERE DEPTH OF COVER VARIES FROM DESIGN, TIES TO SANITARY SEWER LINES, MANHOLE RIM AND INVERT ELEVATIONS, CLEANSOUTS AND SERVICE CONNECTIONS.
2. ALL DIMENSIONS SHALL BE IN FEET DIMENSIONED OFF CENTERLINE OF ROADS OR OTHER PERMANENT STRUCTURES. IF ONLY ONE DIMENSION CAN BE TAKEN OFF THE CENTERLINE OF ROAD, THE SECOND SHALL BE OFF A PERMANENT MARKER OR REFERENCE POINT.
3. FOUR (4) SETS OF 24X36 SIGNED AND SEALED AS-BUILT DRAWINGS, ONE (1)CD WITH AUTOCAD AND ADOBE PDF'S OF ALL SHEETS SHALL BE SUBMITTED TO THE ENGINEER UPON COMPLETION OF THE PROJECT.

WATER LINES

- 1. UTILITY PIPING SHALL BE DIMENSIONED OFF CENTERLINES OF PAVEMENT OR OTHER PERMANENT STRUCTURES.
2. FITTINGS, VALVES, HYDRANTS, TAPS, ETC. SHALL BE DIMENSIONED (SEE NOTE NO. 1 UNDER "GENERAL") USING DESCRIPTIVE NOTE INDICATING THE TYPE OF FEATURE WITH DIMENSIONS TO A PERMANENT SURFACE FEATURE.
3. INDICATE DEPTH OF COVER AT ALL LOCATIONS WHERE PIPING DIFFERS FROM THE CONSTRUCTION PLANS.
4. INDICATE ALL LOCATIONS WHERE HORIZONTAL VERTICAL AND HORIZONTAL WATER AND SEWER SEPARATION WAS NOT MAINTAINED. DETAIL INSTALLATION METHOD.
5. INDICATE LOCATIONS AND TYPES OF ALL BACTERIOLOGICAL SAMPLING POINTS.
6. SHOW THE SIZE, SDR, CLASS AND TYPE OF MATERIAL IF DIFFERENT THAN PLANS.
7. DIMENSION WATER MAIN STUBS FROM GATE VALVE TO TERMINAL POINT AND FROM CENTERLINE OF ROAD.
8. ALL PRESSURE PIPE LINES (PORTABLE, REUSE, PM) TOP OF PIPE SHALL BE LOCATED (X,Y,Z) AT 100-FT STATION INTERVALS.

SEWER

- 1. SHOW ACTUAL ELEVATIONS (TOP AND ALL INVERTS) FOR ALL NEW AND EXISTING MANHOLES.
2. SHOW ACTUAL GRAVITY SEWER SLOPE PERCENTAGES.
3. INDICATE ALL LOCATIONS WHERE SEWER LINE WAS ENCASED OR WHERE DUCTILE IRON WAS UTILIZED.
4. SHOW SIZE, SDR, CLASS OR TYPE OF MATERIAL IF DIFFERENT THAN PLANS.
5. SHOW LOCATIONS OF ALL SERVICE WYES BY DIMENSION FROM MANHOLES.
6. DIMENSION SERVICE LATERAL TERMINATION POINTS AND DEPTH FROM FINISH GRADE.
7. FITTINGS, VALVES, TAPS, ETC. SHALL BE DIMENSIONED (SEE NOTE NO. 1 UNDER "GENERAL") USING DESCRIPTIVE NOTES INDICATING THEIR EXACT LOCATION.

UTILITY SEPARATION NOTES

- 1. REFER TO FAC 62-555.314 FOR UTILITY SEPARATION REQUIREMENTS. A SUMMARY OF THESE REQUIREMENTS ARE PROVIDED IN PICTORIAL FORM IN H200 DETAIL AND 06 PROVIDED IN THE DETAILS SECTION OF THIS PLAN SET.
NOTE: WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATIONS AS STIPULATED IN FAC 62-555.314, THE REVIEWING AUTHORITY MAY ALLOW DEVIATION ON A CASE-BY-CASE BASIS IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. APPROVAL FOR THE DEVIATION MUST BE OBTAINED PRIOR TO CONSTRUCTION.

GENERAL UTILITY NOTES

- 1. ALL UTILITY LINES SHALL HAVE AN "EARLY WARNING" PROTECTION TAPE INSTALLED CONTINUOUSLY ALONG THE PIPE ALIGNMENT IN ACCORDANCE WITH THE UTILITY HAVING JURISDICTION. THE PROTECTION TAPE SHALL BE INSTALLED DURING BACK FILLING 18" DIRECTLY OVER THE PIPE, OR AS SPECIFIED BY UTILITY OWNER. THE TAPE SHALL HAVE A METAL DETECTABLE STRIP SANDWICHED BETWEEN TWO LAYERS OF POLYETHYLENE. FOR WATER LINES, THE TAPE SHALL BE CONTINUOUSLY MARKED "CAUTION, WATER LINES BELOW". FOR FORCE MAINS, THE TAPE SHALL BE CONTINUOUSLY MARKED "CAUTION, SEWAGE FORCE MAIN BELOW". FOR SANITARY SEWERS, THE TAPE SHALL BE CONTINUOUSLY MARKED "CAUTION, SEWER MAINS BELOW". BOTH WATER MAINS AND SANITARY SEWER FORCE MAINS SHALL ALSO HAVE A "LOCATOR DETECTOR WIRE" - ULTYE AWG #10 SOLID STRAND COPPER WIRE W/8MM PVC WALL INSTALLED ALONG THE ENTIRE LENGTH OF PIPE.
2. THE CONTRACTOR IS CAUTIONED THAT THE LOCATION OF EXISTING UTILITIES, WHEN SHOWN, ARE APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ACTUAL FIELD LOCATIONS FROM THE RESPECTIVE UTILITY COMPANY AND TO COORDINATE WITH AFFECTED UTILITY COMPANY 48 HOURS BEFORE BEGINNING ANY WORK.
AT & T TELEPHONE 1-800-472-4700
BRIGHTHOUSE CABLE TV 1-800-892-3499
WIRE 1-352-567-5133
1-352-774-4037
HERNANDO COUNTY UTILITIES DEPT 1-800-812-7170
1-813-229-1226
1-800-483-4000
3. SANITARY SEWER (GRAVITY) PIPE SHALL CONFORM TO ASTM 3034 FOR SDR26 PVC BELL AND SPIGOT GASKETED JOINTS.
4. ALL PVC PIPE SHALL HAVE LETTERING APPEARING ON THREE SIDES OF THE PIPE, SHALL RUN THE ENTIRE LENGTH OF THE PIPE AND SHALL BE 1/4" IN HEIGHT WITH THE APPROXIMATE WRITING APPEARING ONE OR MORE TIMES EVERY 21 INCHES ALONG THE LENGTH OF THE PIPE. THE LETTERING MUST BE PERMANENTLY STENCILLED TO THE PIPE SURFACE. LETTERING SHALL BE APPLIED BY THE PIPE MFG. DURING PRODUCTION.
5. THE CONTRACTOR SHALL PERFORM LEAK TESTING ON ALL GRAVITY SEWERS AND A PRESSURE TEST ON ALL WATER AND FORCE MAINS (AS APPLICABLE) IN ACCORDANCE WITH THE UTILITY HAVING JURISDICTION AND/OR AS STATED IN THE SPECIFICATIONS OR AS DIRECTED BY THE ENGINEER. TESTS ARE TO BE CERTIFIED BY THE ENGINEER OF RECORD. THE SCHEDULING, COORDINATION AND NOTIFICATION OF ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.
6. WATER AND WASTEWATER SYSTEMS SHALL NOT BE PLACED IN SERVICE (FOR TEMPORARY OR PERMANENT USE) UNTIL ALL TESTING AND INSPECTIONS HAVE BEEN COMPLETED, TEST REPORTS AND "AS-BUILTS" FOR THOSE SYSTEMS SUBMITTED, AND CLEARANCE HAS BEEN OBTAINED FROM THE APPLICABLE UTILITIES AND PERMITTING AGENCIES. NO WATER SYSTEM SHALL BE PLACED IN SERVICE BEFORE SEWER SYSTEM HAS BEEN CLEARED FOR USE.
7. DEFLECTION TESTING FOR GRAVITY SEWER LINES SHALL BE PERFORMED IN ACCORDANCE WITH "RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES (10 STATE STANDARDS)", CURRENT EDITION.
8. THE CONTRACTOR SHALL COMPLY WITH LOCAL CROSS-CONNECTION CONTROL POLICY FOR CONSTRUCTION OF ALL POTABLE, SANITARY AND RECLAIMED UTILITIES.
9. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DOCUMENTS REFERENCED HEREIN. ANY METHODS, PROCEDURES, STANDARDS, EQUIPMENT, OR MATERIALS WHICH ARE NOT COVERED OR SPECIFIED BY THE APPLICABLE PROVISIONS OF COUNTY SPECIFICATIONS SHALL BE CONSTRUCTED TO BE IN ACCORDANCE WITH THE F.O.D.T. STANDARDS SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND F.O.D.T. UTILITIES ACCOMMODATION GUIDE UNLESS SPECIFICALLY APPROVED BY THE ENGINEER OF RECORD. IN THE CASE OF CONFLICTING SPECIFICATIONS, THE MOST STRINGENT SHALL APPLY.
10. ALL UTILITIES SHALL BE KEPT IN OPERATION EXCEPT WITH THE EXPRESS WRITTEN CONSENT OF THE UTILITY OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE EXISTING UTILITIES. ANY AND ALL DAMAGE TO EXISTING UTILITIES AS A RESULT OF THE CONTRACTOR'S ACTIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
11. WHERE WATER AND SEWER LINE INSTALLATION ARE IN CONFLICT WITH EXISTING UTILITY POLES, GUY WIRES OR SIMILAR STRUCTURES, THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY TO DETERMINE WHETHER THE STRUCTURES WILL REQUIRE RESTRAINT. THE FINAL DECISION AS TO WHETHER RESTRAINT IS REQUIRED WHILE EXCAVATION OCCURS SHALL BE THAT OF THE UTILITY OWNER. THE COST FOR THIS COORDINATION AND RESTRAINT SHALL BE INCLUDED IN THE CONTRACTOR'S OVERALL COSTS.
12. ALL DEFLECTION BENDS ARE 45° UNLESS SPECIFIED OTHERWISE. EXCEPT LOCATION OF BENDS TO BE DETERMINED IN FIELD AND APPROVED BY FIELD INSPECTOR. LOCATION DATA SHALL BE PROVIDED IN AS-BUILTS ACCORDING TO COUNTY REQUIREMENTS.
13. SEPTIC SUB-CONTRACTOR TO LOCATE EXISTING SEPTIC TANK:
13.1. PUMP OUT EXISTING SEPTIC TANK AND PROVIDE INSPECTION REPORT
13.2. VERIFY TANK OUTLET DISCHARGES TO ADJACENT DRAIN FIELD OR NEWER SEPTIC SYSTEM AT BOTTOM OF HILL
13.3. SUBMIT APPLICATION FOR PERMIT TO HERNANDO COUNTY DEPARTMENT OF HEALTH INCLUDING:
13.3.1. INSPECTION REPORT
13.3.2. APPLICATION FORM DEP 4015
13.3.3. FLOOR PLAN OF BATHROOMS

SPECIAL NOTES TO CONTRACTORS

- 1. WHERE TREE REMOVAL IS REQUIRED DUE TO CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE AND DISPOSE OF THOSE TREES. THE COST FOR TREE REMOVAL AND DISPOSAL SHALL BE INCLUDED IN THE CONTRACTOR'S OVERALL COSTS. TREE REMOVAL AND PROTECTION SHALL COMPLY WITH APPLICABLE CITY AND COUNTY CODES.
2. UNLESS SPECIFIED OTHERWISE, CONTRACTOR SHALL FURNISH AND INSTALL ALL PROPOSED ITEMS SHOWN WITHIN THE CONSTRUCTION PLAN.
3. CONSTRUCTION EQUIPMENT AND MATERIAL TRANSPORT / STAGING IS THE RESPONSIBILITY OF THE CONTRACTOR. UPON REQUEST, THE OWNER WILL PROVIDE ACCESS TO THE CLOSEST OPEN SPACED OWNED AND AVAILABLE FOR THE CONTRACTOR'S USE. HOWEVER, THE SITE MAY NOT BE CONTIGUOUS TO THE PROJECT AREA OR OF SUFFICIENT SIZE TO ACCOMMODATE THE ENTIRE PROJECT INVENTORY OF MATERIALS / EQUIPMENT.
4. A NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT IS NOT PART OF THE PERMITTING OBTAINED WITH THIS PLAN SET. THEREFORE, THE CONTRACTOR IS ADVISED THAT AN NPDES CONSTRUCTION PERMIT MAY BE REQUIRED FOR THIS PROJECT AND THAT THE CONTRACTOR IS RESPONSIBLE FOR APPLYING FOR AND ADHERING TO THIS PERMIT. REFER TO SUBSECTION 62-421, F.A.C. FOR ADDITIONAL INFORMATION. THE INFORMATION PROVIDED IN THE SHOWN NOTES AND DETAIL SHEETS ARE FOR COMPLIANCE WITH ENVIRONMENTAL RESOLUTION PERMITTING UNDER CHAPTER 62-333, F.A.C. AND MAY BE USED AS A REFERENCE FOR COMPLIANCE WITH NPDES PERMITTING BUT ARE NOT NECESSARILY INCLUSIVE OF ALL NPDES REQUIREMENTS.
5. HERNANDO COUNTY HAS AN NPDES OBLIGATION REQUIRING COMPLIANCE ON ALL CONSTRUCTION SITES. (C.R. 28, ARTICLE X, SEC. 28-341.10-603)
6. A PRE-CONSTRUCTION VIDEO & PHOTOS OF THE ENTIRE PROJECT AREA, INCLUDING THE SITE ACCESS SHALL BE PROVIDED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.

ENVIRONMENTAL PROTECTION NOTES

- 1. CONSTRUCTION EQUIPMENT SHALL NOT BE OPERATED IN WETLAND AREAS UNLESS SUCH CONSTRUCTION PRACTICES ARE APPROVED IN A PLAN OF OPERATION SUBMITTED TO THE ENGINEER & THE APPROPRIATE REGULATORY AUTHORITIES. WHERE CONSTRUCTION IS NECESSARY ACROSS OR ADJACENT TO WETLAND / JURISDICTIONAL AREAS, SILT BARRIERS SHALL BE INSTALLED AS SHOWN ON THE PLANS. SILT BARRIERS SHALL BE CONSIDERED LIMITS OF CONSTRUCTION WITHIN OR ADJACENT TO JURISDICTIONAL AREAS.
2. CONSTRUCTION SHALL PROCEED SUCH THAT ALL STORMWATER FACILITIES WITHIN A WATERSHED AREA ARE IN PLACE AND OPERATIONAL PRIOR TO CONSTRUCTION OF IMPERVIOUS SURFACES WITHIN THAT AREA.
3. STAKED OR FLOATING SILT SCREENS OR SYNTHETIC HAY BALES, AS APPROPRIATE, SHALL BE UTILIZED AS SILT BARRIERS AND PLACED IN LOCATIONS SHOWN ON THE PLANS AND AT OTHER LOCATIONS AS REQUIRED TO KEEP SEDIMENT FROM REACHING WATER BODIES OR WETLAND AREAS. ONCE CONSTRUCTION IS COMPLETE AND FINISH GRADING / STABILIZATION HAS BEEN ACHIEVED, SILT BARRIERS SHALL BE COMPLETELY REMOVED TO THE SATISFACTION OF THE OWNER AND PRIOR TO FINAL ACCEPTANCE.
4. ALL FUGITIVE DUST SHALL BE CONTROLLED ON SITE. ONLY AREAS SCHEDULED FOR IMMEDIATE CONSTRUCTION SHALL BE CLEARED OR STEEPED OF VEGETATION. WATERING OR OTHER PRIOR APPROVED MEANS OF DUST CONTROL SHALL BE EMPLOYED TO PREVENT THE EMANATION OF DUST FROM THE SITE. PERMANENT GRASSING, LANDSCAPING AND OTHER SITE WORK SHALL BE INITIATED AS SOON AS POSSIBLE.
5. ALL WATER COLLECTED AND PUMPED DURING TRENCH DEWATERING ACTIVITIES SHALL BE DISPOSED OF IN ISLAND AREAS INTO DOUBLE STAKED HAY BALES. DISCHARGE LOCATIONS SHALL BE A MINIMUM OF 75 FEET FROM THE NEAREST SURFACE WATER BODY OR WETLAND AREA, TO ALLOW FOR MAXIMUM OVERLAND FILTRATION OF SOIL PARTICLES.
6. TEMPORARY STOCKPILES SHALL NOT BE LOCATED ADJACENT TO UNDISTURBED WETLANDS. ADDITIONALLY, STOCKPILES TO REMAIN FOR LONGER THAN 24 HOURS SHALL BE COVERED BY SILT BARRIERS WHICH PREVENT RUNOFF SEDIMENTATION FROM ENCROACHING UPON WETLAND AREAS OR SURFACE WATER BODIES. STOCKPILES IN PLACE AND UNTOUCHED FOR 7 DAYS OR MORE TO HAVE VEGETATIVE COVER TO PREVENT WIND EROSION AND SEDIMENT DISPOSAL.
7. ALL TRASH AND CONSTRUCTION DEBRIS PRODUCED FROM THIS PROJECT SHALL BE COLLECTED BY THE CONTRACTOR DAILY. THESE MATERIALS SHALL BE STAGED OR CONTAINED/AS NECESSARY TO PREVENT ACCIDENTAL RELEASE. DISPOSAL OF SOLID WASTE MATERIALS SHALL BE IN ACCORDANCE WITH APPLICABLE MUNICIPAL, COUNTY AND STATE REGULATIONS.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING PORTABLE SANITARY WASTE UNITS ON-SITE FOR USE BY HIS EMPLOYEES DURING CONSTRUCTION.
9. THE CONTRACTOR SHALL MAINTAIN CONTROL OF ANY HAZARDOUS MATERIALS UTILIZED ON-SITE FOR CONSTRUCTION. STORAGE CONTAINERS, VEHICLES, ETC. WILL BE INSPECTED REGULARLY FOR LEAKAGE. A SPILL PREVENTION PLAN SHALL BE ESTABLISHED WHICH COVERS CLEANUP AND NOTIFICATION OF APPROPRIATE GOVERNMENT AGENCIES.
10. CONTRACTOR SHALL NOT REMOVE TREES WITHOUT APPROVAL OF THE LOCAL GOVERNING JURISDICTION. TREE PROTECTION SHALL BE IN ACCORDANCE WITH LOCAL GOVERNING AUTHORITY.
11. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING SITE EROSION AND SHALL NOT UNNECESSARILY REMOVE EXISTING VEGETATION OR ALTER EXISTING TOPOGRAPHY. THE CONTRACTOR SHALL PROVIDE ADDITIONAL SOD, SYNTHETIC HAY BALES, SAND BAGS OR SEED & MULCH, AS NECESSARY, TO ACHIEVE AN EROSION-FREE SITE (FREE FROM SITTING, ETC.) TO THE LINES AND GRADES SHOWN IN THE PLANS UNTIL FINAL ACCEPTANCE. ALL SHOULDS AND SURFACES 4:1 OR STEEPER SHALL BE SOODED. ALL OTHER UNPAVED SURFACES WHICH EXPERIENCE UNDESIRABLE EROSION THAT CANNOT BE CONTROLLED BY OTHER MEASURES SHALL BE SOODED. ALL SOD SHALL BE ARGENTINE BANJA UNLESS SPECIFICALLY SHOWN OTHERWISE IN THE CONTRACT DOCUMENTS. ALL SOODED SLOPES OVER 4:1, SHALL BE INSTALLED WITH SOD FEGS.
12. SOIL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED PRIOR TO CONSTRUCTION, MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL THE SITE IS PERMANENTLY STABILIZED. SEE SWPP / CSWMP NOTICES AND DETAIL SHEETS FOR ADDITIONAL INFORMATION.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF TEMPORARY SEDIMENT/EROSION CONTROL DEVICES WHEN NO LONGER NEEDED.

EASTERN INIGO SNAKE

IF YOU SEE A LIVE EASTERN INIGO SNAKE ON THE SITE:

- Cease clearing activities and allow the live eastern inigo snake sufficient time to move away from the site without interference.
• Personnel must NOT attempt to touch or handle snake due to protected status.
• Take photographs of the snake, if possible, for identification and documentation purposes.
• Immediately notify supervisor or the applicant's designated agent, and the appropriate USFWS office, with the location information and condition of the snake.
• If the snake is located in a vicinity where continuation of the clearing or construction activities will cause harm to the snake, the activities must halt until such time that a representative of the USFWS returns the call (within one day) with further guidance as to when activities may resume.

IF YOU SEE A DEAD EASTERN INIGO SNAKE ON THE SITE:

- Cease clearing activities and immediately notify supervisor or the applicant's designated agent, and the appropriate USFWS office, with the location information and condition of the snake.
• Take photographs of the snake, if possible, for identification and documentation purposes.
• Thoroughly soak the dead snake in water and then freeze the specimen. The appropriate wildlife agency will retrieve the dead snake. Telephone numbers of USFWS Florida Field Offices to be contacted if a live or dead eastern inigo snake is encountered: North Florida Field Office - (904) 731-3338 Panama City Field Office - (850) 750-0552 South Florida Field Office - (772) 562-3000

DURING CONSTRUCTION ACTIVITIES

- 1. During initial site clearing activities, an on-site observer may be utilized to determine whether habitat conditions suggest a reasonable probability of an eastern inigo snake sighting (example: discovery of snake sheds, tracks, lots of refugia and gopher mounds present in the area of clearing activities, and presence of gopher tortoises and burrows).
2. If an eastern inigo snake is discovered during gopher tortoise relocation activities (i.e. burrow excavation), the USFWS shall be contacted within one business day to obtain further guidance which may result in further project consultation.
3. Periodically during construction activities, the applicant's designated agent should visit the project area to observe the condition of the plants and Plant materials, and replace them as needed. Construction personnel should be reminded of the restrictions (above) as to what is expected if any eastern inigo snakes are seen.

GENERAL NOTES
CHINSEGUT DINING HALL ADA
PARKING & RESTROOM ADDITION



Coastal Environmental
800 Crandall Boulevard • Brooksville • Florida 34601
(352) 795-4243 • Fax (352) 799-8359
EEO-60917-2

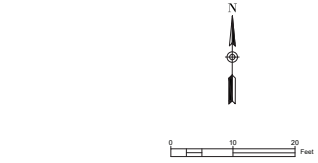
REUSE OF DOCUMENT
THIS DOCUMENT CONTAINS THE INCORPORATED UNLESS OTHERWISE NOTED. THE PROFESSIONAL ENGINEER'S ASSOCIATION OF FLORIDA IS NOT RESPONSIBLE FOR ANY OTHER INFORMATION OR THE CONTENTS OF ANY OTHER DOCUMENTS OR THE ACTIONS OF ANY ENGINEERING ASSOCIATES, INC.

Table with columns: DATE, REV, BY, NO., REGION. Row 1: DATE, REV, BY, NO., REGION.

