



# Hernando County Planning & Zoning Commission

## Regular Meeting

### Minutes

November 4, 2024

### CALL TO ORDER

The public meeting was called to order at 9:00 AM on Monday, November 4, 2024, in the John Law Ayers Room, Government Center, Brooksville, Florida. This meeting was advertised in the Hernando Sun newspaper and the Agenda Packet was available online at [www.hernandocounty.us](http://www.hernandocounty.us).

<u>Attendee Name</u>	<u>Title</u>
Nicholas Holmes	Chairman
W. Steve Hickey	Vice Chairman
Kathryn Birren	Regular Member
Jonathan McDonald	Regular Member
Robert Morgan	Regular Member
Justin Noe	Alternate Member (Non-voting)
James Lipsey	Ex Officio Non-voting Member (School Board Rep.)
Melissa Tartaglia	Assistant County Attorney
Omar DePablo	Development Services Director
Gordon Onderdonk	Utilities Director
Scott Herring	Public Works Director/County Engineer
Danielle Nigro	Agenda Coordinator

### Invocation

### Pledge of Allegiance

### Poll Commission for Ex Parte Communications

Chairman Holmes, Commission members Birren, McDonald, Morgan, and Alternate Member Noe announced the ex parte communications that they had had concerning the quasi-judicial petitions being considered at this meeting.

Commission member Hickey announced that he had had no ex parte communications concerning the quasi-judicial petitions being considered at this meeting.

### County Attorney Statement

Assistant County Attorney Tartaglia provided the standard admonition that the Planning and Zoning Commission decisions were to be based only on the evidence presented in the quasi-judicial proceedings.

### Administering of the Oath

**STAFF ANNOUNCEMENTS**

There were no staff announcements.

**APPROVAL/MODIFICATION OF AGENDA**

**Motion**

To approve the Agenda.

**RESULT: ADOPTED**  
**MOVER:** W. Steven Hickey  
**SECONDER:** Jonathan McDonald  
**AYES:** Holmes, Hickey, Birren, McDonald and Morgan  
**NON VOTING:**Noe

**ADOPTION OF THE INFORMATION PACKETS INTO EVIDENCE**

**Motion**

To adopt the information packets into evidence.

**RESULT: ADOPTED**  
**MOVER:** Kathryn Birren  
**SECONDER:** W. Steven Hickey  
**AYES:** Holmes, Hickey, Birren, McDonald and Morgan  
**NON VOTING:**Noe

**PUBLIC HEARINGS**

**UNIFIED AGENDA**

**CP 1479496 Sunrise Phase I**

This item was pulled and voted on separately

**Conditional Use Permit Petition Submitted by Leroy and Linda Oakes (CU-24-12)**

**Conditional Use Permit Petition Submitted by Erisbel Blanco (CU-24-13)**

**Conditional Use Permit Petition Submitted by David and Ana Philipsen (CU-24-14)**

This item was pulled and voted on separately.

**Motion**

To approve the Unified Agenda with changes.

(Note: Item No. 14663 [CP 1479496 Sunrise Phase I] and 14776 [Conditional Use Permit Petition Submitted by David and Ana Philipsen (CU-24-14)], were pulled for Board

Discussion.)

<p><b>RESULT:</b>      <b>ADOPTED</b>  <b>MOVER:</b>       Jonathan McDonald  <b>SECONDER:</b> W. Steven Hickey  <b>AYES:</b>         Holmes, Hickey, Birren, McDonald and Morgan  <b>NON VOTING:</b>Noe</p>
------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

**STANDARD AGENDA**

**CP 1479496 Sunrise Phase I**

The Board accepted public input on this matter .

**Motion**

To postpone to a date certain of December 9, 2024.

<p><b>RESULT:</b>      <b>ADOPTED</b>  <b>MOVER:</b>       W. Steven Hickey  <b>SECONDER:</b> Jonathan McDonald  <b>AYES:</b>         Holmes, Hickey, Birren, McDonald and Morgan  <b>NON VOTING:</b>Noe</p>
------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

**RECESS/RECONVENE**

The Board recessed at 10:15 a.m. and reconvened at 10:50 a.m.