SHEET
C-02

Always call 811 two full business days before you dig
Sunshine811.com

PRINTED: 09/22/2024 @ 1:31 AM PATH: L:\2025\Chinsegut_Restroom\DWG\Civil\250102_Site.dwg



- LEGEND**
- 6" CONCRETE PAVEMENT
 - 4" CONCRETE SIDEWALK
 - EXIST. BRICK PAVER SIDEWALK

OVERALL SITE DATA

OWNER/APPLICANT:
HERNANDO COUNTY BOCC
15470 FLIGHT PATH DR.
BROOKSVILLE, FL 34604

PARCEL KEY NO. 336632

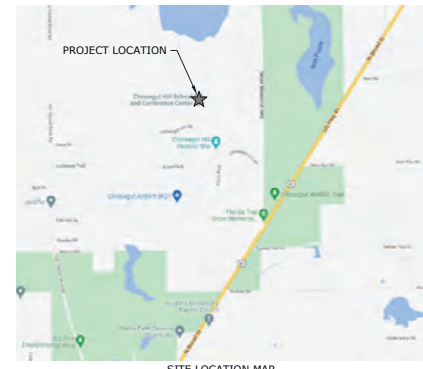
TOTAL PROPERTY AREA: 114.60 ACRES

PROJECT AREA: #2,200 S.F. / 0.05 ACRES

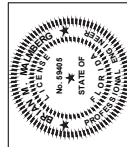
SECTION/TOWNSHIP/RANGE: 36/215/19E

FEMA FIRM COMMUNITY PANELS: THE PROJECT IS LOCATED ON FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) 12053C0010D EFFECTIVE DATE 2/2/2012. THE PROPERTY IS LARGELY LOCATED WITHIN ZONE X WITH AREAS OF ZONE AE AND ZONE X-SHADED LOCATED ADJACENT TO PROJECT BOULEVARD ENTRANCE ROAD.

NOTE:
1.) ALL DISTURBED AREAS TO BE SODDED W/ BAHAI GRASS



SITE PLAN
CHINSEGUT DINING HALL ADA PARKING & RESTROOM ADDITION



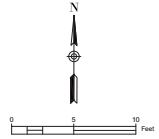
Coastal
Engineering
Planning
Surveying
Environmental
Construction Management

888 Cathedral Boulevard • Brooksville • Florida 34601
(352) 796-4423 • Fax (352) 796-8359
EPC0001742

REUSE OF DOCUMENT
THIS DOCUMENT COMPOSED OF THE INCORPORATED IDEAS AND DESIGN PROFESSIONAL SERVICES IN THIS ASSOCIATION, INC. AND IS NOT TO BE REUSED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ASSOCIATION OF ENGINEERING ASSOCIATES, INC. DRAWING REVISED UNLESS SHOWN, DATED & SIGNED BY REGISTERED PROFESSIONAL ENGINEER

DATE	REVISION NO.	REVISION

PRINTED: 09/22/2024 @ 1:33 AM PLOT: 11:25/25 Coastal - Broomfield/DAWG/Current/23005_3P.dwg



LEGEND

- PROPOSED CONTOUR
- - - - - EXISTING CONTOUR
- 25.10 PROPOSED SPOT GRADE
- MEG PROPOSED GRADE IS TO MATCH EXISTING
- ↗ FLOW ARROW
- 1.0% SLOPE

NOTES:

1. EXISTING CONTOURS AND ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF NAVD 1988.
2. ALL DISTURBED AREAS SHALL BE RESODDED W/ BAHIA GRASS.
3. CONTRACTOR TO COORDINATE ALL BUILDING WATER AND SEWER PLUMBING AND ELECTRICAL CONNECTIONS PER THE APPROVED BUILDING PERMITTED PLANS. THE LOCATIONS OF THE CIVIL PLANS ARE FOR REFERENCE ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING ON-SITE UTILITIES AND ELECTRICAL INFRASTRUCTURE TO PROPERLY MAKE THE NECESSARY CONNECTIONS TO THE BATHROOM PRE-FAB BUILDING.
4. CONTRACTOR TO REFER TO THE BUILDING MANUFACTURER COUNTY APPROVED BUILDING PERMIT PLANS FOR ALL PLUMBING, ELECTRICAL, AND STRUCTURAL WORK.
5. CONTRACTOR TO REFER TO THE FOUNDATION DETAIL OF THE LB FOSTER CXT PRODUCTS PLANS FOR THE SUB-BASE REQUIREMENTS.

GRADING & UTILITIES PLAN
CHINSCUT DINING HALL ADA PARKING & RESTROOM ADDITION



Coastal
 ENGINEERING
 600 Cavalillon Boulevard • Broomfield, Florida 34401
 (352) 794-4423 • Fax (352) 794-8359
 EIC-0001742

REUSE OF DOCUMENT
 THIS DOCUMENT COMPOSED OF THE INCORPORATED IDEAS AND DESIGN PROFESSIONAL SERVICES OF THE ASSOCIATE ENGINEER AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEERING ASSOCIATES, INC.
 DRAWING SHALL BE UNLESS SHOWN, DATED & SIGNED BY REGISTERED PROFESSIONAL ENGINEER

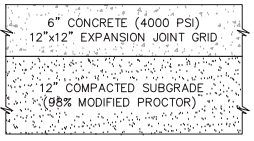
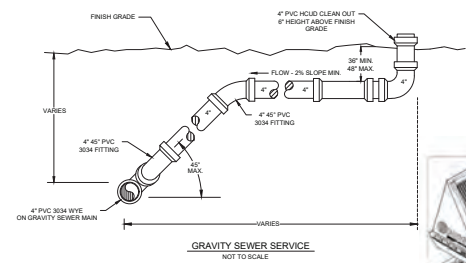
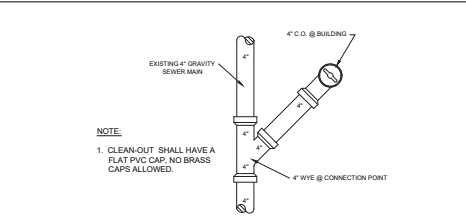
DATE	REV. BY/CHK. NO.	REVISION

WHEN PRINTED TO SCALE, DRAWING SIZE SHALL BE 27" x 34"

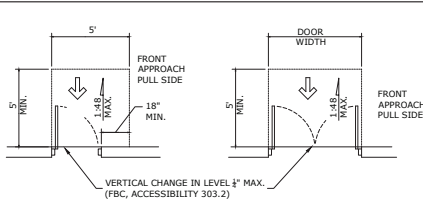
SHEET
C-05

JOB NO. 23005

PRINTED: 09/23/2004 8:33 am PLOT#: 11120050\Chinsegut Restroom\DWG\DWG\C-06.dwg

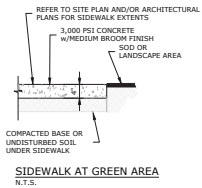


CONCRETE PAVEMENT SECTION



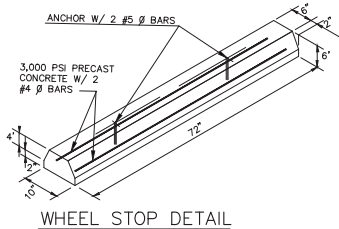
SIDEWALK GRADING AT ENTRY DOORS

REFER TO FBC, ACCESSIBILITY, TABLE 404.2.4.1 FOR ADDITIONAL DETAILS



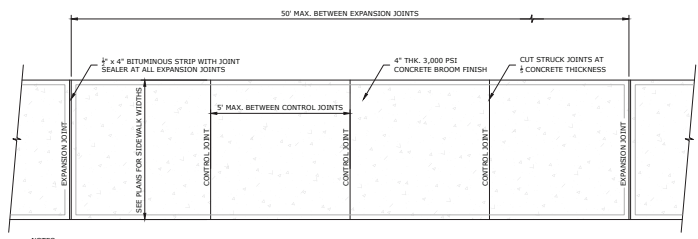
SIDEWALK AT GREEN AREA

Downspout Defender	900DSG 9"x9"
	1200DSG 12"x12"
Catch Basin Filter	900F 9"x9"
	1200F 12"x12"
Catch Basin	900 9"x9"
	1200 12"x12"
Outlet Plug	1200 Fits catch basin openings
Outlet Adapter	1243 Fits 3" and 4" pipe & fittings
	1266 Fits 6" pipe



WHEEL STOP DETAIL

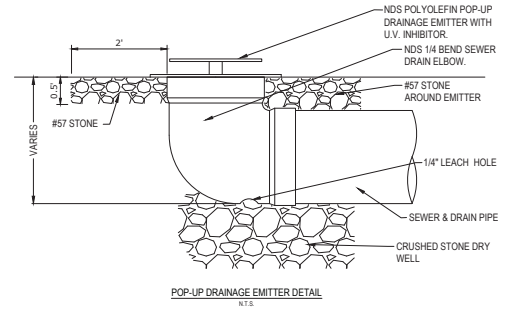
N.T.S.



SIDEWALK STANDARD DETAIL

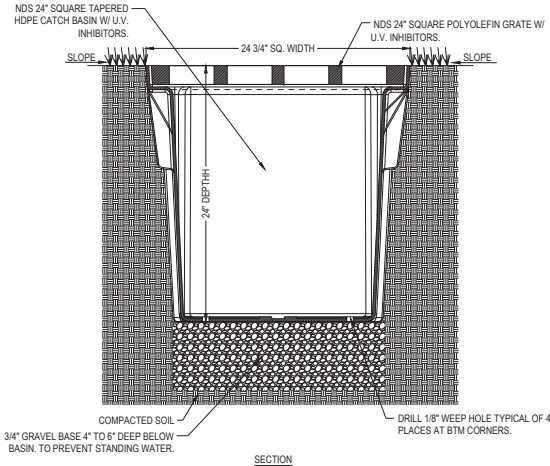
N.T.S.

1. PROVIDE 1" CONTROL JOINTS @ 5'-0" O.C.
2. PROVIDE 1" BITUMINOUS EXPANSION JOINTS AT 50' O.C.
3. THIS DETAIL IS FOR ON-SITE CONDITIONS ONLY. DO NOT USE IN RIGHT-OF-WAY CONSTRUCTION. REFER TO DETAIL HCG, DETAIL IV-30 FOR SIDEWALK IN THE COUNTY RIGHT-OF-WAY.



POP-UP DRAINAGE EMITTER DETAIL

N.T.S.



SECTION

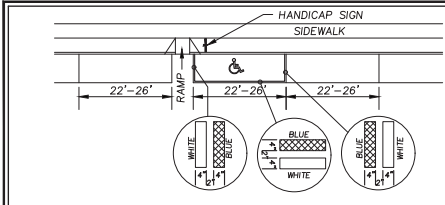
1. GRATE TO BE ATTACHED TO CATCH BASIN WITH SCREW PROVIDED AT TIME OF INSTALLATION.
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. DO NOT SCALE DRAWING.
4. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
5. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

SQUARE CATCH BASIN DETAIL

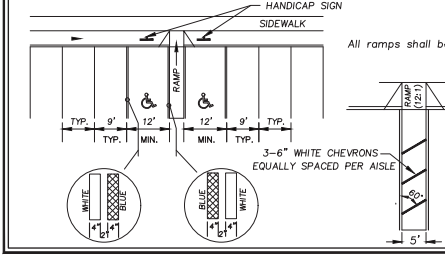
N.T.S.

DOWNSPOUT DEFENDER DETAIL

N.T.S.

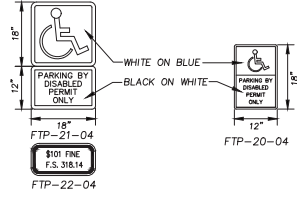


- All parking space lines to be 4" wide and white unless otherwise noted.
- Use of pavement symbol in handicapped parking spaces is optional, but when used shall be 3 ft. to 5 ft. high and white in color.
- The access aisle shall be striped diagonally to designate it as a no parking zone, and shall be white in color. Curb ramps must be located outside of disabled parking spaces and access aisles.

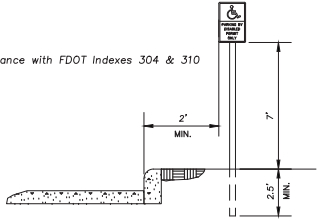


All ramps shall be in compliance with FDOT Indexes 304 & 310

- Handicap sign(s) may be affixed on permanent structures in lieu of installing on poles.



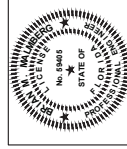
(Signs erected after October 1, 1996, must indicate penalty for illegal use of the space)



TITLE: TRAFFIC CONTROL STANDARD
HANDICAP PARKING
 APPROVED BY: _____ DATE: _____
 C. G. MITSON, P. E. 10-01-08 V-09
 PH: 888-992-4488 FAX: 888-992-4488

HERNANDO COUNTY
DEPARTMENT OF PUBLIC WORKS
 1000 W. SPRINGHURST AVENUE
 HERNANDO, FLORIDA 34424
 PH: 888-992-4488 FAX: 888-992-4488

DETAILS
CHINSEGUT DINING HALL ADA
PARKING & RESTROOM ADDITION



Coastal
 Environmental Engineering
 888 Conditional Boulevard • Brooksville, Florida 34401
 (352) 798-1423 • Fax (352) 798-8399
 EID-0010742

REUSE OF DOCUMENT
 THIS DOCUMENT, IN WHOLE OR IN PART, IS THE PROPERTY OF COASTAL ENVIRONMENTAL ENGINEERING, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

DATE	REV. EFFECT. NO.	REVISION

SHEET
C-06
 23005

Chinsegut Hill

ALUMINUM WALKWAY COVER

DESIGN STANDARDS AND LOADS:

THE BUILDING STRUCTURE HAS BEEN DESIGNED USING THE FOLLOWING DESIGN STANDARDS:

- 2020 FLORIDA BUILDING CODE (7TH EDITION)
- ASCE 7 MINIMUM DESIGN LOAD FOR STRUCTURES
- SPECIFICATIONS FOR ALUMINUM STRUCTURES, ALUMINUM DESIGN MANUAL, PART 1-A AND PART 1-B OF THE ALUMINUM ASSOCIATION.

THE FOLLOWING LOADS SPECIFICALLY DESIGNED FOR:

DEAD LOAD:	5	PSF
ROOF LIVE:	20	PSF
ROOF SNOW LOADING: (NOT GOVERNING)		
$P/g:$	ZERO	PSF
$P/f:$	ZERO	PSF
$C/e:$	0.9	
$I/s:$	1.00	
$C/t:$	1.0	

GEOTECHNICAL DESIGN INFORMATION:

SOIL DESIGN LOAD BEARING VALUE: 2000 PSF

WIND:

WIND SPEED: V_{ULT}	140	MPH
V_{ASD}	108	MPH
EXPOSURE CATEGORY:	C	
BUILDING RISK CATEGORY:	II	
ENCLOSURE CLASSIFICATION:	OPEN	
INTERNAL PRESSURE COEFFICIENT:	± 0.00	
WIND BORNE DEBRIS ZONE:	YES	
HIGH VELOCITY WIND ZONE:	NO	

* DESIGN IS PREDICATED ON ASD VALUES

COMPONENTS & CLADDING PRESSURES FOR WALKWAY COVERS

Roof Angle	Effective Wind Area	ASD Wind Pressure $p_s = q_s \times G \times C_f \times 0.6$ (psf) (Eq. 30.8-1)					
		Zone 3		Zone 2		Zone 1	
$\leq 20^\circ$	≤ 9	60.4	-62.1	45.3	-47.3	30.2	-31.0
	$> 9 \leq 36$	45.3	-47.3	45.3	-47.3	30.2	-31.0
	> 36	30.2	-31.0	30.2	-31.0	30.2	-31.0

DESIGN NOTE: THE WALKWAY COVER SHOWN HEREIN IS NOT CONSIDERED A HABITABLE SPACE. ALL COMPONENTS AND CLADDING ARE SITE SPECIFIC ENGINEERED.

GENERAL NOTES:

ALUMINUM WALKWAY COVER SYSTEM SHALL BE CONSTRUCTED ENTIRELY OF ALUMINUM EXTRUSIONS. STRUCTURAL FRAMING SHALL CONSIST OF WELDED OR MECHANICALLY CONNECTED ONE-PIECE RIGID STRUCTURAL BENTS (COLUMN AND BEAM ASSEMBLIES), DECKING, ACCESSORY ITEMS AND HARDWARE TO PROVIDE A COMPLETE SYSTEM.

DRAINAGE: WATER FLOW SHALL BE DIRECTED AND DRAIN FROM THE ROOF DECK INTO DESIGNATED BEAMS AND COLUMNS, AND OUT DRAIN HOLES w/ DIVERTERS.

METALS:

THE FOLLOWING PUBLICATIONS ARE CONSIDERED A PART OF THIS STRUCTURAL SPECIFICATION:

- ALUMINUM DESIGN MANUAL, LATEST EDITION
- AWS D1.2. STRUCTURAL WELDING CODE - ALUMINUM

MINIMUM STRENGTH OF MATERIALS (F_y) SHALL BE AS FOLLOWS U.N.O.:

STRUCTURAL EXTRUSIONS - ASTM B221 6063-T6; 25 KSI
ANCHOR BOLTS - ASTM F1554 GR. 36 OR A307; 36 KSI
STRUCTURAL CONNECTION FASTENERS - ASTM A193/A194/F593 TYPE 304, 316, 410, OR 18-8; 30 KSI

ALL ZINC PLATED FASTENERS SHALL BE ISOLATED w/ HARD URETHANE RUBBER GASKETS.

FABRICATOR SHALL FURNISH ALL PLATES, BOLTS AND ANGLES CAST INTO TIE BEAMS, FOOTINGS OR OTHER CONCRETE OR MASONRY.

ALL SHOP CONNECTIONS SHALL BE WELDED AND FIELD CONNECTIONS SHALL BE BOLTED U.N.O.

ALL EXPOSED EDGES AND SURFACES SHALL BE FINISHED AND FREE OF COURSE OR JAGGED EDGES.

STRUCTURAL BENTS AND FRAMES:

MECHANICAL CONNECTIONS IN BENTS AND/OR FRAMES, IF PRESENT, SHALL CONSIST OF A MINIMUM OF TWO (2) FASTENERS PER CONNECTION U.N.O.

JOINT FASTENERS SHALL BE INSTALLED TO SNUG TIGHT CONDITION U.N.O.

COLUMN SHAPES SHALL BE TUBULAR EXTRUSIONS SIZED FOR STRUCTURAL LOADS. MINIMUM SIZE SHALL BE 6"x6"x0.150".

BEAM SHAPES SHALL BE TUBULAR EXTRUSIONS SIZED FOR STRUCTURAL LOADS. MINIMUM SIZE SHALL BE 6"x6"x0.150".

STRUCTURAL DECK:

STRUCTURAL DECK SHALL CONSIST OF INTERLOCKING "SNAP-FIT" ALTERNATING CAP/PAN EXTRUDED COMPONENTS. DECK SYSTEM SHALL CONSIST OF NOMINAL 3" TALL AND NOMINAL 6" INCREMENTAL WIDTH SECTIONS.

STRUCTURAL DECK SECTIONS SHALL BE ATTACHED WITH A MINIMUM OF TWO (2) #14x1" SELF DRILLING SELF TAPPING SS "TEK" SCREWS WITH INTEGRAL NEOPRENE WASHER BENEATH 5/8"Ø CONICAL WASHER.

FASCIA:

END FASCIA SHALL CONSIST OF CUSTOM 3" NOMINAL HEIGHT SECTION FASTENED TO THE INSTALLED STRUCTURAL DECK.

SIDE FASCIA SHALL CONSIST OF 46x.093 GUTTER FASCIA EXTRUDED COMPONENTS INSTALLED PER PLANS.

FASCIA SHALL BE INSTALLED WITH #10 SS SDST "TEK" SCREW AT NOT MORE THAN 36" O.C. UPPER BRACE FASTENER SPACING SHALL NOT EXCEED 72" O.C. & SHALL BE FASTENED w/ (1) #10 SS SDST "TEK" SCREW AT EACH END OF BRACE.

FLASHING REQUIRED AS DICTATED BY PROJECT CONDITIONS SHALL CONSIST OF MIN. 0.040 THICKNESS FLAT MATERIAL CUSTOM FABRICATED AS INDICATED BY THESE DOCUMENTS.

FLASHING SHALL BE FASTENED WITH #10 SS SDST "TEK" SCREWS INTO METALS OR 1/4"x11/4" SS TAPCONS AT A MAXIMUM OF 36" O.C.

FLASHING IN CONTACT WITH UNPAINTED CONCRETE OR DISSIMILAR METALS SHALL BE ISOLATED BY USE OF NEOPRENE STRIP WASHER OR FIELD APPLIED CAULKING.

WELDING:

ALL WELDS SHALL BE BY TUNGSTEN INERT GAS (TIG) PROCESS AND PERFORMED BY QUALIFIED WELDERS.

ALL WELDS SHALL COMPLY WITH AWS D1.2

ALL WELDS SHALL BE ARCHITECTURAL GRADE FINISH.

ALL WELDS SHALL BE CONTINUOUS U.N.O. WELD SIZE SHALL BE BY AWS STANDARDS U.N.O.

HIGH STRENGTH GROUT:

SHALL BE VIBROPRUF #110R EQUIVALENT (ONE-PART DRY, NON-SHRINK, NON-METALLIC CEMENTITIOUS MATERIAL)

FINISHES:

ALL FINISHES TO BE 204-R1 CLEAR ANODIZE

DIVISION 2 - SITE WORK FOR BUILDING FOUNDATIONS:

THE GENERAL CONTRACTOR SHALL REVIEW THE GEOTECHNICAL REPORT FOR THIS SITE AND SHALL EXCAVATE, FILL, COMPACT AND PREPARE THE EXISTING SOILS AND NEW FILL FOR CONSTRUCTION OF THIS BUILDING AS SPECIFIED BY THAT REPORT.

FOUNDATIONS HAVE BEEN DESIGNED USING 2,000 PSF ALLOWABLE SOIL BEARING.

DIVISION 3 - CONCRETE:

THE FOLLOWING PUBLICATIONS ARE CONSIDERED A PART OF THIS STRUCTURAL SPECIFICATION:

- ACI 318: BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
- ACI 308-A: GUIDE TO CONCRETE CURING
- ACI 360R-08: GUIDE TO DESIGN OF SLABS ON GROUND
- ACI 302.1R-04: GUIDE FOR CONCRETE FLOOR & SLAB CONSTRUCTION

CONCRETE MATERIALS SHALL CONFORM TO ASTM C94 AND AS FOLLOWS:

- PORTLAND CEMENT SHALL CONFORM TO ASTM C150 AND BE TYPE I OR TYPE III.
- AGGREGATES SHALL CONFORM TO ASTM C33, AND SHALL BE WASHED AND CLEAN.
- WATER SHALL BE CLEAN AND POTABLE
- ADMIXTURES CONTAINING CHLORIDES SHALL NOT BE USED.

MINIMUM CONCRETE COMPRESSION STRENGTH AT 28 DAYS (F'_c) SHALL BE AS FOLLOWS:

- 3000 PSI SLAB ON GRADE, TIE BEAMS (3/4" MAX. AGGREGATE)
- 3000 PSI FOOTINGS (1-1/2" MAX. AGGREGATE)

REINFORCEMENT MATERIALS SHALL CONFORM TO THE FOLLOWING:

- BAR S SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A 615, GRADE 60.
- WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A 185.

MINIMUM REQUIRED CONCRETE COVER FOR REINFORCING STEEL (UNLESS NOTED OTHERWISE):

- FOOTINGS:
- FORMED BY EARTH:
 - 3" BOTTOM AND SIDES

- FORMED BY OTHER THAN EARTH & EXPOSED TO EARTH:
- 3" BOTTOM; 2" SIDES (BARS LARGER THAN #5), 1-1/2" SIDES (BARS #5 AND SMALLER)

REINFORCEMENT SHALL BE ACCURATELY PLACED, SUPPORTED, AND SECURED AGAINST DISPLACEMENT. USE METAL CHAIRS, RUNNERS, BOLSTERS, SPACERS, AND HANGERS AS REQUIRED. REINFORCEMENT ACCESSORIES IN CONTACT WITH FORMS SHALL HAVE HOT-DIP GALVANIZED LEGS OR PLASTIC TIPS.

PROVIDE CORNER BARS AT ALL CORNERS OF FOOTINGS, GRADE BEAMS, EDGE BEAMS, TIE BEAMS AND WALLS. CORNER BARS SHALL BE BENT LAP SPICE BARS AND SHALL BE THE SAME SIZE AND SPACING AS HORIZONTAL BARS.

LAP SPICES SHALL BE 48 BAR DIAMETERS OR 25 INCHES WHICHEVER IS GREATER.

TIE ALL REINFORCING MATS, CAGES, BUNDLES AND OTHER BAR ASSEMBLIES WITH BLACK ANNEALED WIRE, 16 GA MINIMUM.

LAP SPICES IN HORIZONTAL BARS IN FOOTINGS AND TIE BEAMS SHALL BE STAGGERED. IF LAP SPICES ARE REQUIRED OVER OPENINGS PROVIDE 48 BAR DIAMETERS MINIMUM

DO NOT WELD REINFORCING BARS, EXCEPT BUTT SPICES MAY BE WELDED IN ACCORDANCE WITH AWS D1.4.

ALL FOOTING ELEVATIONS SHOWN ARE TO TOP OF FOOTINGS.

ALL FOOTINGS ARE CENTERED UNDER WALLS OR COLUMNS UNLESS NOTED OTHERWISE.

FURNISH CONTINUOUS WALL FOOTING REINFORCING IN STOCK LENGTHS.

PROVIDE DOWELS AND SPICE BARS AT CORNERS AND THROUGH FOOTING STEPS. CONTINUOUS FOOTING REINFORCING SHALL BE SUPPORTED BY STEEL CHAIRS WITH SAND PLATES OR BY CONCRETE BRICKS. DO NOT USE WIRE SUPPORTS ALONE.

CAST DOWELS IN FOOTINGS FOR CONCRETE WALLS AND COLUMNS ABOVE. WALL DOWELS TO BE SAME NUMBER, SIZE AND SPACING AS THE VERTICAL WALL REINFORCING. COLUMN DOWELS TO BE SAME SIZE AND NUMBER AS VERTICAL COLUMN REINFORCING.

DOWELS IN FOOTINGS ARE TO PROJECT FROM FOOTINGS A MINIMUM OF 25" OR 40 BAR DIAMETERS, WHICHEVER IS GREATER.

PROVIDE STANDARD HOOK IN FOOTING DOWELS.

ALL REINFORCEMENT SHALL BE INSTALLED AND SUPPORTED PRIOR TO START OF CONCRETE PLACEMENT. "WET-STICKING" OF REINFORCING IS PROHIBITED.

PROVIDE SLEEVES FOR ALL PIPES, DUCTS, CONDUITS, ETC., WHICH PENETRATE CONCRETE STRUCTURAL MEMBERS PRIOR TO PLACEMENT OF CONCRETE. CUTTING OR DRILLING OF HARDENED CONCRETE NOT PERMITTED.

CURE ALL CONCRETE IN ACCORDANCE WITH ACI-308.

PROVIDE 3/4" CHAMFERS ON ALL EXPOSED CONCRETE EDGES, UNLESS NOTED OTHERWISE.

APPLY 2-COMPONENT EPOXY BONDING AGENT TO EXISTING SURFACES WHERE NEW CONCRETE IS TO BE PLACED AGAINST EXISTING CONCRETE.

ANCHORING EPOXY SHALL BE 2-PART EPOXY RESIN INJECTION TUBE MIXED SUCH AS POWERS, HILTI, OR SIMPSON OR ENGINEER APPROVED ALTERNATIVE. INSTALLER SHALL CLOSELY FOLLOW ALL MANUFACTURER INSTALLATION INSTRUCTIONS.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY RYAN L. GREEN ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

STRUCTURAL ENGINEERING SERVICES PROVIDED BY:



14960 Orange River Rd.
Fort Myers, FL 33905
TEL. 239.898.9172

Certificate of Authorization No. 33847

THIS DESIGN HAS BEEN PERFORMED BY A LICENSED PROFESSIONAL ENGINEER.

AND IS BASED ON THE ENGINEER'S KNOWLEDGE, INFORMATION, AND BELIEF IN ACCORDANCE WITH APPLICABLE GOVERNING CODES AND ACCEPTED PROCEDURES CONSISTENT WITH APPLICABLE STANDARDS OF PRACTICE, AND IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED. ALL RIGHTS RESERVED.



Project:

Chinsegut Hill - Dining Hall

22495 Chinsegut Hill Rd, Brooksville, FL 34601

Contractor:

Coastal Engineering Associates, Inc.

Aluminum Walkway Cover

Sheet #:

Date: 09/24/2024

Revision Dates:

Drawn by: BJB

Project #: 23-011

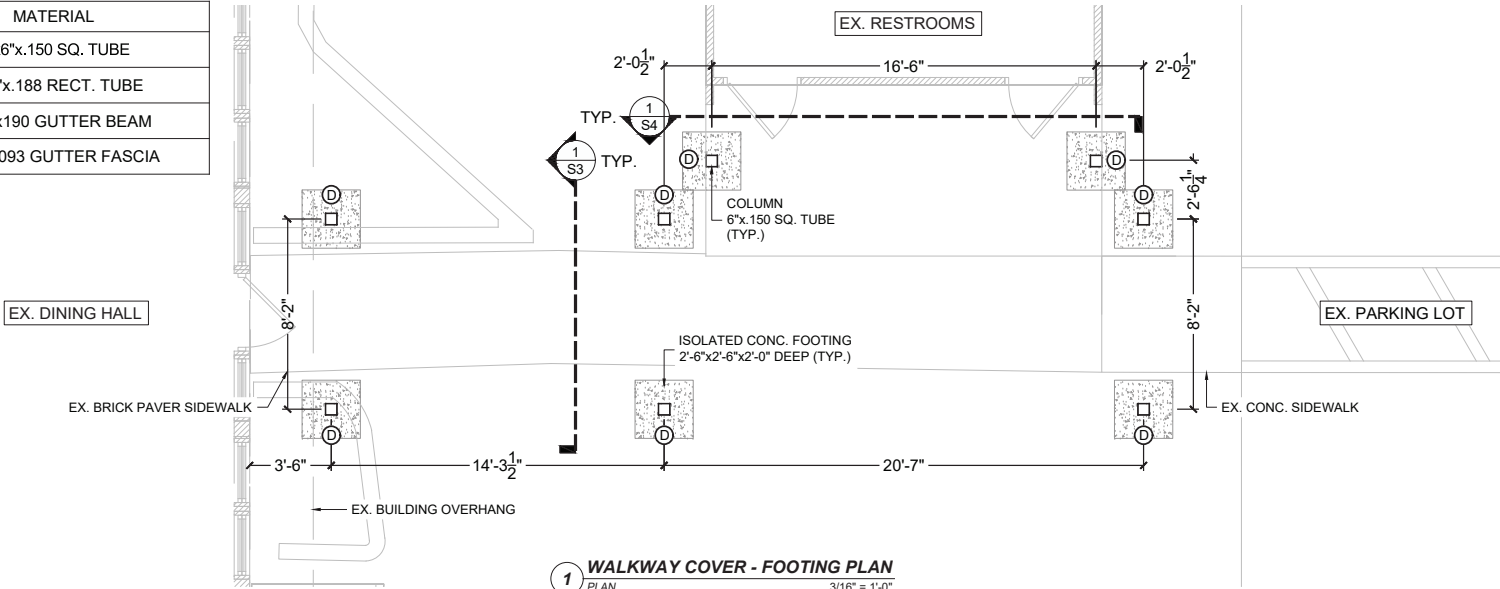
S1

BEAM SCHEDULE

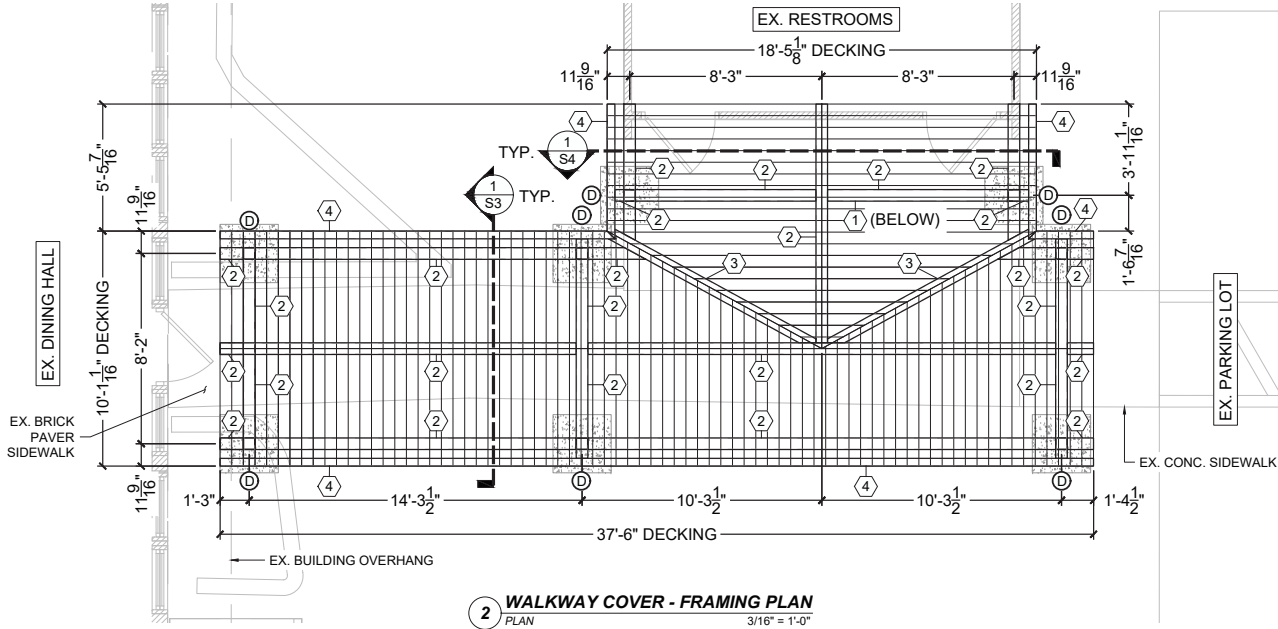
MARK	MATERIAL
①	6"x6"x.150 SQ. TUBE
②	6"x8"x.188 RECT. TUBE
③	6"x8"x.190 GUTTER BEAM
④	4"x6"x.093 GUTTER FASCIA

⊙ DRAIN

ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.



1 WALKWAY COVER - FOOTING PLAN
PLAN
3/16" = 1'-0"



2 WALKWAY COVER - FRAMING PLAN
PLAN
3/16" = 1'-0"



3 SITE PLAN
NTS

STRUCTURAL ENGINEERING
SERVICES PROVIDED BY:



14960 Orange River Rd.
Fort Myers, FL 33905
TEL. 239.898.9172
Certificate of Authorization No. 33847

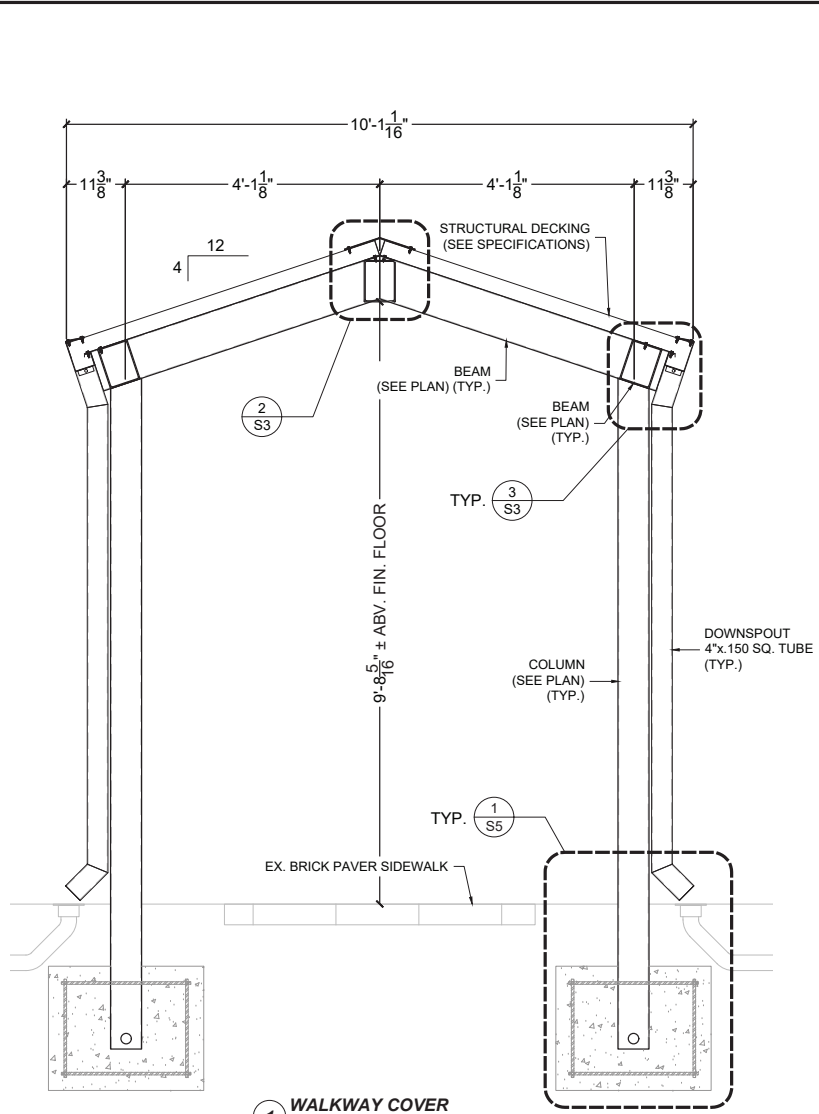
THIS DESIGN HAS BEEN PERFORMED BY A LICENSED PROFESSIONAL ENGINEER, AND IS BASED ON THE ENGINEER'S KNOWLEDGE, INFORMATION, AND BELIEF IN ACCORDANCE WITH APPLICABLE GOVERNING CODES AND ACCEPTED PROCEDURES CONSISTENT WITH APPLICABLE STANDARDS OF PRACTICE, AND IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED. ALL RIGHTS RESERVED.



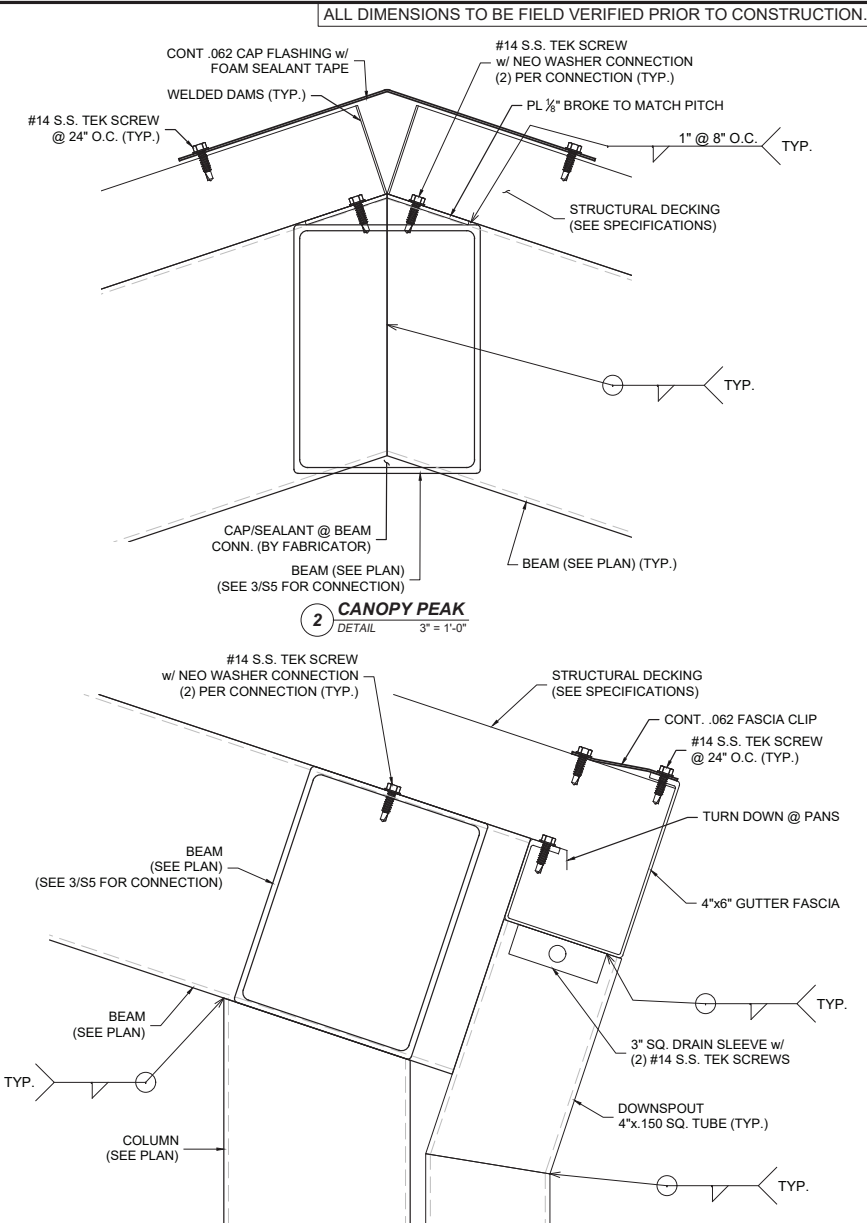
Project:
Chinsegut Hill
22495 Chinsegut Hill Rd, Brooksville, FL 34601
Contractor:
Coastal Engineering Associates, Inc.

Aluminum Walkway Cover		Sheet #:
Date:	09/24/2024	S2
Revision Dates:		
Drawn by:	BJB	
Project #:	23-011	

8/27/2024 6:16 AM ET 25-01 Chinsegut Hill - ANWS.dwg



1 WALKWAY COVER
SECTION 1/2" = 1'-0"



2 CANOPY PEAK
DETAIL 3" = 1'-0"

3 BEAM TO COL. / DOWNSPOUT
DETAIL 3" = 1'-0"

ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

STRUCTURAL ENGINEERING SERVICES PROVIDED BY:



14960 Orange River Rd.
Fort Myers, FL 33905
TEL. 239.898.9172
Certificate of Authorization No. 33847

THIS DESIGN HAS BEEN PERFORMED BY A LICENSED PROFESSIONAL ENGINEER, AND IS BASED ON THE ENGINEER'S KNOWLEDGE, INFORMATION, AND BELIEF IN ACCORDANCE WITH APPLICABLE GOVERNING CODES AND ACCEPTED PROCEDURES CONSISTENT WITH APPLICABLE STANDARDS OF PRACTICE, AND IS NOT A WARRANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED. ALL RIGHTS RESERVED.

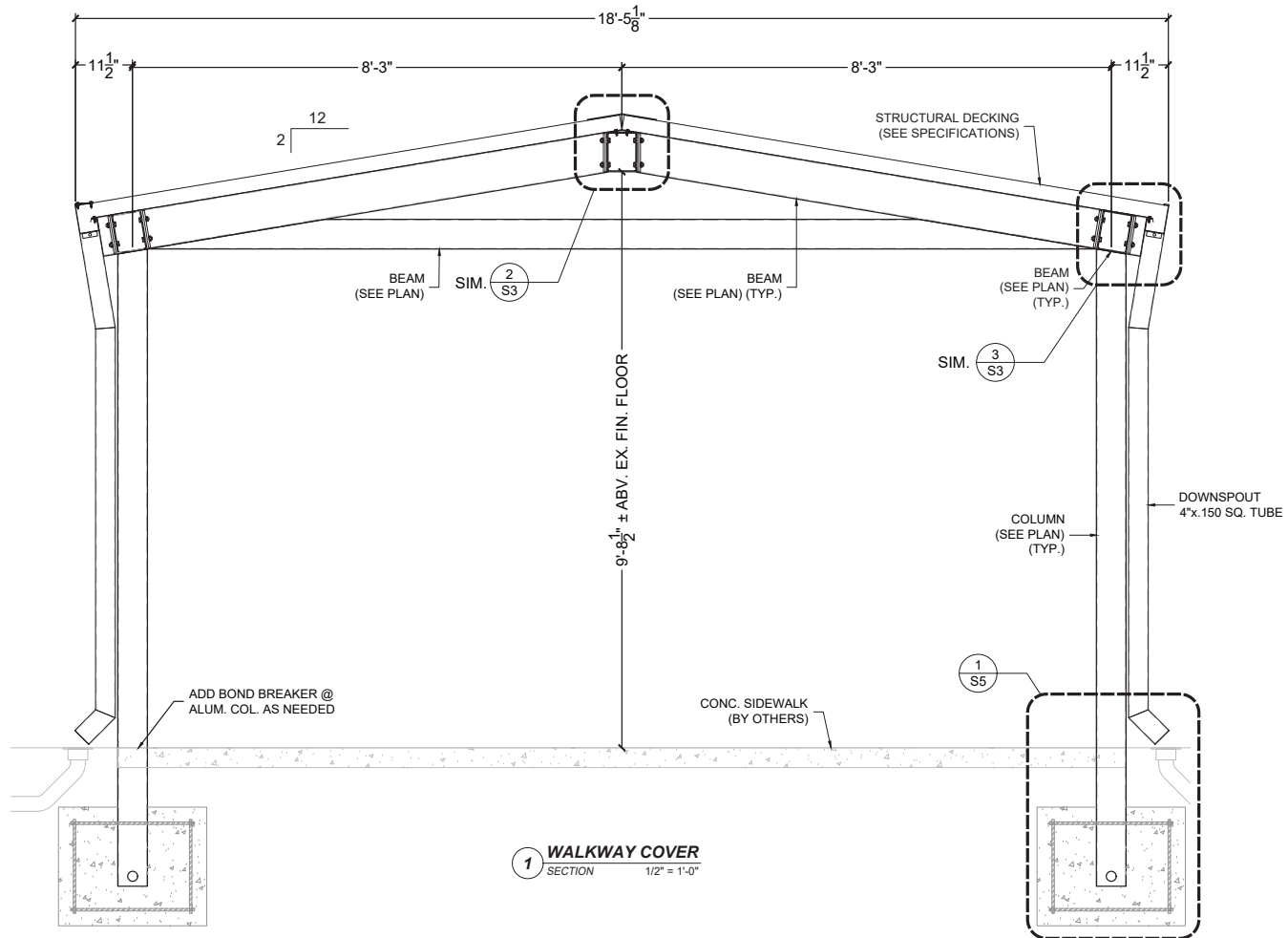


Project: Chinsegut Hill
22495 Chinsegut Hill Rd, Brooksville, FL 34601
Contractor: Coastal Engineering Associates, Inc.

Aluminum Walkway Cover		Sheet #:
Date:	09/24/2024	S3
Revision Dates:		
Drawn by:	BJB	
Project #:	23-011	

8/27/2024 6:16 AM ET 23-011 Chinsegut Hill - AWVC.dwg

ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.



STRUCTURAL ENGINEERING SERVICES PROVIDED BY:



14960 Orange River Rd.
Fort Myers, FL 33905
TEL. 239.898.9172
Certificate of Authorization No. 33847

THIS DESIGN HAS BEEN PERFORMED BY A LICENSED PROFESSIONAL ENGINEER, AND IS BASED ON THE ENGINEER'S KNOWLEDGE, INFORMATION, AND BELIEF IN ACCORDANCE WITH APPLICABLE GOVERNING CODES AND ACCEPTED PROCEDURES CONSISTENT WITH APPLICABLE STANDARDS OF PRACTICE, AND IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED. ALL RIGHTS RESERVED.