**Conditional Use Permit Petition Submitted by David and Ana Philipsen (CU-24-14)**

The Board accepted public input on this matter .

**Motion**

To approve the staff recommendation.

<p><b>RESULT:</b>      <b>ADOPTED</b>  <b>MOVER:</b>       Jonathan McDonald  <b>SECONDER:</b> W. Steven Hickey  <b>AYES:</b>         Holmes, Hickey, Birren, McDonald and Morgan  <b>NON VOTING:</b>Noe</p>
------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

**Rezoning Petition Submitted by Karly Quedens and Barrett Rivera (H-24-45)**

There was no public input.

**Motion**

To approve the staff recommendation.

**RESULT: ADOPTED**  
**MOVER:** Kathryn Birren  
**SECONDER:** W. Steven Hickey  
**AYES:** Holmes, Hickey, Birren and Morgan  
**NAYES:** McDonald  
**NON VOTING:**Noe

**Rezoning Petition Submitted by Teresa Ballard (H-24-51)**

There was no public input.

**Motion**

To approve the staff recommendation.

**RESULT: ADOPTED**  
**MOVER:** W. Steven Hickey  
**SECONDER:** Robert Morgan  
**AYES:** Holmes, Hickey, Birren, McDonald and Morgan  
**NON VOTING:**Noe

**Rezoning Petition Submitted by William Fout and Vanessa Fox (H-24-52)**

There was no public input.

**Motion**

To approve the staff recommendation.

**RESULT: ADOPTED**  
**MOVER:** Jonathan McDonald  
**SECONDER:** Kathryn Birren  
**AYES:** Hickey, Birren, McDonald and Morgan  
**NAYES:** Holmes  
**NON VOTING:**Noe

**Rezoning Petition Submitted by A.R.E. Investment Ventures, Inc. (H-24-46)**

The Board accepted public input on this matter.

Member Noe left the meeting and did not return.

**Motion**

To approve the staff recommendation.

<b>RESULT:</b>	<b>ADOPTED</b>
<b>MOVER:</b>	W. Steven Hickey
<b>SECONDER:</b>	Jonathan McDonald
<b>AYES:</b>	Holmes, Hickey, Birren, McDonald and Morgan
<b>ABSENT:</b>	Noe

**RECESS/RECONVENE**

The Board recessed at 12:00 p.m. and reconvened at 12:05 p.m.

**Rezoning Petition Submitted by NVR, Inc., Barbara Zellmer, Regional Land Entitlement Manager (H-24-53)**

There was no public input.

**Motion**

To postpone to a date certain of December 9, 2024.

<b>RESULT:</b>	<b>ADOPTED</b>
<b>MOVER:</b>	Kathryn Birren
<b>SECONDER:</b>	W. Steven Hickey
<b>AYES:</b>	Holmes, Hickey, Birren, McDonald and Morgan
<b>ABSENT:</b>	Noe

**Rezoning Petition Submitted by Todd Mooney (H-24-49)**

The Board accepted public input on this matter.

**Motion**

To approve the staff recommendation with modifications.

(Note: The motion pertained to Modified Performance Condition Nos. 10, 13 and 19 as approved by the Planning Department.)

<b>RESULT:</b>	<b>ADOPTED</b>
<b>MOVER:</b>	Kathryn Birren
<b>SECONDER:</b>	W. Steven Hickey
<b>AYES:</b>	Holmes, Hickey, Birren, McDonald and Morgan
<b>ABSENT:</b>	Noe

**Master Plan Revision and Rezoning Petition Submitted by NVR, Inc. Ryan Homes (H-24-48)**

The Board accepted public input on this matter.

**Motion**

To approve the staff recommendation with modifications.

(Note: The motion pertained to Modified Performance Condition No. 5 as approved by the Planning Department.)

<b>RESULT:</b>	<b>ADOPTED</b>
<b>MOVER:</b>	W. Steven Hickey
<b>SECONDER:</b>	Kathryn Birren
<b>AYES:</b>	Holmes, Hickey, Birren and McDonald
<b>NAYES:</b>	Morgan
<b>ABSENT:</b>	Noe

**Master Plan submitted by Bobby Eaton ProBuilt U.S. Inc (H-24-47)**

The Board accepted public input on this matter.