Project:

Chinsegut Hill

22495 Chinsegut Hill Rd, Brooksville, FL 34601

Contractor:

Coastal Engineering Associates, Inc.

Aluminum Walkway Cover

Sheet #:

Date: 09/24/2024

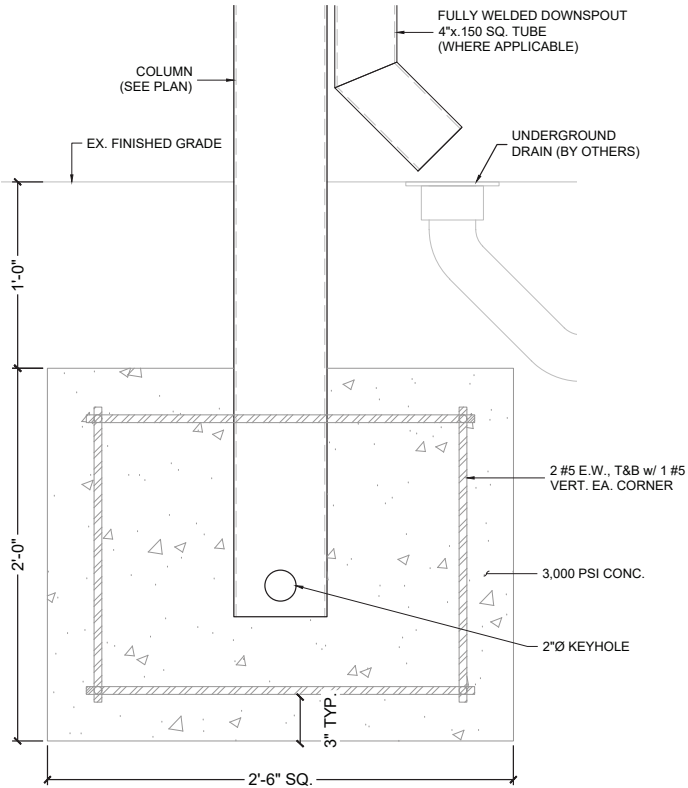
Revision Dates:

Drawn by: BJB
Project #: 23-011

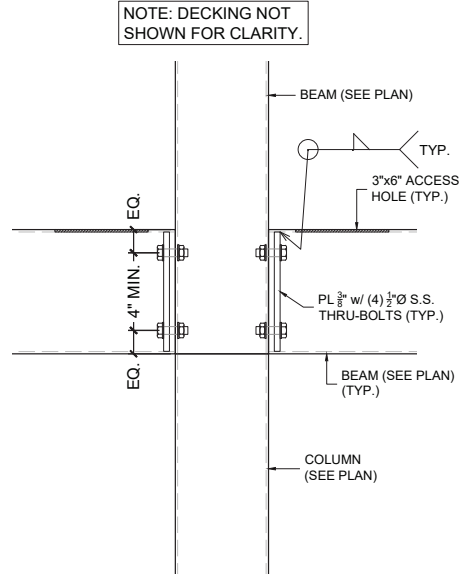
S4

23-011 Chinsegut Hill - AWOC.dwg

ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

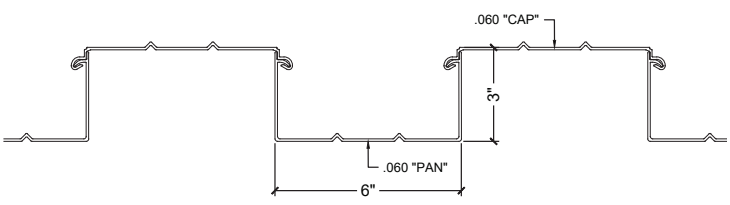


1 TYPICAL FOOTING
DETAIL 1-1/2" = 1'-0"



2 TYPICAL BEAM TO BEAM CONNECTION
DETAIL 1-1/2" = 1'-0"

NOTE: DECKING NOT SHOWN FOR CLARITY.



3 STRUCTURAL DECKING PROFILE
DETAIL 3" = 1'-0"

STRUCTURAL ENGINEERING SERVICES PROVIDED BY:



14960 Orange River Rd.
Fort Myers, FL 33905
TEL. 239.898.9172
Certificate of Authorization No. 33847

THIS DESIGN HAS BEEN PERFORMED BY A LICENSED PROFESSIONAL ENGINEER, AND IS BASED ON THE ENGINEER'S KNOWLEDGE, INFORMATION, AND BELIEF IN ACCORDANCE WITH APPLICABLE GOVERNING CODES AND ACCEPTED PROCEDURES CONSISTENT WITH APPLICABLE STANDARDS OF PRACTICE, AND IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED. ALL RIGHTS RESERVED.

BUSTARD
DRAFTING & DESIGN

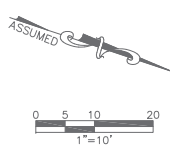
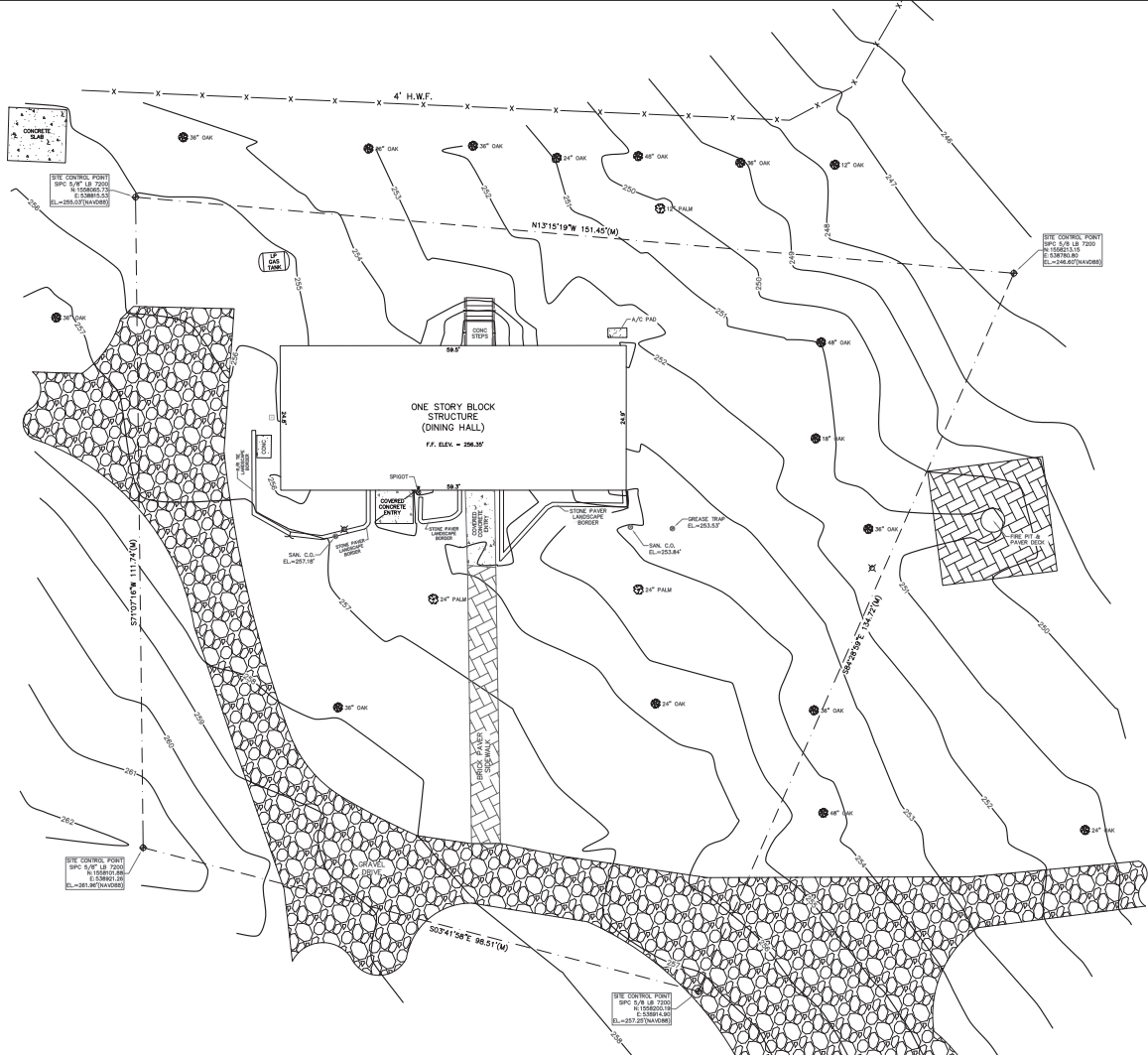
Project:
Chinsegut Hill

22495 Chinsegut Hill Rd, Brooksville, FL 34601

Contractor:
Coastal Engineering Associates, Inc.

Aluminum Walkway Cover		Sheet #:
Date:	09/24/2024	S5
Revision Dates:		
Drawn by:	BJB	
Project #:	23-011	

23-011 Chinsegut Hill - ANWOC.dwg



DESCRIPTION
 DESIGN SURVEY OF A PORTION OF CHINSEGUT HILL MANOR AROUND THE DINING HALL AREA OF THE RETREAT LODGES. THIS SURVEY IS FOR THE DESIGN OF A NEW RESTROOM BUILDING.

⊗	OAK	16
⊙	PALM	3

N.A.V.D. 1988 DATUM
 ELEVATIONS BASED ON N.G.S.
 T.B.M. HBRNCO-7, ELEV.=83.82.
 A 4X4CM WITH A BRASS DISK LOCATED AT
 THE INTERSECTION OF U.S. HWY. #41 &
 C.R. #581 (SNOW MEMORIAL HWY.)

- | | | | | | | |
|--|---|---|--|--|--|--|
| <p>C1 = SEE CURVE TABLE
 LT = SEE LINE TABLE
 (C) = CALCULATED
 (P) = PLAT OR MAP
 (M) = FIELD MEASURED
 (R) = RECORD OF DEED
 (F) = FOUND IRON PIN NO ID
 FIRC = FOUND IRON PIN AND CAP
 FNCM = FOUND NAIL AND DISK
 FCM = FOUND CONCRETE MONUMENT
 SPC = SET IRON PIN AND CAP
 SCM = SET CONCRETE MONUMENT
 CONC = CONCRETE
 RES = RESIDENCE</p> | <p>CBS = CONCRETE BLOCK STRUCTURE
 C.L.F. = CHAIN LINK FENCE
 B.W.F. = BARBED WIRE FENCE
 H.W.F. = HOOD WIRE FIELD FENCE
 SW = SIDEWALK
 OHP = OVERHEAD POWER
 ELEC = ELECTRIC
 EP = EASE OF PAVEMENT
 D.R. = OFFICIAL RECORD
 P.B. = PLAT BOOK
 PC = PAGE
 POC = POINT OF CURVATURE
 POT = POINT OF TANGENT
 PPT = PERMANENT CONTROL POINT</p> | <p>PRM = PERMANENT REFERENCE MARKER
 R/W = RIGHT-OF-WAY
 AC = AIR CONDITIONER PAD
 CS = CONCRETE SLAB
 CE = COVERED ENTRY
 SEC = SECTION
 MES = METERED END SECTION
 RSPF = REINFORCED CONCRETE PIPE
 TOB = TOP OF BANK
 TOE = TOE OF SLOPE
 POB = POINT OF BEGINNING
 POC = POINT OF COMMENCEMENT
 PRC = POINT OF REVERSE CURVE
 PCC = POINT OF COMPOUND CURVE</p> | <p>+100.0' = EXISTING ELEVATION
 ⊕ = SIGN
 ⊙ = FIRE HYDRANT
 ⊖ = UTILITY POLE
 ⊕ = LIGHT POLE
 ⊕ = UTILITY GATE VALVE
 ⊕ = TELEPHONE SERVICE RISER
 ⊕ = ELECTRIC TRANSFORMER
 ⊕ = FIBER OPTIC BOX
 ⊕ = WATER METER
 ⊕ = SANITARY MANHOLE</p> | <p>□ = UTILITY SPLICE BOX
 ⊕ = CATV MARKER
 ⊕ = FOUND IRON PIN & CAP (AS SHOWN)
 ⊕ = SET IRON PIN AND CAP (5/8" IR LB #7200)
 ⊕ = FOUND NAIL AND DISK (AS SHOWN)
 ⊕ = SET NAIL AND DISK (LB #7200)
 ⊕ = FOUND CONCRETE MONUMENT (AS SHOWN)
 ⊕ = SET CONCRETE MONUMENT (4X4" LB #7200)
 ⊕ = DESCRIPTIVE POINT</p> | <p>1. BEARINGS SHOWN HEREON BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
 2011 ADJUSTMENT BEARINGS SHOWN HEREON ARE GRID BEARINGS.
 2. DESCRIPTION AS SHOWN HEREON WAS PROVIDED.
 3. BASIS FOR SURVEY IS DESCRIPTION, RECORD PLAT, AND MONUMENTATION FOUND IN PLACE.
 4. NO UNDERGROUND OR IMPROVEMENTS OR UTILITIES HAVE BEEN LOCATED EXCEPT AS NOTED; THE HORIZONTAL LOCATION OF UNDERGROUND IMPROVEMENTS IS BASED ON THE FLAGGED LOCATION PROVIDED BY THE CONTRACTOR. SOFT DISKS TO CONFIRM SAID LOCATIONS WERE NOT PERFORMED EXCEPT WHERE TOP OF PIPE ELEVATIONS ARE INDICATED.
 5. THIS SURVEY IS OF VISIBLE FEATURES ONLY; UNDERGROUND ENCROACHMENTS, IF ANY, WERE NOT LOCATED. GUTTERS, OVERHANGS, WINDOW SILLS, OR UNDERGROUND FOUNDATIONS NOT LOCATED.
 6. THE OWNERSHIP OF FENCES, IF ANY EXIST, ON OR NEAR THE PROPERTY LINES IS NOT KNOWN BY THIS SURVEYOR.
 7. ADDITIONS, DELETIONS REPRODUCTION OF SURVEY DRAWINGS BY OTHER THAN THE SIGNED PARTY OR PARTIES IS PROHIBITED BY LAW WITHOUT WRITTEN CONSENT OF THE SIGNED PARTY OR PARTIES.
 8. THIS SURVEY MAP IS VALID ONLY TO THOSE PERSONS OR ENTITIES NAMED HEREON: COASTAL ENGINEERING ASSOCIATES, INC. WILL ASSUME NO RESPONSIBILITY FOR THE UNAUTHORIZED REPRODUCTION AND/OR REDISTRIBUTION OF THIS SURVEY MAP.</p> | <p>9. ELEVATIONS AS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988, UNLESS OTHERWISE NOTED.
 10. THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF A COMPLETE TITLE REPORT OR TITLE ABSTRACT AND THEREFORE MAY NOT NECESSARILY SHOW ALL RIGHT-OF-WAYS, EASEMENTS OR OTHER ENCUMBRANCES OF RECORD.
 11. THIS PROPERTY IS SUBJECT TO ANY DEDICATION, LIMITATIONS, RESERVATIONS, RESTRICTIONS, AND/OR EASEMENTS OF RECORD AND NOT OF RECORD.
 12. THE EXPECTED USE OF THE PROPERTY AS DESCRIBED HEREON, AS CLASSIFIED IN THE STANDARDS OF PRACTICE (5-17 OF THE FLORIDA ADMINISTRATIVE CODE), IS "SUBURBAN"; THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 2,000 FEET; THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO MEET OR EXCEED THIS REQUIREMENT.
 13. THE PROPERTY DESCRIBED HEREON APPEARS TO BE IN FLOOD ZONE "X" (AREA DETERMINED TO FALL OUTSIDE OF THE 0.2% CHANCE ANNUAL FLOODPLAIN) AS SCALED FROM THE FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 120110, MAP NUMBER 12053C, PANEL NUMBER 0201-0, EFFECTIVE DATE 02/02/2012.</p> |
|--|---|---|--|--|--|--|

SHEET 1	DATE	SURVEYOR	DRAWN BY	FIELD BOOK/PAGE	FIELD DATE	SURVEY CREW
	2/16/23	SMD	JMP	39-06	2/13/23	RA
OP 1 SHEET	DATE	SURVEYOR	REV. BY	REVISION		
23005						

REUSE OF DOCUMENT
 THIS DOCUMENT, COMPRISED OF THE
 INCORPORATED IDEAS AND DESIGNS,
 AS AN INSTRUMENT OF PROFESSIONAL
 SERVICE, IS THE PROPERTY OF COASTAL
 ENGINEERING ASSOCIATES, INC. AND IS
 NOT TO BE USED, IN WHOLE OR IN PART
 FOR ANY OTHER PURPOSE WITHOUT THE
 WRITTEN AUTHORIZATION OF COASTAL
 ENGINEERING ASSOCIATES, INC.

Coastal
 Engineering
 Planning
 Surveying
 Environmental
 Construction Management
 engineering associates, inc.

966 Candlelight Blvd. 3703 East Forest Drive
 Brooksville, FL 34601 Inverness, FL 34453
 Office: 352-796-9423 352-344-2016
 EB-000142

FLORIDA CERTIFICATE OF AUTHORIZATION NO. 7200

DESIGN SURVEY
 OF THE DINING HALL AREA AT CHINSEGUT HILL MANOR
 SECTION 36, TOWNSHIP 21 SOUTH, RANGE 19 EAST
 HERNANDO COUNTY, FLORIDA

PREPARED FOR AND CERTIFIED TO:
HERNANDO COUNTY BOARD OF COUNTY COMMISSIONERS

SURVEYORS CERTIFICATE
 THIS SURVEY MEETS ALL APPLICABLE REQUIREMENTS OF THE FLORIDA STANDARDS OF PRACTICE AS CONTAINED IN CHAPTER 5-17 OF THE FLORIDA ADMINISTRATIVE CODE.

DATE SIGNED
 SCOTT M. COCHRANE, PSM PROFESSIONAL SURVEYOR AND MAPPER, FLORIDA CERTIFICATE NO. 153408
 SURVEY NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER FOR HARD COPIES OF SIGNED DRAWINGS AND SEAL ACCOMPANIED BY A VALID ELECTRONIC SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER FOR ELECTRONIC COPIES.

August 20, 2024

CXT Inc.-dba Carr Concrete (WV)
362 Waverly Road
Williamstown, WV 26187

RE: MAF-12933-CR-1836-FL

NTA JOB NUMBER: CXT(WV)080624-20

To Whom it May Concern:

The referenced manufactured building has been reviewed and approved. ICC-NTA LLC certifies this plan is in compliance with 8TH Edition (2023) Florida Codes with 2024 Supplement 1 –as referenced in the approved drawings. This approval covers the factory build structure only. Any alterations to the factory-built structure, on site, voids the approval. This plan is subject to the following limitations:

1. This plan is **NOT** approved for High Velocity Hurricane Zone (i.e. Broward and Dade Counties).
2. Signed and sealed plans are on file with ICC NTA, LLC.
3. The Chapter 633 Plan Review and Inspection shall be conducted by the local fire safety inspector.
4. Items installed on site are subject to review and approval by the local authority having jurisdiction. Please reference the list of site installed items on the approved plans.
5. This review included products for compliance with 553.8425 or FAC Chapter 61G20-3.

If you have any additional questions or comments regarding this matter, please contact me at your convenience at (574) 773-7975.

Respectfully,

Michael Faller

Michael Faller SMP-056
Account Manager
ICC-NTA LLC



A MEMBER OF THE ICC FAMILY OF SOLUTIONS

NOTES

- BUILDING IS DESIGNED TO COMPLY WITH PERTINENT GUIDELINES OF THE AMERICANS WITH DISABILITIES ACT (ADA).
- DESIGN COMPLIES WITH THE PROVISIONS OF THE 2023 FLORIDA BUILDING CODE FOR THE FOLLOWING LOADS:
 GROUND SNOW LOAD = 250 PSF
 ROOF SNOW LOAD = 210 PSF
 FLOOR LIVE LOAD = 400 PSF
 WIND - V = 170 MPH
 WIND - V_{AGG} = 131 MPH
 WIND EXPOSURE = C
 SEISMIC CATEGORY = B
 OCCUPANCY = U
 RISK CATEGORY = II
 CONSTRUCTION TYPE = V-B (UNPROTECTED)
 EXTERIOR WALLS: 1-HR RATED PER FBC TABLE 721.1(2)
 OCCUPANT LOAD = 3
 ***BUILDING IS NOT TO BE PLACED IN A LOCATION WHERE LOADS EXCEED THE VALUES PROVIDED ABOVE
 ***BUILDING IS NOT TO BE PLACED IN A HIGH VELOCITY HURRICANE ZONE
- CONCRETE STRENGTH f'_{ci} = 2500 PSI INITIAL, f'_c = 5000 PSI
 FINAL AIR ENTRAINMENT 6% ± 1 1/2% IN PLASTIC CONCRETE.
 REINFORCING STEEL: ASTM A615, #3 GRADE 40, #4 AND LARGER GRADE 60 F_y=60 KSI
 MINIMUM LAP 18" AT SPLICES. TIE BARS WITH DOUBLE ANNEALED 16 GA IRON WIRE.
 REINFORCING TO BE PLACED IN CENTER OF PANEL UNO.
 WELDED WIRE FABRIC (W.W.F.): ASTM A1064 GRADE 80, 4x4xW6.7xW6.7, F_y=80 KSI (OR EQUIVALENT), SMOOTH WIRE, MIN. LAP 2 SQUARES.
- EMBEDDED ITEMS IDENTIFIED ON DRAWINGS (i.e. PS-2 SS, R301) REFER TO CXT STANDARD EMBEDMENT CATALOG.
- BACK OF PANELS TO HAVE SMOOTH TROWEL FINISH U.N.O. ALL SURFACES TO BE TEXTURED ARE NOTED ON PANEL DWG'S
- REFER TO SEPARATE CXT INCORPORATED SPECIFICATIONS COVERING DESIGN, MATERIALS, PRODUCTION, AND INSTALLATION CRITERIA FOR SPECIFIC STYLE OF BUILDING.
- ALL REBAR BENDS TO HAVE A MINIMUM RADIUS OF 6x THE BAR DIAMETER.
- THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON THE UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT.
- THESE PLANS COMPLY WITH RULE 61G20-3.006 (PRODUCT APPROVAL)
- THESE PLANS COMPLY WITH THE LATEST FBC, EFFECTIVE DEC 31, 2023.
- THIS BUILDING IS NOT TO BE LOCATED IN A FLOOD HAZARD AREA.
- FOUNDATION DESIGN FOR FLOOD HAZARD AREAS IS PROVIDED ONSITE BY OTHERS, NOT BY CXT.
- FIRE SEPARATION DISTANCE TO BE 10' MINIMUM FROM ADJACENT STRUCTURES AND PROPERTY LINES. IF FIRE DISTANCE SEPARATION IS LESS THAN 10 FEET, SEE FBC 705.8.1.
- INSTALLATION TO MEET APPLICABLE LOCAL, STATE, & FEDERAL CODES, BY OTHERS.
- ADEQUATE PLUMBING FACILITIES MUST BE PROVIDED IN ACCORDANCE WITH THE 2023 FBC SECTION 2902.3 (NOT BY CXT).
- FLORIDA APPROVED PRODUCTS WILL BE INSTALLED PER THE MANUFACTURERS FLORIDA PRODUCT APPROVAL REPORT INSTRUCTIONS.
- THE RAISED (OR ELECTRONIC) SEALED SET OF PLANS ARE ON FILE IN THE THIRD PARTY AGENCY'S OFFICE AS DIRECTED BY THE DBPR.
- THIS BUILDING IS SUBJECT TO REVIEW AND APPROVAL OF THE FIRE INSPECTOR ON SITE TO COMPLIANCE WITH CH. 633 FIRE SAFETY CODE.
- THE MANUFACTURER'S DATA SHEET AND STATE (DBPR) INSIGNIA SHALL BE PERMANENTLY MOUNTED TO OR ABOUT THE ELECTRICAL PANEL.