**Motion**

To approve the staff recommendation.

<b>RESULT:</b>	<b>ADOPTED</b>
<b>MOVER:</b>	W. Steven Hickey
<b>SECONDER:</b>	Kathryn Birren
<b>AYES:</b>	Holmes, Hickey, Birren, McDonald and Morgan
<b>ABSENT:</b>	Noe

**Master Plan Revision Petition Submitted by Hawk Lake Hideaway LLC (H-24-50)**

The Board accepted public input on this matter.

Member McDonald temporarily left the meeting and returned shortly thereafter.

Member Birren temporarily left the meeting and returned shortly thereafter.

**Motion**

To approve the staff recommendation.

<b>RESULT:</b>	<b>ADOPTED</b>
<b>MOVER:</b>	W. Steven Hickey
<b>SECONDER:</b>	Jonathan McDonald
<b>AYES:</b>	Holmes, Hickey and McDonald
<b>NAYES:</b>	Birren and Morgan
<b>ABSENT:</b>	Noe

**PSFOD Petition Submitted by Hernando County Board of County Commissioners (H-24-60)**

There was no public input.

**Motion**

To approve the staff recommendations with modifications.

(Note: The motion pertained to Modified Performance Condition Nos. 5 and 13 as approved by the Planning Department.)

<b>RESULT:</b>	<b>ADOPTED</b>
<b>MOVER:</b>	W. Steven Hickey
<b>SECONDER:</b>	Jonathan McDonald
<b>AYES:</b>	Holmes, Hickey, Birren, McDonald and Morgan
<b>ABSENT:</b>	Noe

**COMMISSIONERS AND STAFF ISSUES**

There were no issues to discuss.

**ADJOURNMENT**

The meeting was adjourned at 3:15 p.m.

**UPCOMING MEETINGS**

The next regular meeting of the Planning and Zoning Commission is scheduled for Monday, December, 9 2024, beginning at 9:00 AM, in the Commission Chambers.



## Planning & Zoning Commission

Meeting: 11/04/2024  
Department: Planning  
Prepared By: Danielle Nigro  
Initiator: Omar DePablo  
DOC ID: 14772  
Legal Request Number:  
Bid/Contract Number:

### AGENDA ITEM

---

---

#### TITLE

Conditional Use Permit Petition Submitted by Leroy and Linda Oakes (CU-24-12)

#### BRIEF OVERVIEW

**Request:**

Conditional Use Permit approval for a Second Residence

**General Location:**

Northwestern corner of the intersection of Birch Street and Pinewood Avenue

#### FINANCIAL IMPACT

A matter of policy. There is no financial impact.

#### LEGAL NOTE

The Planning and Zoning Commission has approval jurisdiction over the subject application. The Applicable Criteria for conditional use approval are contained in Appendix A, (Zoning Code) Article V, Section 4. The Conditional Use Approval must be consistent with the Comprehensive Plan.

Article V, Section 4(A)(2) permits the following, with planning and zoning commission approval: Temporary second principal building on one lot of record in cases of extreme personal hardship. Article V, Section 4(G)(3) provides: "No conditional use permit shall be issued for a period to exceed two (2) years unless otherwise specified in this ordinance. However, conditional use permits may be renewed or extended upon reapplication."

The notice requirements of Appx. A, Art. V, Sec. 4.D(5) of the Hernando County Code have been complied with.

#### RECOMMENDATION

It is recommended that the Planning and Zoning Commission determine whether a hardship exists; if such a determination is made, the Planning & Zoning Commission may approve the request for a conditional use permit for a period of up to two (2) years with performance conditions.

#### REVIEW PROCESS

Omar DePablo	Approved	10/31/2024	6:55 AM
Toni Brady	Approved	10/31/2024	9:16 AM
Pamela Hare	Approved	10/31/2024	9:54 AM
Melissa Tartaglia	Approved	10/31/2024	12:43 PM
Danielle Nigro	Approved	10/31/2024	1:23 PM

**RESULT:**     **ADOPTED**  
**MOVER:**     Jonathan McDonald  
**SECONDER:** W. Steven Hickey  
**AYES:**       Holmes, Hickey, Birren, McDonald and Morgan  
**NON VOTING:** Noe

HERNANDO COUNTY CONDITIONAL USE PERMIT OR SPECIAL EXCEPTION USE PERMIT PETITION

File No. \_\_\_\_\_ Official Date Stamp:

CU-24-12

Received

AUG 12 2024

Planning Department  
Hernando County, Florida



Application request (check one):

- Conditional Use Permit
 Special Exception Use Permit

PRINT OR TYPE ALL INFORMATION

Date: 08/08/2024

APPLICANT NAME: LEROY T + LINDA P OAKES

Address: 12349 BIRCH ST

City: BROOKSVILLE

State: FL

Zip: 34613

Phone: 352 238-6844 Email: LLOFL1234@gmail.com

Property owner's name: (if not the applicant)

REPRESENTATIVE/CONTACT NAME:

Company Name:

Address:

City:

State:

Zip:

Phone:

Email:

HOME OWNERS ASSOCIATION: [ ] Yes [X] No (if applicable provide name)

Contact Name:

Address:

City:

State:

Zip:

PROPERTY INFORMATION:

- 1. PARCEL(S) KEY NUMBER(S): 422019
2. SECTION 20 TOWNSHIP 22 RANGE 18
3. Current zoning classification: RIC
4. Desired use: CONDITIONAL USE
5. Size of area covered by application:
6. Highway and street boundaries: BIRCH ST AND PINEWOOD ST
7. Has a public hearing been held on this property within the past twelve months? [ ] Yes [X] No
8. Will expert witness(es) be utilized during the public hearings? [ ] Yes [X] No (If yes, identify on an attached list.)
9. Will additional time be required during the public hearing(s) and how much? [ ] Yes [X] No (Time needed: )

PROPERTY OWNER AFFIDIVAT

I, LINDA P. OAKES AND LEROY T OAKES, have thoroughly examined the instructions for filing this application and state and affirm that all information submitted within this petition are true and correct to the best of my knowledge and belief and are a matter of public record, and that (check one):

[X] I am the owner of the property and am making this application OR

[ ] I am the owner of the property and am authorizing (applicant):

and (representative, if applicable):

to submit an application for the described property.

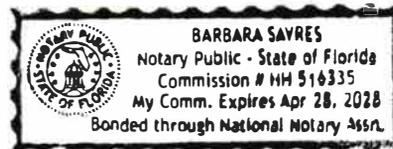
Signature of Linda P. Oakes and Leroy T. Oakes

Signature of Property Owner

STATE OF FLORIDA COUNTY OF HERNANDO

The foregoing instrument was acknowledged before me by means of [X] physical presence or [ ] online notarization, this 11TH day of AUGUST, 2024, by Linda P. OAKES AND LEROY T. OAKES who is [ ] personally known to me or [X] produced ADULTER LICENSE as identification.

Signature of Notary Public Barbara Sayres



Effective Date: 05/15/20 Last Revision: 05/15/20

Notary Seal/Stamp

## REQUEST FOR CONDITIONAL USE PERMIT FOR PROPERTY IN HERNANDO COUNTY

---

**PARCEL:** R20 222 18 3035 0090 0090  
**KEY:** 422 019

We are requesting a conditional use permit for the lot adjacent to our home. Our need is to put a small mobile home or trailer on this lot that our 47 year old son can live in. He is mentally and physically handicapped and is on disability. He presently lives alone but due to the deterioration of his health this is no longer advisable. He no longer drives and cannot function normally with his activities of daily living such as cooking meals, shopping etc. We are his 85 year old father and 73 year old mother living approximately 16 miles away and we have taken on the responsibility of providing for his needs including his numerous rides to doctor appointments and pharmacy runs. This, given our ages, has become increasingly difficult for us to run back and forth to his current address. We feel the need to have him living close to us so that not only his transportation needs are cared for but also we will be able to provide daily meals for him, do his laundry at our home and just have the regular supervision that he needs. We do not have the room in our home to accommodate him so we are asking for a conditional use permit for the vacant lot next to us knowing that this will be extremely helpful to us in providing all the assistance our son requires.