CORTEZ

MANUFACTURED BY:
 CXT INC. (WV)
 362 WAVERLY ROAD
 WILLIAMSTOWN, WV 26187

SITE ADDRESS:
 CHINSEGUT HILL RETREAT
 22495 CHINSEGUT HILL RD
 BROOKSVILLE, FL 34601

These prints comply with the Florida Manufacture Building Act and adopted Codes and address in the following manner:

Date: 8/20/2024
 Designer: [Blank]
 Approve Inc.: [Blank]
 of Floor: [Blank]
 Visit Website: [Blank]
 File No.: [Blank]
 Est. No.: [Blank]
 Plan No.: [Blank]
 Allow. Floor Load: [Blank]
 Approval Date: [Blank]
 Manufacturer: [Blank]

Date: 8/20/2024
 Designer: [Blank]
 Approve Inc.: [Blank]
 of Floor: [Blank]
 Visit Website: [Blank]
 File No.: [Blank]
 Est. No.: [Blank]
 Plan No.: [Blank]
 Allow. Floor Load: [Blank]
 Approval Date: [Blank]
 Manufacturer: [Blank]

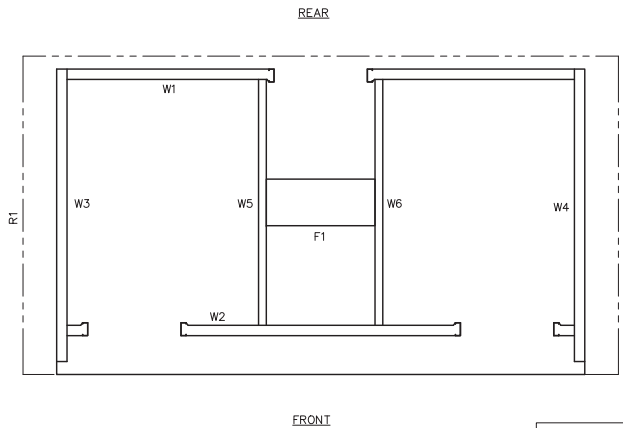
DATE 8/20/2024 CERT NO SMP-056
 PLAN NUMBER MAF-12938-CR-1836
 APPROVED BY Michael Falter

[Signature]
 (signature)

INDEX OF DRAWINGS

NO.	TITLE
CR-01	COVER SHEET
CR-02	RIGGING DETAIL
CR-03	FLOOR PLAN
CR-04	BUILDING ELEVATIONS
CR-05	INTERIOR ELEVATIONS
CR-06	CASTING DETAILS
CR-07	WALL PANEL MARK W1
CR-08	WALL PANEL MARK W2
CR-09	WALL PANEL MARK W3
CR-10	WALL PANEL MARK W4
CR-11	WALL PANEL MARK W5
CR-12	WALL PANEL MARK W6
CR-13	FLOOR SLAB MARK F1
CR-14	ROOF SLAB MARK R1
CR-15	ROOF SLAB MARK R2
CR-16	FOUNDATION DETAIL
CR-17	FLOOR DRAIN LOCATIONS & BELOW FLOOR PIPING
CR-18	WATER, WASTE & VENT PIPING PLANS & NOTES
CR-19	PLUMBING SCHEDULE, DIAGRAMS & NOTES
CR-20	ELECTRICAL NOTES & SCHEDULES
CR-21	ELECTRICAL PLAN, LEGEND & NOTES
CR-22	EMBEDDED MATERIALS

PANEL MARK NO. KEY PLAN



APPLICABLE CODES

- 8TH EDITION (2023) FLORIDA BUILDING CODE (2021 IBC)
- 8TH EDITION (2023) FLORIDA PLUMBING CODE (2021 IPC)
- 8TH EDITION (2023) FLORIDA MECHANICAL CODE (2021 IMC)
- 2020 NATIONAL ELECTRICAL CODE
- 8TH EDITION (2023) FLORIDA ACCESSIBILITY CODE (2017 A117.1)
- 8TH EDITION (2023) FLORIDA ENERGY CONSERVATION CODE (2019 ASHRAE 90.1)

SPECIAL CONDITIONS AND/OR LIMITATIONS

ACCESSIBILITY TO THIS BUILDING, INCLUDING PARKING IS TO BE PROVIDED BY OTHERS AND CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL BUILDING CODES

ATTENTION LOCAL INSPECTIONS DEPARTMENT SITE INSTALLED ITEMS

- THE FOLLOWING ITEMS HAVE NOT BEEN COMPLETED BY THE MANUFACTURER, HAVE NOT BEEN INSPECTED BY PFS AND ARE NOT CERTIFIED BY THE STATE MODULAR LABEL. NOTE THAT THIS LIST DOES NOT NECESSARILY LIMIT THE ITEMS OF WORK AND MATERIAL THAT MAY BE REQUIRED FOR A COMPLETE INSTALLATION. ALL SITE RELATED ITEMS ARE SUBJECT TO LOCAL JURISDICTION APPROVAL. CODE COMPLIANCE MUST BE DETERMINED AT THE LOCAL LEVEL.
- THE COMPLETE FOUNDATION SUPPORT AND TIE DOWN SYSTEM.
 - ACCESSIBILITY TO THE BUILDING
 - PLUMBING SUPPLY, WASTE, AND VENT PIPING BETWEEN UNITS AND PIPING DENOTED AS "NOT BY CXT"
 - ELECTRICAL SERVICE HOOK-UP (INCLUDING FEEDERS) TO THE BUILDING
 - CONNECTION OF ELECTRICAL CIRCUITS BETWEEN UNITS.
 - STRUCTURAL AND AESTHETIC CONNECTIONS BETWEEN UNITS
 - CHAPTER 633 FIRE SAFETY CODE REVIEW & INSPECTION
 - SITE ADDRESS PER FBC 501.2



6701 E Flamingo Ave Bldg 300 Nampa, ID 83687
 901 N. Highway 77 Hillsboro, TX 76645
 362 Waverly Road Williamson, WV 26187

PROJECT FILE
CORTEZ
 BUILDING NUMBER CR-1836

NOTICE
 The information contained herein is proprietary and the exclusive property of CXT Incorporated. The information may only be used by the original recipient for the purpose intended. Reproduction or distribution of this information is strictly prohibited without the prior written consent of CXT Incorporated. By allowing use of this information, CXT Incorporated grants no warranty, express or implied, including a warranty of merchantability or of fitness for a particular purpose.
 CXT Incorporated

CASING TOLERANCES:
 OVERALL LENGTH OR WIDTH
 10 FT OR UNDER = ± 1/8"
 10 TO 20 FT = ± 1/16" - 3/16"
 20 TO 40 FT = ± 1/4"
 EDGE REINFORCEMENT TO BE NO MORE THAN 4" FROM FORM
 TOTAL THICKNESS = -1/8, +1/4
 VARIATION FROM SQUARE = ± 1/8 PER 6 FT OF DIAGONAL
 LOCAL SMOOTHNESS = 1/4" IN 10 FT
 SWEPT = ± 1/4"
 POSITION OF TENDONS = ± 1/4"
 POSITION OF BLOCCOUTS = ± 1/4"
 SIZE OF BLOCCOUTS = ± 1/4"
 POSITION OF EMBEDS = ± 1/4"
 TIPPING AND FLUSHNESS OF PLATES = +1/16, -1/4
 BOWING = LENGTH/250
 END SQUARENESS = ± 1/8"

FLORIDA STATE TAG, APPROVAL, AND PE DRAWINGS (ECC ONLY) REQUIRED
 WALL TEXTURE: BOARD & BATT
 WALL COLOR: OATMEAL BUFF
 ROOF TEXTURE: CEDAR SHAKE
 ROOF COLOR: NUSS BROWN
 TRIM PAINT: DTM ALKYD ENAMEL BROWN
 SEALER: STANDARD
 PACKAGE: STANDARD

APPROVED PRODUCTS LIST			
PRODUCT CATEGORY	SUB CATEGORY	MANUFACTURER	FLORIDA APPROVAL NUMBER
ROOFING	CEMENTS-ADHESIVES-C OATINGS	UNITED COATINGS MANUFACTURING COMPANY	MIAMI-DADE NOA NO. 20-0130.07
EXTERIOR DOORS	SWINGING EXTERIOR DOOR ASSEMBLIES	CECO DOOR PRODUCTS	FLORIDA FL 4553
WINDOWS	GLASS BLOCK	SEVES GLASS BLOCK, INC (FL)	MIAMI-DADE NOA NO. 20-1110.08
SHUTTERS	STORM PANELS	EASTERN METAL SUPPLY	FLORIDA FL28390-R1

FOUNDATION:
 IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF BUSINESS & PROFESSIONAL REGULATION, THESE BUILDINGS PLANS DO NOT CONTAIN FOUNDATION SUPPORT AND THE DOWN SYSTEM DETAILS AND SPECIFICATIONS. THE ARCHITECT/ENGINEER OF BUILDING PLANS SHOULD BE CONTACTED TO OBTAIN APPROPRIATE FOUNDATION PLANS. IF FOUNDATION PLANS ARE DESIGNED BY OTHERS, THE ARCHITECT/ENGINEER OF BUILDING PLANS SHALL NOT BE HELD RESPONSIBLE OR LIABLE FOR THE FOUNDATION DESIGN AND THE CONSEQUENTIAL PERFORMANCE OF THE STRUCTURAL COMPONENTS AND SYSTEMS RELATING THERETO.

NO.	REVISION	DATE	APPROVAL	DATE

SCALE: 1/4" = 1'-0" DATE: 7-20-24
 DRAWN: [Blank] FILE NO.: CR-1836
 CHECKED: [Blank] PLOT: 48

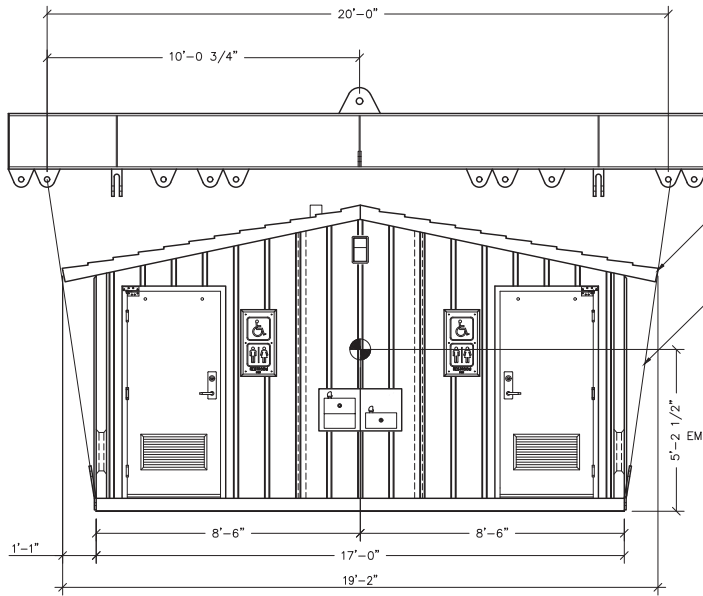
COVER SHEET

DWG NO. CR-01 SHEET 1 OF 22 REV. 0

These prints comply with the Florida Manufactured Building Act and adopted Codes and rules as the building contract.

APPROVED BY
NIA INC.

Coord. Type: SM
Company: II
Allyable No. of Piece: 1
Wind Velocity: 75 MPH (134)
Part/Detail of: 1
Std. Title: 1
Plan No.: 1142-1293 CR-1836
Allow. Floor Load: 100 PSF
Approval Date: 5/20/2024
Manufacturer: Carlisle Construction Co.

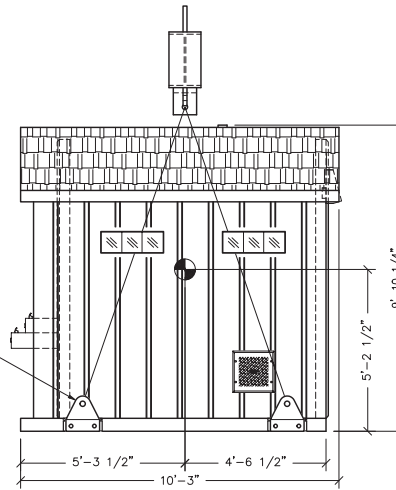


FRONT ELEVATION

SOFTENER REQUIRED TO PREVENT SPALLING (TYP 4 PLCS)

HOISTING CABLE SLINGS W/ LOCKING SHACKLE @ TOP
MINIMUM CABLE TENSILE CAPACITY = 7 TON

PS-22 LIFTING EYE ATTACH TO AS-7 EMBEDS W/(2) 1 1/2" DIA. HIGH TENSILE COIL BOLTS (SHEAR CAPACITY = 18,000# BOLT)



RIGHT SIDE ELEVATION



August 18, 2024

LB Foster
CXT® Products

6701 E Flamingo Ave Bldg 300 Tampa, ID 83687
901 N. Highway 77 Hillsboro, TX 76645
362 Waverly Road Wilmetts, IL 60187

PROJECT TITLE
CORTEZ
BUILDING NUMBER CR-1836

NOTICE
The information contained herein is proprietary and the exclusive property of CXT Incorporated. The information may only be used by the original recipient for the purpose intended. Reproduction or distribution of this information is strictly prohibited without the prior written consent of CXT Incorporated. By allowing use of this information, CXT Incorporated grants no warranty, express or implied, including a warranty of merchantability or of fitness for a particular purpose.
CXT Incorporated

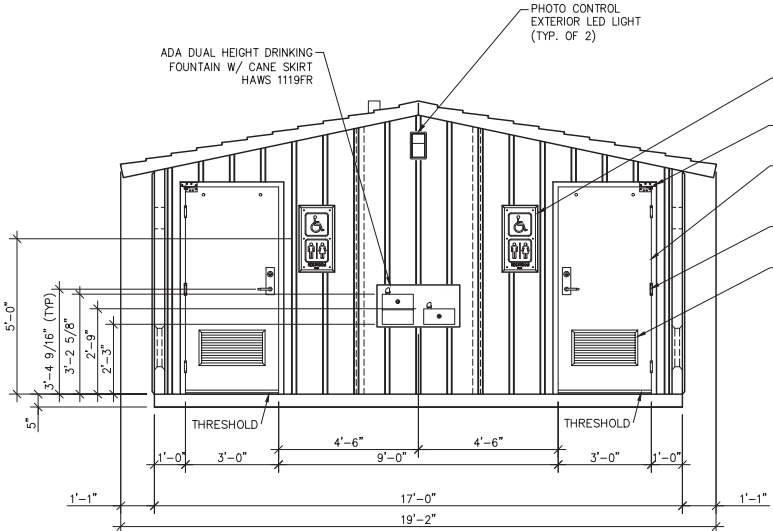
REV.	DESCRIPTION	APPROVAL	DATE

RIGGING DETAIL

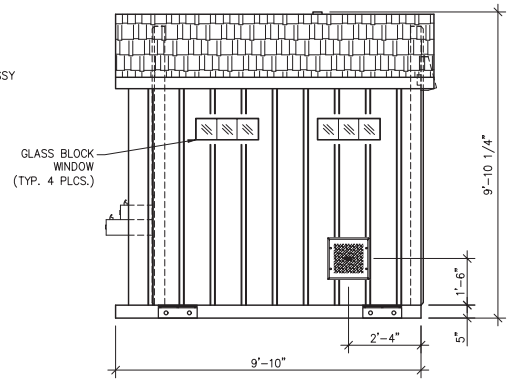
SCALE: 1/4" = 1'-0"	DATE: 7-29-24
DRAWN: CLOG	FILE NO: CR-1836
CHECKED: N/PENNER	PLOT: 48

OWG NO. CR-02 SHEET 2 OF 22 REV. 0

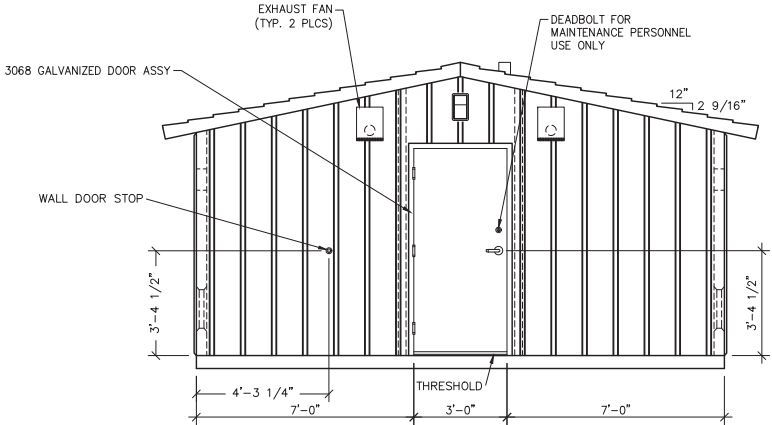
SHIPPING WEIGHTS AND DIMENSIONS			
WEIGHT	LENGTH	WIDTH	HEIGHT
45,100	19'-2"	10'-3"	9'-10 1/4"



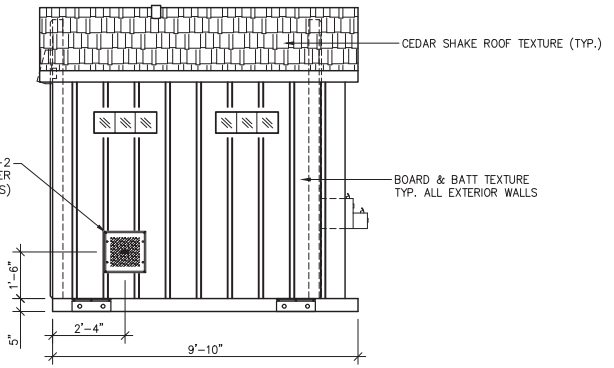
FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



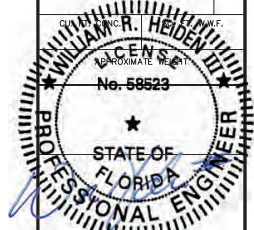
LEFT SIDE ELEVATION

These prints comply with the Florida Manufactured Building Act and adopted Codes and address the following criteria:

APPROVED BY
NIA INC.

Cond. Type: VEH
 Occupancy: 11
 Allowable No. of Floors: 1
 Wind Velocity: 70 MPH (138 kph)
 Floor Loading: 1
 Soil: MAE 12013 CR 1816
 Allow. Floor Load: 60 PSF
 Approval Date: 8-20-2024
 Manufacturer: Cedar Construction, LLC

MATERIALS	
ITEM	QTY
WALL DOOR STOP	1
SPRING HINGE 4.5x4.5	9
GLASS BLOCK WINDOW	4
SI-2 "BROWN"	2
MS-2	2
3068 MORTISE DOOR ASSY	2
3068 DOOR ASSY	1
REINFORCING PIVOT HINGE	2
DOOR LOUVER	2
DRINKING FOUNTAIN W/ CANE SKIRT	1



August 18, 2024

LB Foster
GXT® Products

6701 E Flamingo Ave Bldg 300 Tampa, ID 83687
 901 N. Highway 77 Hillsboro, TX 76645
 362 Waverly Road Williamsstown, WV 26187

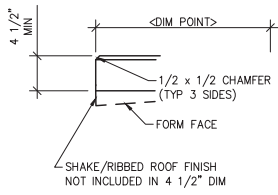
PROJECT TITLE
CORTEZ
BUILDING NUMBER CR-1836

NOTICE
The information contained herein is proprietary and the exclusive property of CXT Incorporated. The information may only be used by the original recipient for the purpose intended. Reproduction or distribution of this information is strictly prohibited without the prior written consent of CXT Incorporated. By allowing use of this information, CXT Incorporated grants no warranty, express or implied, including a warranty of merchantability or of fitness for a particular purpose.
CXT Incorporated

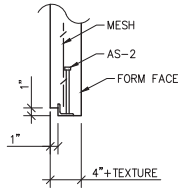
REV.	DESCRIPTION	APPROVAL	DATE
SCALE	1/4" = 1'-0"	DATE	7-29-24
DRAWN	LOGG	FILE NO.	CR-1836
CHECKED	N.PENNER	PLOT	48

BUILDING ELEVATIONS

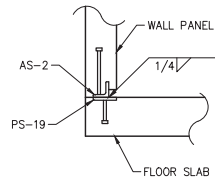
OWG NO. CR-04 SHEET 4 OF 22 REV. 0



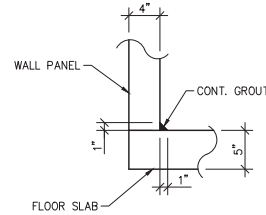
1 TYPICAL ROOF SLAB EDGE
SCALE: 3/4"=1'-0"



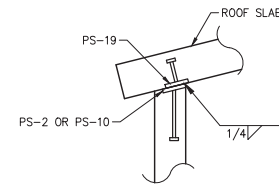
2 AS-2 CAST DETAIL
SCALE: 3/4"=1'-0"



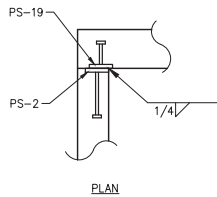
3 TYPICAL WALL TO FLOOR SLAB WELDED CONNECTION
SCALE: 3/4"=1'-0"



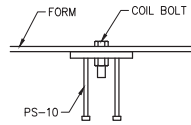
4 TYPICAL WALL TO FLOOR SLAB JOINT DETAIL
SCALE: 3/4"=1'-0"



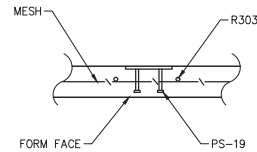
5 TYPICAL WALL TO ROOF SLAB WELDED CONNECTION
SCALE: 3/4"=1'-0"



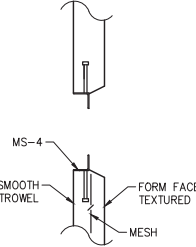
6 TYPICAL WALL TO WALL PANEL WELDED CONNECTION
SCALE: 3/4"=1'-0"



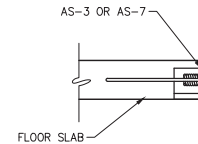
7 PS-10 CASTING DETAIL
SCALE: 1"=1'-0"



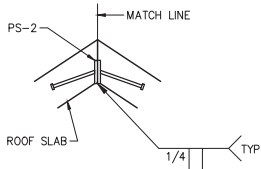
8 PS-19 CASTING DETAIL
SCALE: 3/4"=1'-0"



9 MS-4 EMBED CASTING DETAIL
SCALE: 3/4"=1'-0"



10 FLOOR LIFT PLATE DETAIL
SCALE: 3/4"=1'-0"



11 ROOF PEAK WELDMENT DETAIL
SCALE: 3/4"=1'-0"

These prints comply with the Florida Manufacture Building Act and associated Codes and address to the following contacts:

APPROVED BY
NIA INC.

Client: VH
 Occupancy: II
 Address No. of Floors: 1-20
 Wind Velocity: 130 MPH (150)
 Fire Rating of Slab: None
 Plan No.: 15AF 1503 CR 1836
 Allow. Floor Load: 200 PSF
 Approval Date: 2/20/2023
 Manufacturer: 2100 Concrete and Silica/CMC



August 18, 2024

LB Foster
CXT® Products

6701 E Flamingo Ave Bldg 300 Tampa, ID 83687
 901 N. Highway 77 Hillsboro, TX 76645
 362 Waverly Road WiltonManors, WV 26187

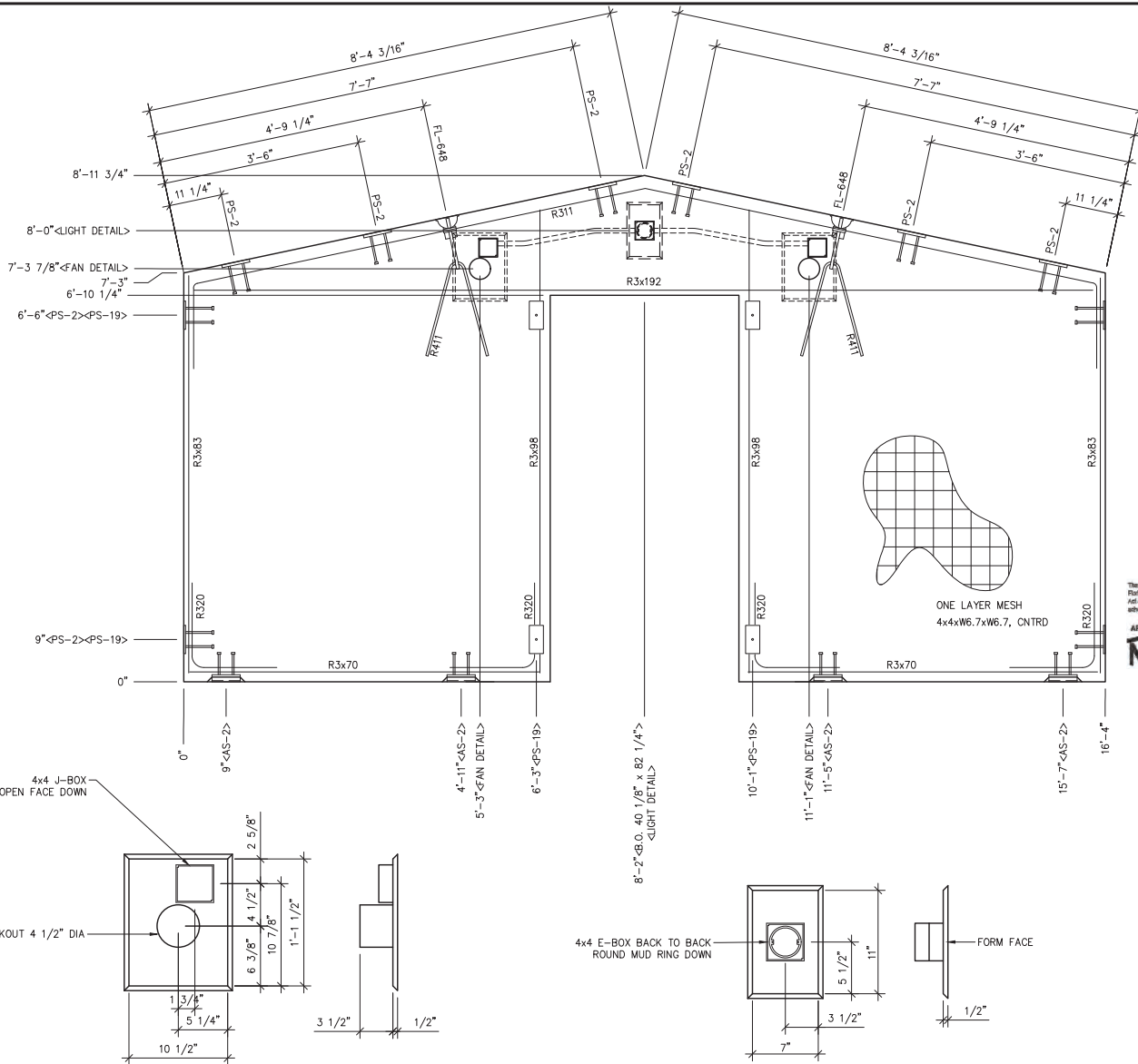
PROJECT TITLE
CORTEZ
BUILDING NUMBER CR-1836

NOTICE
The information contained herein is proprietary and the exclusive property of CXT Incorporated. The information may only be used by the original recipient for the purpose intended. Reproduction or distribution of this information is strictly prohibited without the prior written consent of CXT Incorporated. By allowing use of this information, CXT Incorporated grants no warranty, express or implied, including a warranty of merchantability or of fitness for a particular purpose.
CXT Incorporated

REV.	DESCRIPTION	APPROVAL	DATE
SCALE	1 1/4" = 1'-0"	DATE	7-29-24
DRAWN	LOGG	FILE NO.	CR-1836
CHECKED	N.PENNER	PLOT	16

CASTING DETAILS

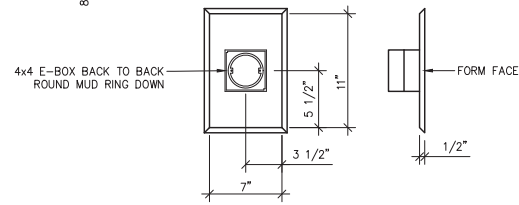
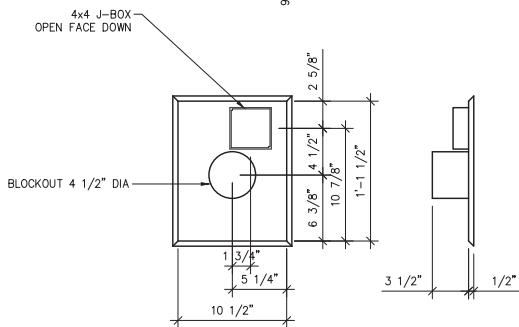
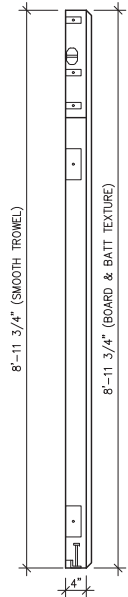
DWG NO. CR-06 SHEET 6 OF 22 REV. 0



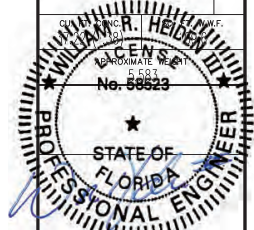
These prints comply with the Florida Manufacture Building Act and adopted Codes and where to the following extent:

APPROVED BY
NIA, INC.

Drawn: VJB
 Checked: JLB
 of Plans: 10/01/2024
 Date: 10/01/2024
 Title: WALL PANEL CR-1836
 Project: CR-1836
 Date: 10/01/2024
 Manufacturer: NIA, INC.



EMBEDDED MATERIALS	
ITEM	QTY
AS-2	4
PS-2	10
PS-19	4
R411	2
R311	1
R320	8
R370	4
R383	4
R3x192	2
FL-648	2
R3x98	4
B.O. 40 1/8" x 82 1/4"	1
B.O. 4 1/2" DIA	2
4x4 E-BOX	2
4x4 J-BOX	2
ROUND MUD RING	1



August 18, 2024

LB Foster
CXT® Products

6701 E Flamingo Ave Bldg 300 Tampa, ID 83687
 901 N. Highway 77 Hillsboro, TX 76645
 362 Waverly Road Williamsport, WV 26187

PROJECT TITLE
CORTEZ
 BUILDING NUMBER **CR-1836**

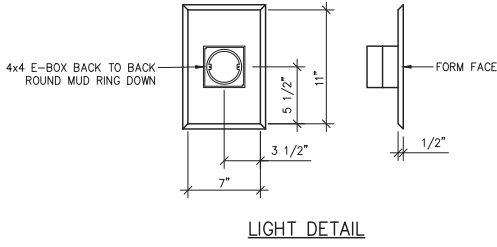
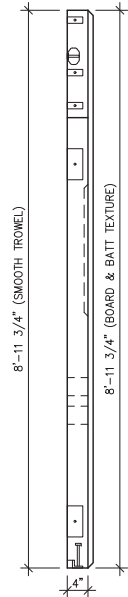
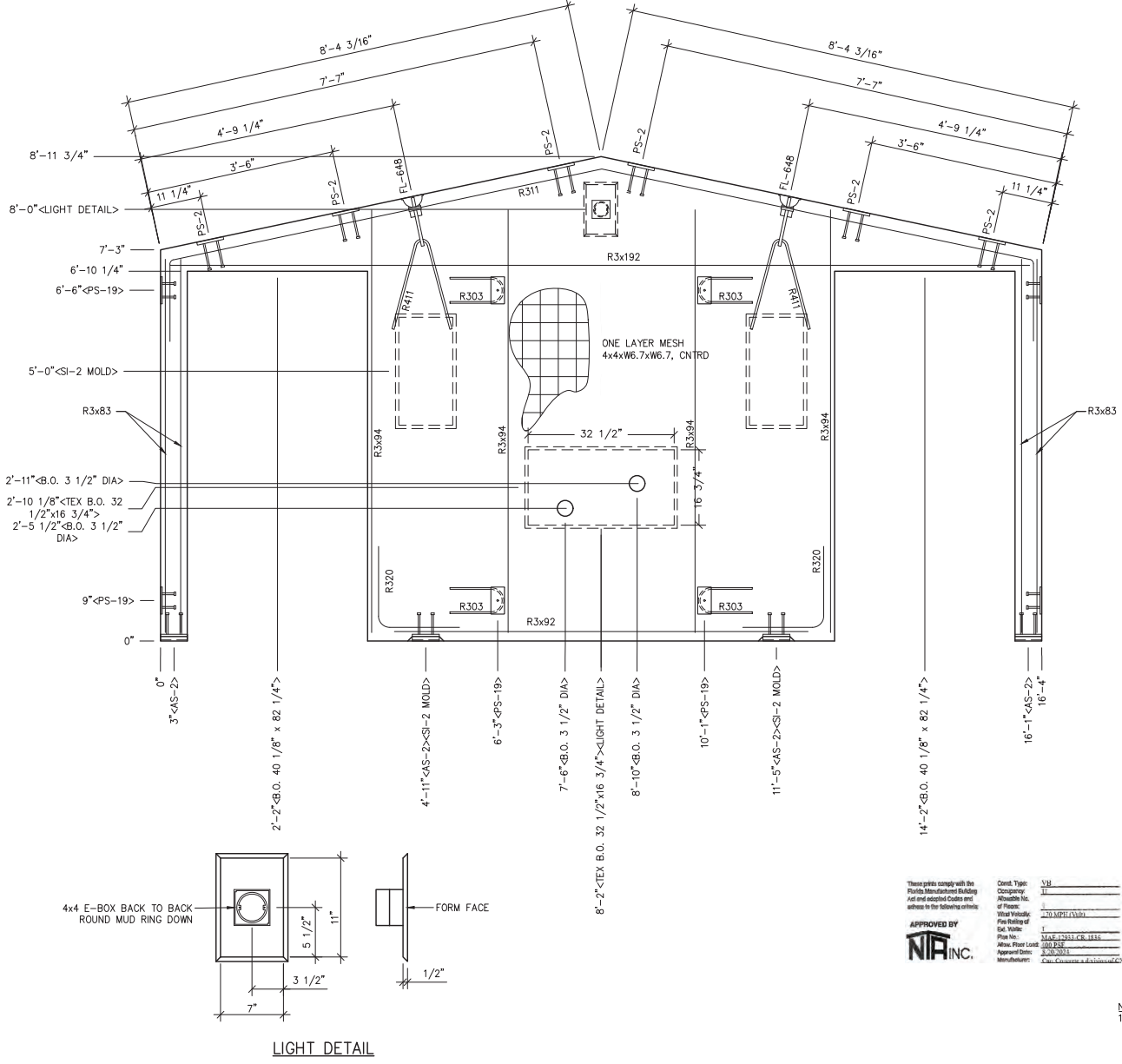
NOTICE
 The information contained herein is proprietary and the exclusive property of CXT Incorporated. The information may only be used by the original recipient for the purpose intended. Reproduction or distribution of this information is strictly prohibited without the prior written consent of CXT Incorporated. By allowing use of this information, CXT Incorporated grants no warranty, express or implied, including a warranty of merchantability or of fitness for a particular purpose.
 CXT Incorporated

REV	Description	APPROVAL	DATE

SCALE: 1/2" = 1'-0" DATE: 7-29-24
 DRAWN: JLB FILE NO.: CR-1836
 CHECKED: N/PENNER PLOT: 24

WALL PANEL
 MARK W1
 DWG NO. CR-07 SHEET 7 OF 22 REV. 0

NOTES:
 1. EXCEPT R311 & R411, REINFORCING BARS TO BE PLACED IN PAIRS, ONE BAR ON EACH FACE OF PANEL W/ 3/4" MIN. COVER



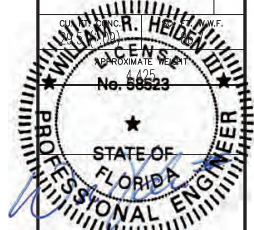
These prints comply with the Florida Manufactured Building Act and adopted Codes and address to the following criteria:

APPROVED BY
NIA, INC.

Form Type: VJ
 Company: I
 Address: 1
 What Industry: 10 (MPL/MS)
 File Number: 1
 Est. Value: 1
 Plan No.: M&E-10317-CR-1836
 Allow. Floor Load: 200 PSF
 Apparent Date: 7-20-24
 Manufacturer: C&G Construction & Architecture

NOTES:
 1. EXCEPT R311, R303, & R411. REINFORCING BARS TO BE PLACED IN PAIRS, ONE BAR ON EACH FACE OF PANEL W/ 3/4\"/>

EMBEDDED MATERIALS	
ITEM	QTY
AS-2	4
PS-2	6
PS-19	8
R411	2
FL-648	2
R311	1
R320	4
R3x83	8
R3x94	8
R3x192	2
R3x92	2
ROUND MUD RING	1
4x4 E-BOX	2
B.O. 40 1/8" x 82 1/4"	2
R303	4
SI-2 MOLD	2
B.O. 3 1/2" DIA	2
TEX B.O. 32 1/2"x16 3/4"	1



August 18, 2024

LB Foster
 CXT® Products

6701 E Flamingo Ave Bldg 300 Tampa, ID 83687
 901 N. Highway 77 Hillsboro, TX 76645
 362 Waverly Road Williamsport, WV 26187

PROJECT TITLE
CORTEZ
 BUILDING NUMBER CR-1836

NOTICE
 The information contained herein is proprietary and the exclusive property of CXT Incorporated. The information may only be used by the original recipient for the purpose intended. Reproduction or distribution of this information is strictly prohibited without the prior written consent of CXT Incorporated. By allowing use of this information, CXT Incorporated grants no warranty, express or implied, including a warranty of merchantability or of fitness for a particular purpose.
 CXT Incorporated

REV.	Description	APPROVAL	DATE
1	1/2" = 1'-0"		7-20-24
DRAWN	LOGG	FILE NO.	CR-1836
CHECKED	N/PENNER	PILOT	24

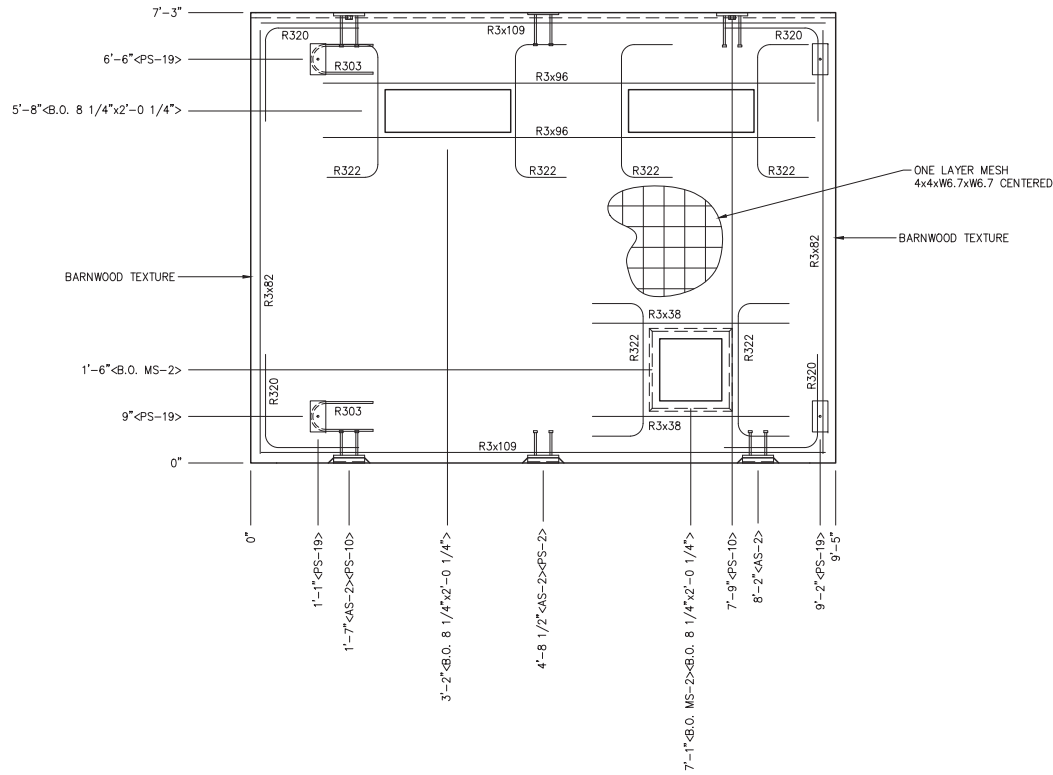
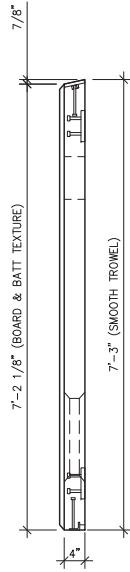
WALL PANEL
 MARK W2

DWG NO. CR-08
 SHEET 8 OF 22
 REV. 0

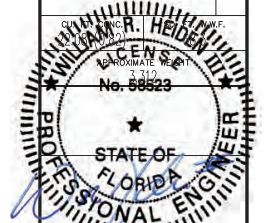
These prints comply with the Florida Manufactured Building Act and accepted Codes and adhere to the following criteria:

APPROVED BY
NIA INC.

Cont. Type: VJ
 Company: II
 Warehouse No.:
 of Pans: 1
 Wall Finish: 1/2" AFFL. (VJ)
 Fin Rolling of:
 Std. Value: 1
 Panel No.: MAE-15012 CR-1816
 Allow. Floor Load: 100 PSF
 Approval Date: 8/23/2024
 Manufacturer: C&H Concrete & Structural Co.



EMBEDDED MATERIALS	
ITEM	QTY
AS-2	3
PS-2	1
PS-10	2
PS-19	4
R303	2
R320	8
R3x82	4
R3x109	4
R322	6
R3x38	2
R3x96	2
B.O. MS-2	1
B.O. 8 1/4" x 2'-0 1/4"	2



August 18, 2024

LB Foster
CXT® Products

6701 E Flamingo Ave Bldg 300 Tampa, ID 83687
 901 N. Highway 77 Hillsboro, TX 76645
 362 Waverly Road Williamsstown, WV 26187

PROJECT TITLE
CORTEZ
 BUILDING NUMBER CR-1836

NOTICE
 The information contained herein is proprietary and the exclusive property of CXT Incorporated. The information may only be used by the original recipient for the purpose intended. Reproduction or distribution of this information is strictly prohibited without the prior written consent of CXT Incorporated. By allowing use of this information, CXT Incorporated grants no warranty, express or implied, including a warranty of merchantability or of fitness for a particular purpose.
 CXT Incorporated

REV.	Description	Approval	Date

SCALE: 1/2" = 1'-0" DATE: 7-29-24
 DRAWN: CLOG FILE NO.: CR-1836
 CHECKED: N.PENNER PLOT: 24

WALL PANEL MARK W3

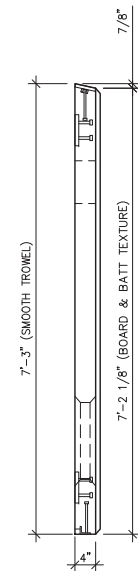
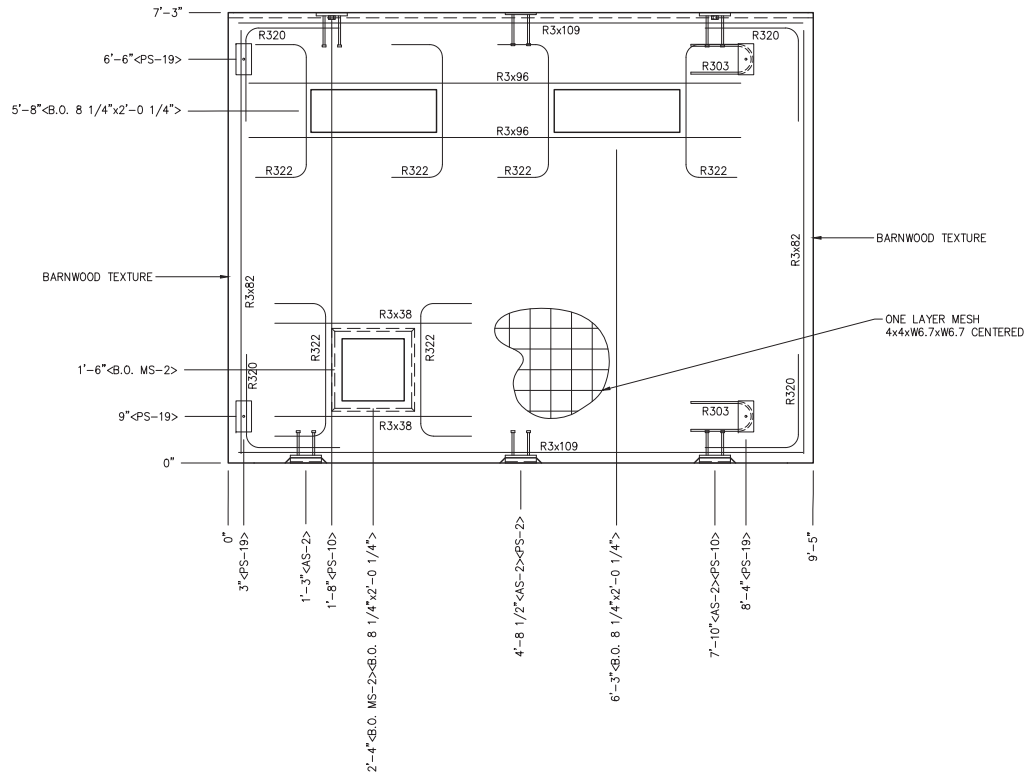
OWG NO. CR-09 SHEET 9 OF 22 REV. 0

NOTES:
 1. EXCEPT R303, R322, R3x96 & R3x38 REINFORCING BARS TO BE PLACED IN PAIRS, ONE BAR ON EACH FACE OF PANEL W/ 3/4" MIN. COVER

These prints comply with the Florida Manufacture Building Act and adopted Codes and address to the following entities:

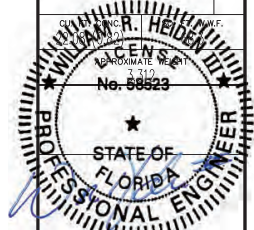
APPROVED BY
NIA INC.

Cont. Type: V2
 Company: II
 Division No. of Plans: 273/MPH/15/17
 Title: Fire Rating of
 File No.: MAF-1513 CR-1836
 Allow. Floor Load: 100 PSF
 Approval Date: 8-20-2024
 Manufacturer: Pan. Concrete & Rebar Co.