Thank you so much for your consideration of our petition!

---

Received

AUG 12 2024

Planning Department  
Hernando County, Florida

*Leroy T Oakes*

*Linda P Oakes*

## STAFF REPORT

---

**HEARINGS:** Planning & Zoning Commission: November 4, 2024

**APPLICANT:** Leroy T. and Linda P. Oakes

**FILE NUMBER:** CU-24-12

**REQUEST:** Conditional Use Permit approval for a Second Residence

**GENERAL LOCATION:** Northwestern corner of Birch Street and Pinewood Avenue

**PARCEL KEY NUMBER:** 422019

---

### APPLICANT'S REQUEST

The applicant is requesting approval to place a second residence, namely a mobile home, on their property due to medical hardship. The petitioner has provided a physician's letter indicating the need for assistance in his medical care and daily activities; the letter is part of the public record file.

### SITE CHARACTERISTICS

**Site Size:** 0.85 acres

**Surrounding Zoning & Land Uses:**

North: R-1C; DRA

South: R-1C; Single-family home

East: R-1C; Single-family home

West: R-1C; Single-family home

**Current Zoning:** R-1C (Residential)

**Future Land Use Map Designation:** Rural

### UTILITIES REVIEW

Public water and sewer are currently supplied to this parcel. The petitioner is required to connect the second residence to public water and sewer, be it through the connection to the main house or direct connection to the system.

## ENGINEERING REVIEW

The site is located on the Northwestern corner of Birch Street and Pinewood Avenue. The subject property is located in flood zone X. The petitioner is required to apply for a driveway permit, and to construct a driveway on Birch Street that complies with County Standards.

## LAND USE REVIEW

Minimum Building Setbacks Required in the AG (Agricultural) District:

- Front (Birch St): 25'
- Second Front (Pinewood Ave): 25'
- Side (West): 10'
- Rear (North): 15'

A conditional use permit is intended to be used as a special permit which temporarily allows uses not otherwise permitted by the ordinance. The Planning and Zoning Commission can grant a conditional use permit for a period of up to two years if they determine that a hardship exists.

## NOTICE OF APPLICANT RESPONSIBILITY

*The conditional use permit process is a land use determination and does not constitute a permit for either construction, or use of, the property, or a Certificate of Concurrency. Prior to use of, or construction on, the property, the petitioner must receive approval from the appropriate County department(s) for the proposed use.*

*The granting of this land use determination does not protect the owner from civil liability for recorded deed restrictions which may exceed any county land use ordinances. Homeowner associations or architectural review committees require submission of plans for review and approval. The applicant for this land use request should contact the local association or the Public Records for all restrictions applicable to this property.*

## STAFF RECOMMENDATION

It is recommended that the Planning and Zoning Commission determine whether a hardship exists; if such a determination is made, the Planning & Zoning Commission may approve the request for a conditional use permit for a period of up to two (2) years with the following performance conditions:

1. The petitioner must obtain all permits from Hernando County and other applicable agencies and meet all applicable land development regulations, for either construction or use of the property, and complete all applicable development review processes.
2. The petitioner shall install a driveway on Birch Street that meets County standards. No second driveway is permitted.
3. Public water and septic shall be connected to the second residence.
4. No attachments or other structures shall be erected on the property or attached to the RV. The proposed second residence shall meet the setbacks of the R-1C (Residential) zoning district.

- Front (Birch St): 25'
  - Second Front (Pinewood Ave): 25'
  - Side (West): 10'
  - Rear (North): 15'
5. County personnel shall have the ability to inspect the property periodically for the duration of the permit to verify that performance conditions are being followed and the use has not been abandoned. A final inspection by county staff will occur within thirty (30) days immediately following the expiration of this permit to verify that the use has been discontinued.
5. The Conditional Use Permit shall expire on November 4, 2026.