NOTES:
 1. EXCEPT R303, R322, R3x96 & R3x38 REINFORCING BARS TO BE PLACED IN PAIRS, ONE BAR ON EACH FACE OF PANEL W/ 3/4\"/>

EMBEDDED MATERIALS	
ITEM	QTY
AS-2	3
PS-2	1
PS-10	2
PS-19	4
R303	2
R320	8
R3x82	4
R3x109	4
R322	6
R3x38	2
R3x96	2
B.O. MS-2	1
B.O. 8 1/4" x 2'-0 1/4"	2



August 18, 2024

LB Foster
CXT® Products

6701 E Flamingo Ave Bldg 300 Tampa, FL 33687
 901 N. Highway 77 Hillsboro, TX 76645
 362 Waverly Road Williamsport, WV 26187

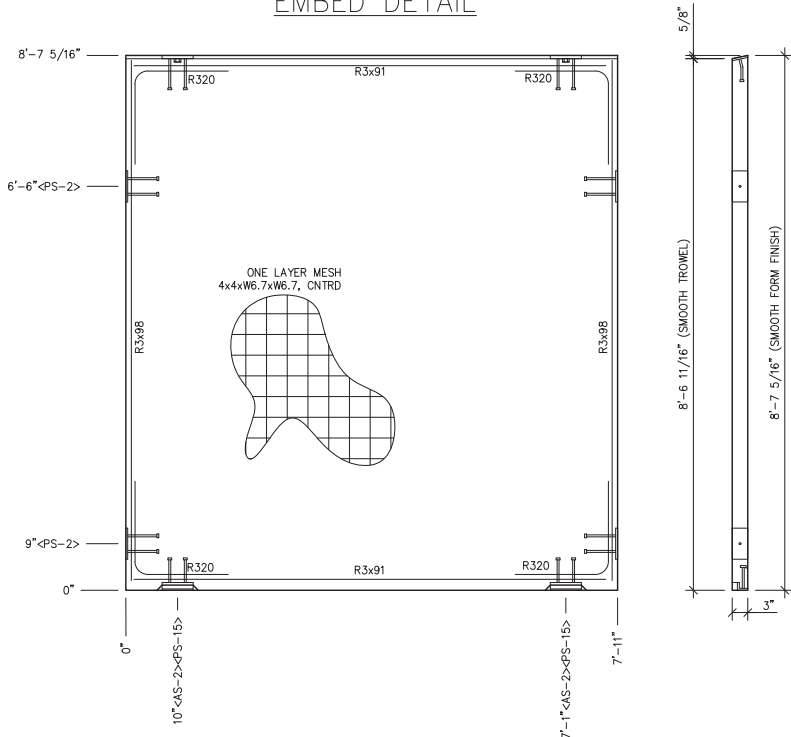
PROJECT TITLE
CORTEZ
 BUILDING NUMBER CR-1836

NOTICE
 The information contained herein is proprietary and the exclusive property of CXT Incorporated. The information may only be used by the original recipient for the purpose intended. Reproduction or distribution of this information is strictly prohibited without the prior written consent of CXT Incorporated. By allowing use of this information, CXT Incorporated grants no warranty, express or implied, including a warranty of merchantability or of fitness for a particular purpose.
 CXT Incorporated

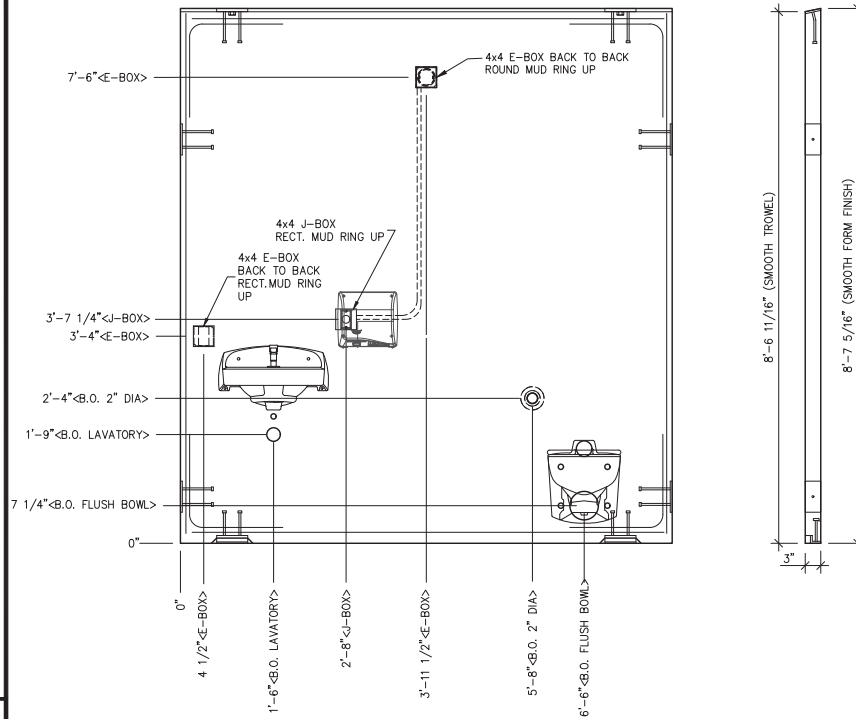
REV.	DESCRIPTION	APPROVAL	DATE
1	1/2" = 1'-0"		7-29-24
DRAWN	LOGG	FILE NO.	CR-1836
CHECKED	KPENN	PLOT	24

WALL PANEL
 MARK W4
 DWG NO. CR-10
 SHEET 10 OF 22
 REV. 0

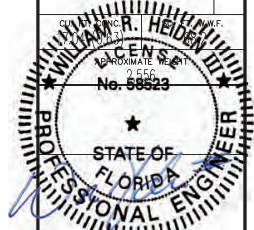
EMBED DETAIL



BLOCKOUT DETAIL



EMBEDDED MATERIALS		
ITEM	QTY	
AS-2	2	
PS-2	4	
PS-15	2	
R320	8	
R3x91	4	
R3x98	4	
4x4 E-BOX	4	
ROUND MUD RING	1	
RECT. MUD RING	2	
4x4 J-BOX	1	
B.O. LAVATORY	1	
B.O. FLUSH BOWL	1	
B.O. 2" DIA	1	



August 18, 2024

LB Foster
CXT Products

6701 E Flamingo Ave Bldg 300 Tampa, ID 83687
901 N. Highway 77 Hillsboro, TX 76645
362 Waverly Road Williamsstown, WV 26187

PROJECT TITLE
CORTEZ
BUILDING NUMBER **CR-1836**

NOTICE
The information contained herein is proprietary and the exclusive property of CXT Incorporated. The information may only be used by the original recipient for the purpose intended. Reproduction or distribution of this information is strictly prohibited without the prior written consent of CXT Incorporated. By allowing use of this information, CXT Incorporated grants no warranty, express or implied, including a warranty of merchantability or of fitness for a particular purpose.
CXT Incorporated

REV.	DESCRIPTION	APPROVAL	DATE
1	1/2" = 1'-0" DATE		7-29-24
DRAWN	LOGG	FILE NO.	CR-1836
CHECKED	N/PNER	PLOT	24

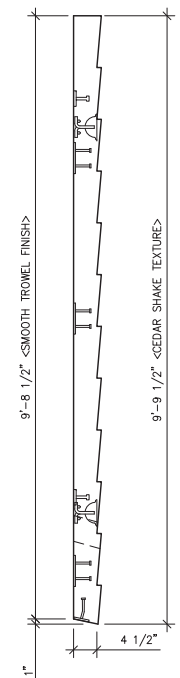
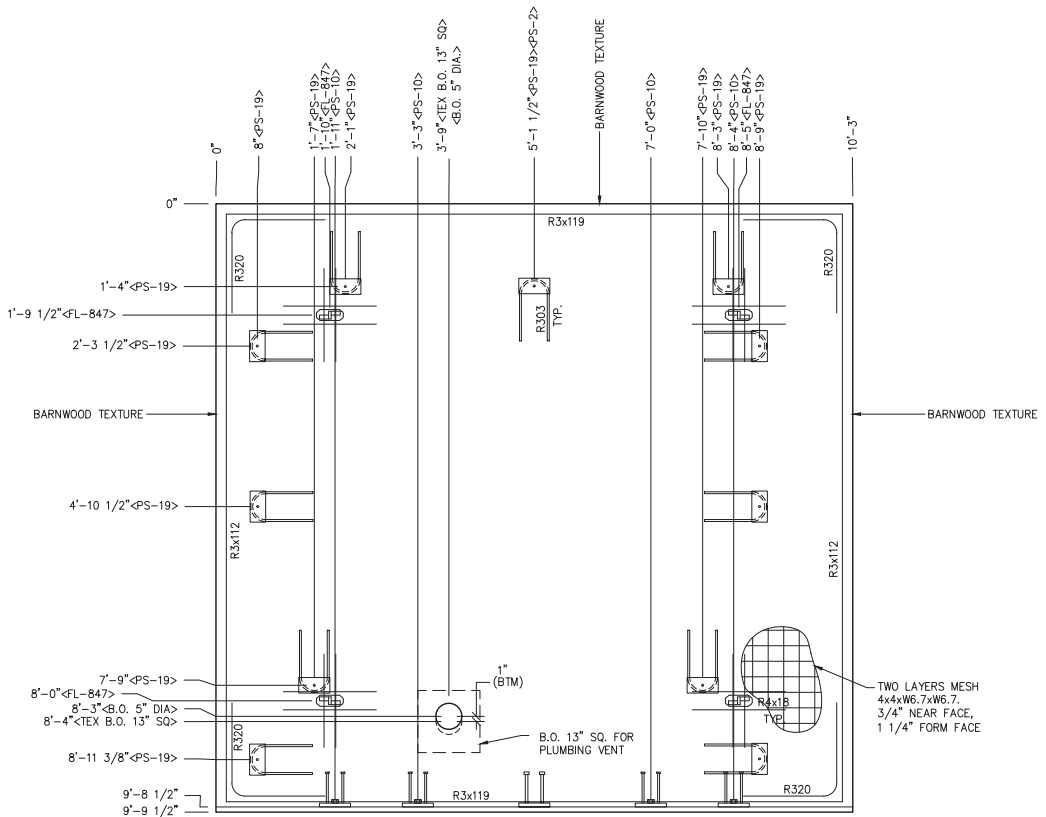
WALL PANEL
MARK W6

DWG NO. **CR-12** SHEET **12** OF **22** REV. **0**

These prints comply with the Florida Manufactured Building Act and accepted Codes and address to the following entities:
APPROVED BY
NIA INC.
Cont. Type: VH
Occupancy: II
Abuseable Use:
Use of Floor: NO MPT/LIVING
Wind Velocity:
Fastening of S/C:
S/C Value:
Plot No.: 17A-E-1836-CR-1836
Alpha Plot Load: 100 PSF
Approved Date: 8-28-2024
Manufacturer: Cam. Concrete & Stone/CF

NOTES:
1. REINFORCING BARS TO BE PLACED IN PAIRS, ONE BAR ON EACH FACE OF PANEL W/ 3/4" MIN. COVER

BLOCKOUT DETAIL	FLUSH VALVE BOWL DETAIL AMERICAN STANDARD 2634.101	BLOCKOUT DETAIL	LAVATORY DETAIL AMERICAN STANDARD 0356.421



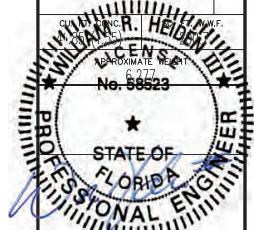
These prints comply with the Florida Mechanical Building Code and adopted Codes and orders to the following articles:

APPROVED BY
NIA INC.

Comd. Type: V/H
 Company: Aluside Inc.
 of Place: 2751 MPTL (1/13)
 File Rating of: 1
 Plan No.: 1146-1293 CR-1836
 Allow. Floor Load: 100 PSF
 Approval Date: 8/30/2024
 Manufacturer: C&G Concrete & Builders Co.

- NOTES:**
- EXCEPT R303 & R4x18, REINFORCING BARS TO BE PLACED IN PAIRS, ONE BAR ON EACH FACE OF PANEL W/ 1 1/4" MIN. COVER.
 - BARS R4x18 TO BE PLACED W/ 1 1/4" COVER NEAR FACE.
 - ALL OTHER REBAR TO BE CENTERED IN PANEL.

EMBEDDED MATERIALS	
ITEM	QTY
FL-847	4
PS-2	1
PS-19	11
R303	11
R320	8
R3x112	4
R3x119	4
PS-10	4
R4x18	16
B.O. 5" DIA	1
TEX B.O. 13" SQ	1



August 18, 2024

LB Foster
CXT Products

6701 E Flamingo Ave Bldg 300 Tampa, ID 83687
 901 N. Highway 77 Hillsboro, TX 76645
 362 Waverly Road Wilmetts, IL 60187

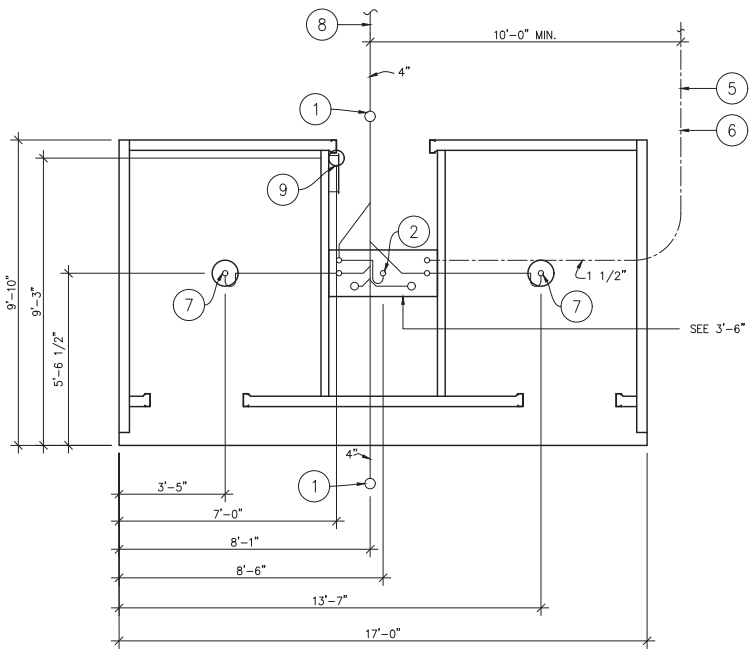
PROJECT TITLE
CORTEZ
 BUILDING NUMBER CR-1836

NOTICE
 The information contained herein is proprietary and the exclusive property of CXT Incorporated. The information may only be used by the original recipient for the purpose intended. Reproduction or distribution of this information is strictly prohibited without the prior written consent of CXT Incorporated. By allowing use of this information, CXT Incorporated grants no warranty, express or implied, including a warranty of merchantability or of fitness for a particular purpose.
 CXT Incorporated

REV.	DESCRIPTION	APPROVAL	DATE
1	1/2" = 1'-0"		7-29-24
DRAWN	LOGG	FILE NO.	CR-1836
CHECKED	N/PENNER	PLOT	24

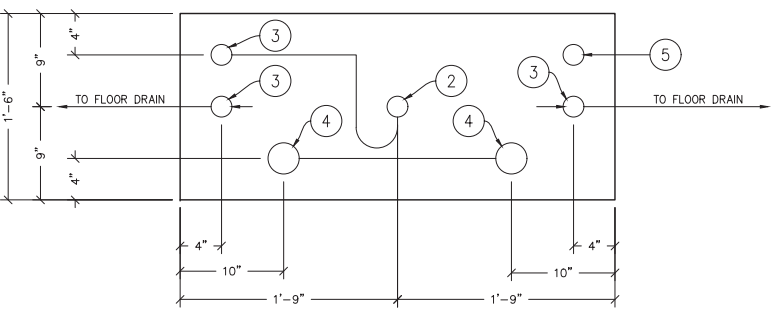
ROOF SLAB
MARK R1

DWG NO. CR-14 SHEET 14 OF 22 REV. 0



FLOOR DRAIN BLOCKOUTS & BELOW FLOOR PIPING

ALL PIPING INDICATED ON THIS SHEET IS NOT BY CXT



3'-6" x 1'-6" BLOCKOUT DETAIL

BELOW FLOOR PIPING – KEY NOTES

- 4" CLEAN OUT TO GRADE.
- 2" FLOOR DRAIN, FIELD INSTALLED TRAP SEAL SYSTEM IF REQUIRED BY AUTHORITY HAVING JURISDICTION. (3'-6" x 1'-6" BLOCK-OUT)
- 2" VENT PIPES EXTENDED 12" ABOVE FINISHED FLOOR LEVEL, PROVIDE TEST PLUG. (3'-6" x 1'-6" BLOCK-OUT)
- 3" WASTE PIPE EXTENDED 12" ABOVE FINISHED FLOOR LEVEL, PROVIDE TEST PLUG. (3'-6" x 1'-6" BLOCK-OUT)
- 1 1/2" TYPE "K" OR "L" ANNEALED "SOFT" COPPER WATER SERVICE EXTENDED 12" ABOVE FINISHED FLOOR LEVEL, PROVIDE CAP AT END. (3'-6" x 1'-6" BLOCK-OUT)
- MIN. BURY PER LOCAL REQUIREMENTS TO PROTECT AGAINST FREEZING AND DAMAGE.
- 2" FLOOR DRAIN, FIELD INSTALLED TRAP SEAL SYSTEM IF REQUIRED BY AUTHORITY HAVING JURISDICTION. (10" BLOCK-OUT)
- 30" MIN. BURY, PROVIDE TRACER TAPE.
- ELECTRICAL STUB UP, (6" DIA. BLOCK-OUT)

PIPING LEGEND

- 1 1/2" WATER SERVICE, ANNEALED "SOFT" COPPER, ASTM B88, TYPE "K" OR "L"
- BELOW FLOOR WASTE PIPING: SCH 40 PVC, ASTM D2665, TYPE DWV
- BELOW FLOOR VENT PIPING: SCH 40 PVC, ASTM D2665, TYPE DWV

These prints comply with the Florida Manufactured Building Act and adopted Codes and are subject to the following conditions:

APPROVED BY **NIA INC.**

Contract: _____
Company: _____
Address: _____
City: _____
State: _____
Zip: _____
Project: _____
Date: _____
Manufacturer: _____



August 18, 2024



6701 E Flamingo Ave Bldg 300 Tampa, ID 83687
901 N. Highway 77 Hillsboro, TX 78645
362 Waverly Road Wilmetts, IL 60091

PROJECT FILE
CORTEZ
BUILDING NUMBER CR-1836

NOTICE
The information contained herein is proprietary and the exclusive property of CXT Incorporated. The information may only be used by the original recipient for the purpose intended. Reproduction or distribution of this information is strictly prohibited without the prior written consent of CXT Incorporated. By allowing use of this information, CXT Incorporated grants no warranty, express or implied, including a warranty of merchantability or of fitness for a particular purpose.
CXT Incorporated

REV.	DESCRIPTION	APPROVAL	DATE

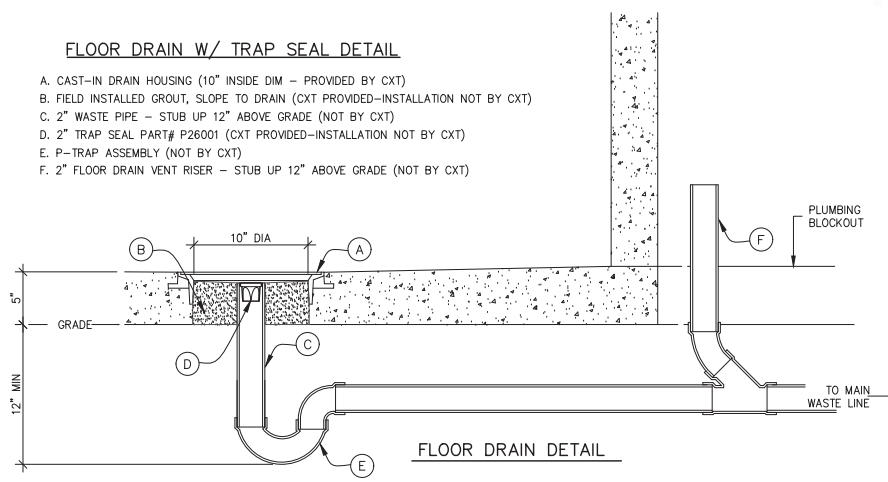
SCALE: 1/4" = 1'-0"
DRAWN: CLOGG
CHECKED: NUPNER

DATE: 7-29-24
FILE NO.: CR-1836
PLOT: 48

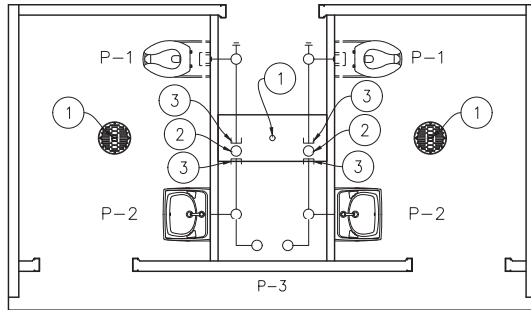
FLOOR DRAIN LOCATIONS AND BELOW FLOOR PIPING
DWG NO. CR-17
SHEET 17
REV. 22
0

FLOOR DRAIN W/ TRAP SEAL DETAIL

- CAST-IN DRAIN HOUSING (10" INSIDE DIM - PROVIDED BY CXT)
- FIELD INSTALLED GROUT, SLOPE TO DRAIN (CXT PROVIDED-INSTALLATION NOT BY CXT)
- 2" WASTE PIPE - STUB UP 12" ABOVE GRADE (NOT BY CXT)
- 2" TRAP SEAL PART# P26001 (CXT PROVIDED-INSTALLATION NOT BY CXT)
- P-TRAP ASSEMBLY (NOT BY CXT)
- 2" FLOOR DRAIN VENT RISER - STUB UP 12" ABOVE GRADE (NOT BY CXT)



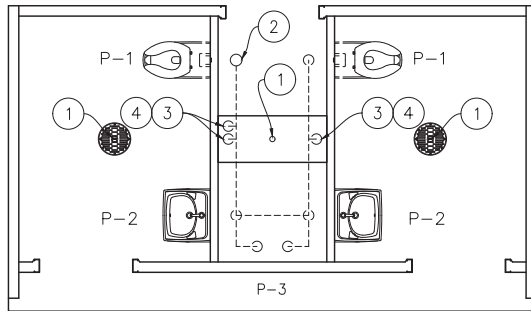
FLOOR DRAIN DETAIL



WASTE PIPING

WASTE PIPING – KEY NOTES

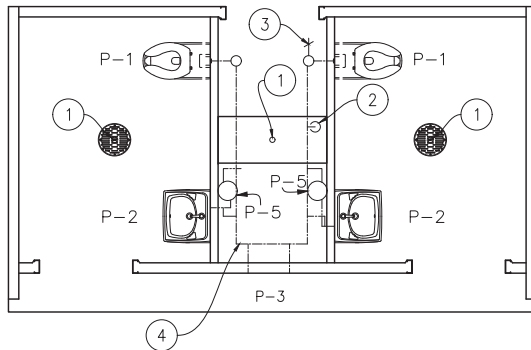
1. 2" FLOOR DRAIN, FIELD INSTALLED (NOT BY CXT)
2. 3" WASTE THROUGH FLOOR, FIELD INSTALLED (NOT BY CXT)
3. PROVIDE TEST PLUG IN END OF WASTE PIPE. CONTINUATION OF PIPING IS FIELD INSTALLED & NOT BY CXT.



VENT PIPING

VENT PIPING – KEY NOTES

1. 2" FLOOR DRAIN, FIELD INSTALLED (NOT BY CXT)
2. 3" VENT THROUGH ROOF.
3. 2" VENT WITH TEST PLUG.
4. FIELD INSTALLED 2" VENT PIPING FROM FLOOR DRAINS. (NOT BY CXT)



WATER PIPING

WATER PIPING – KEY NOTES

1. 2" FLOOR DRAIN, FIELD INSTALLED
2. FIELD INSTALLED 1-1/2" WATER SUPPLY WITH SHUT-OFF VALVE NEAR FLOOR.
3. 3/4" HOSE BIB WITH VACUUM BREAKER AND WHEEL HANDLE.
4. WATER PIPING ALONG WALL, SEE DIAGRAM ON SHEET CR-19.

PIPING LEGEND

- COLD WATER; COPPER, ASTM B88, TYPE "K" OR "L"
- HOT WATER; COPPER, ASTM B88, TYPE "K" OR "L"
- VENT PIPING; SCH 40 PVC, ASTM D2665, TYPE DW
- WASTE PIPE; SCH 40 PVC, ASTM D2665, TYPE DW
- FIELD PIPING; (NOT BY CXT)

SPECIAL NOTES:

1. TOTAL FIXTURE COUNT: (6)
 2. FLOWING PRESSURE: 45 PSI MIN, 80 PSI MAX
 3. TOTAL DEVELOPED LENGTH = 32'-0"*
- *APPROXIMATE DISTANCE FROM THE SOURCE TO THE FARTHEST FIXTURE

These prints comply with the Florida Manufacture Building Act and applicable Codes and adhere to the following article:

APPROVED BY
NIA INC.

Coord. Type: V/H
Company: I
Florida Lic. of Plumber:
Vest. Validity: 2/20/2021
Fire Rating of:
Std. Note: I
Plan No.: MAF-12011 CR-1816
Allow. Floor Load: 100 PSF
Approved Date: 8/20/2021
Manufacturer: C&S Construction & Utilities of CA



August 18, 2024

LB Foster
CXT® Products

6701 E Flamingo Ave Bldg 300 Tampa, ID 83687
901 N. Highway 77 Hillsboro, TX 76645
362 Waverly Road WiltonManors, WV 26187

PROJECT FILE
CORTEZ
BUILDING NUMBER CR-1836

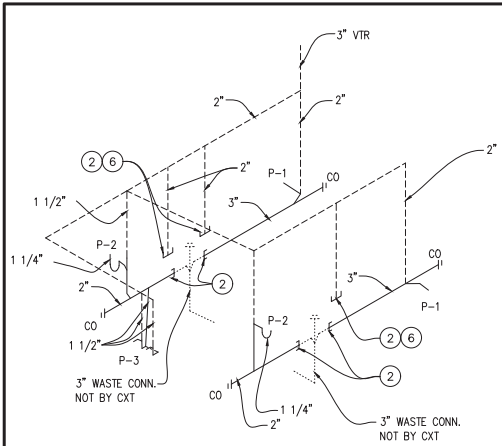
NOTICE
The information contained herein is proprietary and the exclusive property of CXT Incorporated. The information may only be used by the original recipient for the purpose intended. Reproduction or distribution of this information is strictly prohibited without the prior written consent of CXT Incorporated. By allowing use of this information, CXT Incorporated grants no warranty, express or implied, including a warranty of merchantability or of fitness for a particular purpose.
CXT Incorporated

REV.	DESCRIPTION	APPROVAL	DATE

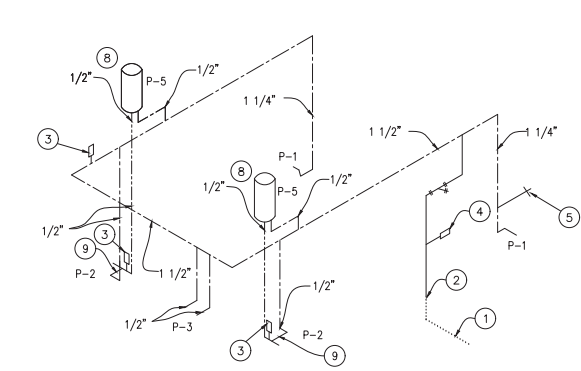
SCALE: 1/4" = 1'-0" DATE: 7-29-24
DRAWN: CLOGG FILE NO.: CR-1836
CHECKED: N/PENNER PLOT: 48

WATER, WASTE & VENT PIPING PLANS & NOTES

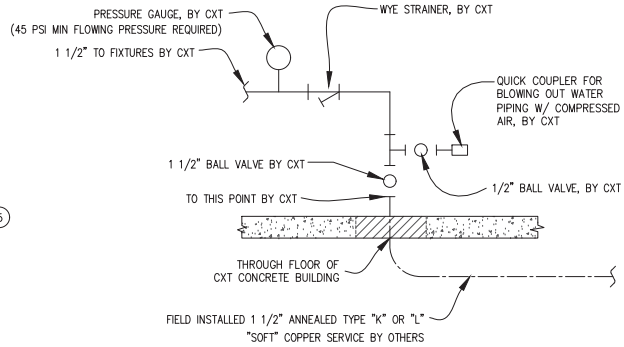
DWG NO. CR-18 SHEET 18 REV. 0
22



WASTE & VENT RISER DIAGRAM



WATER PIPING DIAGRAM



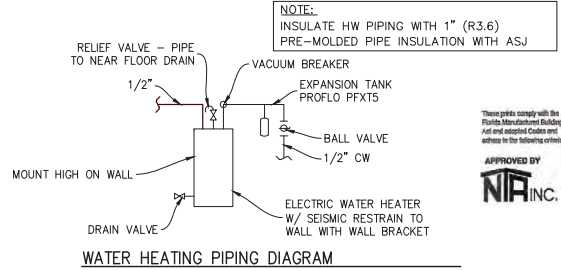
WATER SERVICE DETAIL

NOTES:

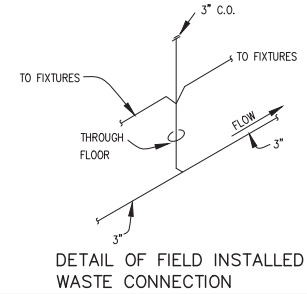
- 1-1/2" COLD WATER THRU FLOOR, NOT BY CXT.
- TO THIS POINT BY CXT.
- ASSE 1010 WATER HAMMER ARRESTOR SIOUX CHIEF HYDRA-RESTOR #654-C OR EQUAL
- 1/2" AIR QUICK CONNECTION W/ BALL VALVE FOR BLOWING OUT WATER PIPING.
- 3/4" HOSE BIBB W/ SCREW ON VACUUM BREAKER
- 2" VENTS FOR FLOOR DRAINS.
- PROVIDE SHUT-OFF VALVES ON COLD AND HOT WATER SUPPLY FOR EACH FIXTURE.
- ELECTRIC WATER HEATER. SEE DIAGRAM
- ASSE 1070 WATER TEMPERATURE LIMITING DEVICE.

PIPING LEGEND

- COLD WATER; COPPER, ASTM B88, TYPE "K" OR "L"
- HOT WATER; COPPER, ASTM B88, TYPE "K" OR "L"
- VENT PIPING; SCH 40 PVC, ASTM D2665, TYPE DWV
- WASTE PIPE; SCH 40 PVC, ASTM D2665, TYPE DWV
- FIELD PIPING; (NOT BY CXT)
- WYE STRAINER



WATER HEATING PIPING DIAGRAM



DETAIL OF FIELD INSTALLED WASTE CONNECTION



SYM	DESCRIPTION	MANUFACTURER	CXT PART NUMBER	FLUSH VL/FAUCET	SUPPLIES	QTY	HW	CW	WASTE	VENT	SUPPLIES / NOTES
P-1	WATER CLOSET (PUSH BUTTON)	AMERICAN STANDARD	2634.101 (W.C.) 5905.100 (W.C. SEAT)	SLOAN "ROYAL" #952-1.6 L-3 W=4"	SLOAN HY33A	2	1-1/4"		3"	2"	1. OFFSET FLUSH VALVE TAILPIECE PER ADA, RIGHT OR LEFT HAND, AS REQUIRED 2. MOUNT RIM AT 17" ABOVE FLOOR. 3. USE CLOSET GASKET JG13534 AND Z1203 FINISH KIT
P-2	LAVATORY (PUSH BUTTON)	AMERICAN STANDARD	0356.421 (LAV)	SYMMONS SLS-7000		2	1/2"	1/2"	1-1/2"	1-1/2"	1. 1/2X15 COMP ANG LAV BSCR1915AC 2. 3 PC COVER SET PF202WH..
P-3	DRINKING FOUNTAIN	HAWS	1119FR			1		(2) 1/2"	(2) 1-1/2"	(2) 1-1/2"	1. DUAL HEIGHT COMBINATION W/ CANE SKIRT
P-4											
P-5	WATER HEATER	EEMAX	EMT-4			2	1/2"	1/2"			1. 4 GALLON 120V WALL MOUNTED WATER HEATER. PROVIDE GFCI OUTLET IN CHASE PER MFR RECOMMENDATIONS.
P-6											
P-7	FLOOR DRAIN	TRAVIS SIOUX CHIEF (CHASE)	54960-CXT 840-2A			2 1			2"	2"	1. 2" TRAP SEAL PART# P26001 (QTY 3)

LB Foster
CXT® Products

6701 E Flamingo Ave Bldg 300 Tampa, ID 83687
901 N. Highway 77 Hillsboro, TX 76645
362 Waverly Road Wilkes-Barre, PA 18703

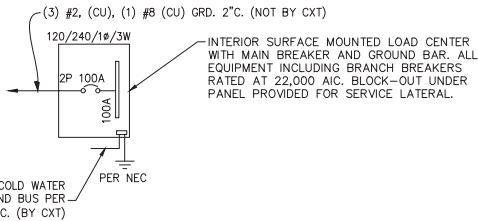
PROJECT FILE
CORTEZ
BUILDING NUMBER CR-1836

NOTICE
The information contained herein is proprietary and the exclusive property of CXT Incorporated. The information may only be used by the original recipient for the purpose intended. Reproduction or distribution of this information is strictly prohibited without the prior written consent of CXT Incorporated. By allowing use of this information, CXT Incorporated grants no warranty, express or implied, including a warranty of merchantability or of fitness for a particular purpose.
CXT Incorporated

REV	DESCRIPTION	APPROVAL	DATE
SCALE	NTS		7-29-24
DRAWN	GDOG	FILE NO.	CR-1836
CHECKED	NPENNER	PLOT	48

PLUMBING SCHEDULE,
DIAGRAMS & NOTES

DWG NO. CR-19 SHEET 19 OF 22 REV. 0



ONE-LINE POWER DIAGRAM
NTS

GENERAL ELECTRICAL NOTES

- RECESSED JUNCTION BOXES FOR SINGLE DEVICES SHALL HAVE SINGLE GANG MUD RINGS CAST IN CONCRETE WALLS.
- ALL RECEPTACLES SHALL BE GFCI PROTECTED BY CIRCUIT BREAKERS OR BY OTHER GFCI RECEPTACLES
- ALL CONDUIT SHALL BE 3/4" MINIMUM, EXPOSED CONDUIT SHALL BE EMT, RECESSED SHALL BE PVC.
- INSTALL ALL WIRING IN CONDUIT OR RELATED ENCLOSURES.
- ELECTRICAL INSTALLATIONS SHALL MEET THE 2020 NATIONAL ELECTRICAL CODE.
- MINIMUM WIRE SIZE SHALL BE #12 AWG COPPER, THHN INSULATION UNLESS NOTED OTHERWISE.
- ROUTE ALL CONDUITS IN UTILITY ROOM AT CEILING OR FACE OF WALLS.
- ELECTRICAL DRAWINGS ARE DIAGRAMMATIC IN NATURE AND MAY NOT SHOW EXACT LOCATIONS OF DEVICES, REFER TO WALL PANEL AND OTHER DRAWINGS FOR EXACT LOCATIONS OF J-BOXES, ETC.
- PROVIDE CIRCUIT BREAKER LOCKOUT TAB FOR HAND DRYER AND FANS.

These prints comply with the Florida Manufactured Building Act and electrical Codes and address to the following entities:

APPROVED BY
NIA INC.

Contract: VJ
Company: NIA
Address: 11
City: 223 MP2 (VJ)
State: FL
Permit No.: M&E 12033 CR-1836
Issue Date: 08/22/24
Approval Date: 8/22/24
Manufacturer: C&C Construction Solutions of CA

PANEL SCHEDULE												
SURFACE MOUNT					PANEL 120/240V, 1P, 3W					TOTAL CONNECTED VA LOAD 5,905		
										TOTAL CALCULATED VA LOAD 6,197		
CIRCUIT					CIRCUIT					LOAD		
NO.	DESCRIPTION	OCB	TYPE	(VA)	(A)	PH	NO.	DESCRIPTION	OCB	TYPE	(VA)	(A)
1	PHOTO CONTROLLED EXTERIOR LIGHTS	1P/20A	C	28	0.2	A	2	CHASE RECEPTACLE	1P/20A	R	180	1.5
3	CHASE LIGHT	1P/20A	N	25	0.2	B	4	RESTROOM #1 LIGHT & FAN	1P/20A*	N	116	1.0
5	RESTROOM #2 LIGHT & FAN	1P/20A*	N	116	1.0	A	6	RESTROOM RECEPTACLES	1P/20A	N	360	3.0
7	EEMAX WATER HEATER GFCI OUTLET	1P/20A	R	1,400	11.7	B	8	RESTROOM #1 HAND DRYER	1P/20A*	L	1,140	9.5
9	RESTROOM #2 HAND DRYER	1P/20A*	N	1,140	9.5	A	10	EEMAX WATER HEATER GFCI OUTLET	1P/20A	R	1,400	11.7
11						B	12					
13						A	14					
15						B	16					
17						A	18					
19						B	20					

LOAD	CONNECTED	CALCULATED
(C)ONTINUOUS	28 x1.25	35 VA
(R)EC (1ST 10KVA)	2980 x1.00	2980 VA
(N)ON-CONTINUOUS	1,757 x1.00	1,757 VA
(L)ARGEST MOTOR	1,140 x1.25	1,425 VA
TOTAL LOAD	5,905	6,197 VA

NOTE: MAXIMUM ALLOWABLE AIC IS 22K AMPS, PANEL MODIFICATIONS WILL BE REQUIRED (NOT BY CXT) IF TRANSFORMER CAPACITY EXCEEDS 175 KVA.

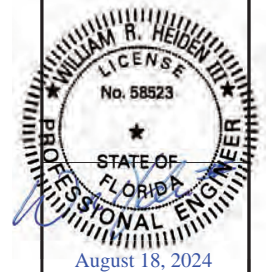
*PROVIDE LOCKOUT BREAKER (LO) CONFORMING TO NEC 110.25

LIGHTING FIXTURE SCHEDULE			
FIXTURE NUMBER	VOLTAGE	WATTS	DESCRIPTION
A	120	25	LUMINAIRE VPF84 INTERIOR LIGHT FIXTURE, VPF8 4FT NODM 25W 40K MV CLP WHT WL 20CC SURFACE MOUNTED, LED LAMP 4 FT, WRAP AROUND LENS, LOW TEMPERATURE DRIVER, BUILT IN OCCUPANCY SENSOR ACTIVATED W/ ADDITIONAL OCCUPANCY SENSOR FOR FAN CONTROL
B	120	14	SWOOP 610 LED EXTERIOR LIGHT, YWP610-14W HP-3500K-120-CP-BRZ-CAB/PC EXTERIOR, VANDAL RESISTANT, WALL MOUNTED, 14 WATT, CLEAR PRISMATIC LENS, BUILT IN PHOTOELECTRIC CONTROL
C	120	25	LUMINAIRE VPF84 INTERIOR LIGHT FIXTURE, VPF8 4FT NODM 25W 40K MVOLT CLP WHT WL SURFACE MOUNTED, LED LAMP 4 FT, WRAP AROUND LENS, LOW TEMPERATURE DRIVER, SWITCH ACTIVATED

NOTE: THE SOURCE OF EFFICACY OF EXTERIOR LIGHTING IS TO BE A MINIMUM OF 45 LUMENS PER WATT

EXHAUST FAN SCHEDULE								
SYM	MFR	MODEL #	CFM	SONES	VOLTS	AMPS	WATTS	NOTES
EF-1	FANTECH	RVF-4XL	154	6.0	120	0.79	91	1

- NOTES:
- FANS LISTED FOR WET LOCATION, CONTROL VIA OCCUPANCY SENSOR. LOCATE OPEN FACE J-BOX ON EXTERIOR SIDE OF PANEL.



LB Foster
CXT® Products

6701 E Flamingo Ave Bldg 300 Tampa, ID 83687
901 N. Highway 77 Hillsboro, TX 76645
362 Waverly Road Wiltonswtown, WV 26187

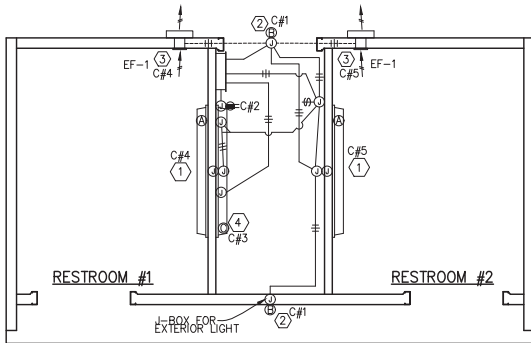
PROJECT FILE
CORTEZ
BUILDING NUMBER CR-1836

NOTE:
The information contained herein is proprietary and the exclusive property of CXT Incorporated. The information may only be used by the original recipient for the purpose intended. Reproduction or distribution of this information is strictly prohibited without the prior written consent of CXT Incorporated. By allowing use of this information, CXT Incorporated grants no warranty, express or implied, including a warranty of merchantability or of fitness for a particular purpose.
CXT Incorporated

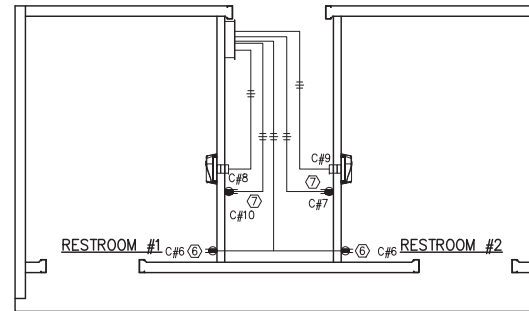
REV	DESCRIPTION	APPROVAL	DATE
SCALE	NTS	DATE	7-29-24
DRAWN	GOC	FILE NO.	CR-1836
CHECKED	N/PMER	PLOT	48

ELECTRICAL NOTES
& SCHEDULES

OWG NO. CR-20 SHEET 20 OF 22 REV. 0



LIGHTING & EXHAUST FAN PLAN
N.T.S.



WATER HEATER, HAND DRYER, & RECEPTACLE PLAN
N.T.S.

These plans comply with the Florida Mechanical Building Code and adopted Codes and rules to the following extent:

APPROVED BY
NIA INC.

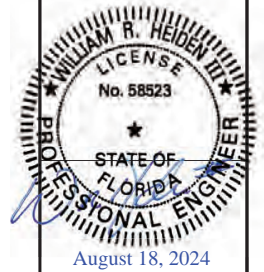
Contract Title: V/S
 Occupancy: IT
 Of Record: 2303PEL13434
 Final Building of Use: Water
 Plan No.: 11A-E-12011 CR-1836
 Allow. Project Cost: 100,000
 Approval Date: 2-20-2024
 Manufacturer: City of Orlando

KEY NOTES

- ① OCCUPANCY SENSOR CONTROLLED LIGHTS AND EXHAUST FANS.
- ② LIGHT FIXTURE TO BE CONTROLLED BY INTEGRAL PHOTOCELL.
- ③ CIRCUIT AS NEEDED FOR THE LOAD OF THE EXHAUST FAN. WIRE THRU OCCUPANCY SENSOR.
- ④ CHASE LIGHT TO BE SWITCH ACTIVATED.
- ⑤ NOT USED.
- ⑥ GFCI OUTLET FOR RESTROOMS
- ⑦ GFCI OUTLET FOR WATER HEATER.

SYMBOLS LEGEND

- GFCI RECEPTACLE
- SWITCH
- JUNCTION BOX
- CIRCUIT NUMBER
- ELECTRIC PANEL
- WALL MOUNTED LED FIXTURE
- CEILING MOUNTED LED FIXTURE
- EXTERIOR LIGHT FIXTURE
- EXHAUST FAN (EF-1)
- SURFACE MOUNTED CONDUIT, CROSSHATCH OR SLASH AND NUMBER DENOTES WIRES, (ALL #12AWG UNO, UNLESS NOTED) ONE WIRE TO BE GROUND
- SURFACE MOUNTED CONDUIT
- CONCEALED CONDUIT
- HAND DRYER



LB Foster
GXT® Products

6701 E Flamingo Ave Bldg 300 Tampa, ID 83687
 901 N. Highway 77 Hillsboro, TX 76645
 362 Waverly Road Wilmetts, IL 60091

PROJECT FILE
CORTEZ
BUILDING NUMBER CR-1836

NOTICE
 The information contained herein is proprietary and the exclusive property of GXT Incorporated. The information may only be used by the original recipient for the purpose intended. Reproduction or distribution of this information is strictly prohibited without the prior written consent of GXT Incorporated. By allowing use of this information, GXT Incorporated grants no warranty, express or implied, including a warranty of merchantability or of fitness for a particular purpose.
 GXT Incorporated

REV.	DESCRIPTION	APPROVAL	DATE

SCALE	1/4" = 1'-0"	DATE	7-29-24
DRAWN	LOGG	FILE NO.	CR-1836
CHECKED	NPENNER	PLOT	48

**ELECTRICAL PLAN,
 LEGEND & NOTES**

OWG NO.	SHEET	REV.
CR-21	21	0
	22	

HERNANDO COUNTY PRODUCT APPROVAL SUBMITTAL SHEET

Application/Permit #	Address:			Owner:		Contractor:		
Product	Model # or Name	Series	Manufacturer	Design Pressure	Attachment Method	Approval Number	Valid/Cert/Approval Entity	Expiration Date
Roofing								
	Cements-Adhesives-Coatings		United Coatings Manufacturing Company			Miami-Dade NOA No. 20-0130.07		
Soffit								
Hurricane panels/Shutters								
	Storm Panels		Eastern Metal Supply			Florida FL28390-R1		
Panel Walls								
Fasteners								
Other structural Components	Windows		Seves Glass Block, Inc (FL)			Miami-Dade NOA No. 20-1110.08		
	Exterior Doors		CECO Door Products			Florida FL 4553		
New/Bld Envelope								

Hernando County Board of County Commissioners
 Purchasing and Contracts Department
 15470 Flight Path Dr.
 Brooksville, FL 34604

PRE-QUOTE MEETING SIGN-IN SHEET
 CHINSEGUT DINING HALL ADA PARKING & RESTROOM ADDITION
 23-T00040/AP Q21
 10-29-2024, 10 am

PLEASE PRINT ALL INFORMATION AND PROVIDE US WITH YOUR COMPANY'S BUSINESS CARD. THANK YOU!

NAME	COMPANY NAME (No Acronyms) COMPLETE MAILING ADDRESS	PHONE NUMBER	E-MAIL ADDRESS
Erik van de Boogaard	Hernando County Department of Public Works 1525 E. Jefferson St. Brooksville, FL 34601	352-754-4096 Cell 352-651-8265	Evandeboogaard@co.hernando.fl.us
Sam Moore	Waller Construction Lakeland 1065 S FL. Ave 33606	863-617-8033	sam@wallergroup.com
JOHN SEGGIE	SEGGIE CUSTOM BUILDERS 2494 ELDRIDGE RD 34668	352 835 3532	PERMITTING@SEGGIECUSTOMBUILDERS.COM

PLEASE PRINT ALL INFORMATION AND PROVIDE US WITH YOUR COMPANY'S BUSINESS CARD. THANK YOU!