Received

AUG 12 2024

Planning Department  
Hernando County, Florida

GREENWOOD ST

100.04'

170.09'

7  
421993

DRA  
1490906

RETENTION POND

100.04'

100.05'

100.04'

10  
422028

9  
422019

SHED

CARPORT

12349 BIRCH ST

PROPOSED SPOT

DRIVEWAY

PINEWOOD AVI

100.04'

100.05'

70.04'

BIRCH ST

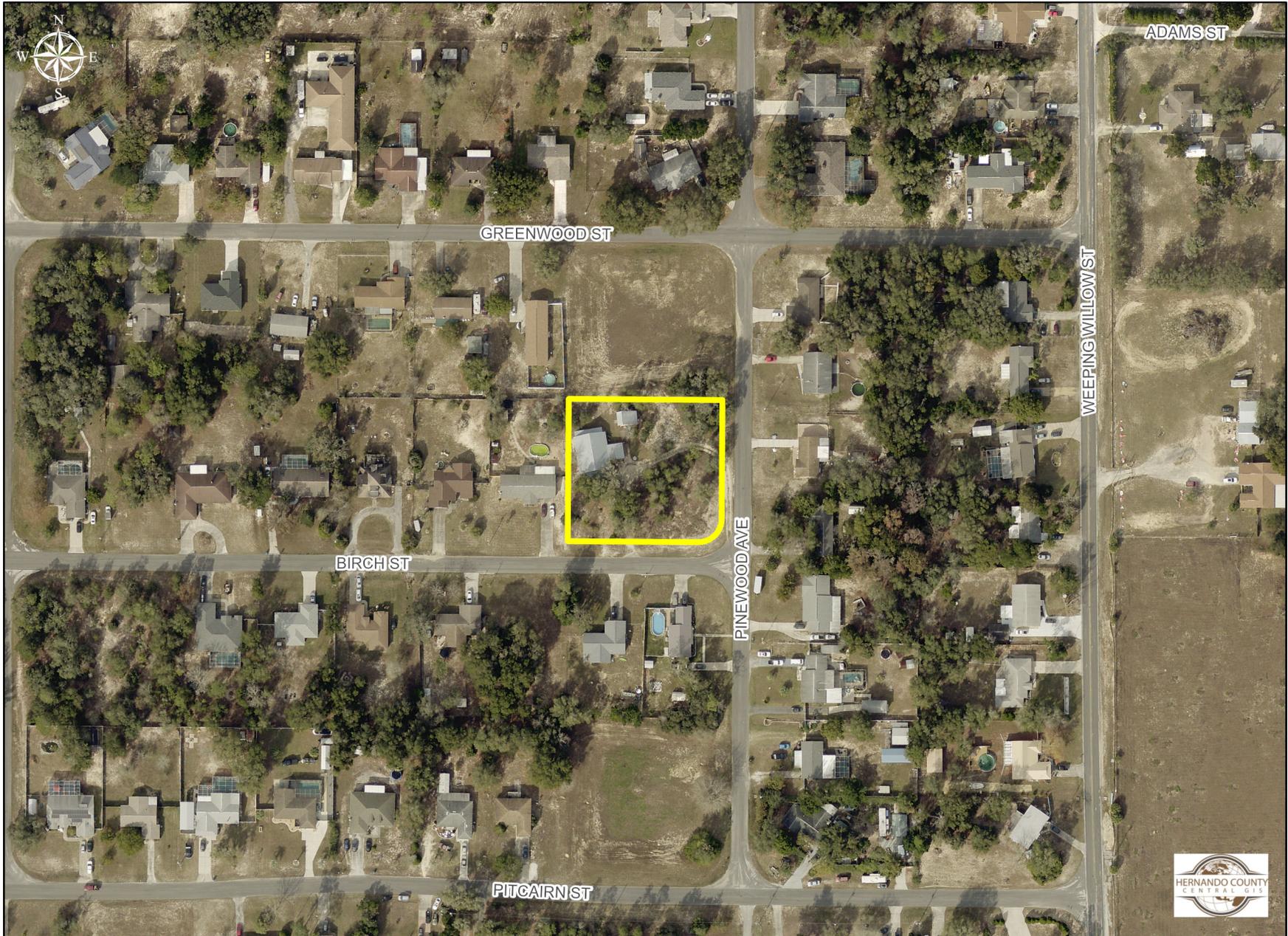
BIRCH ST

210'

# CU-24-12

Photo date: 2023

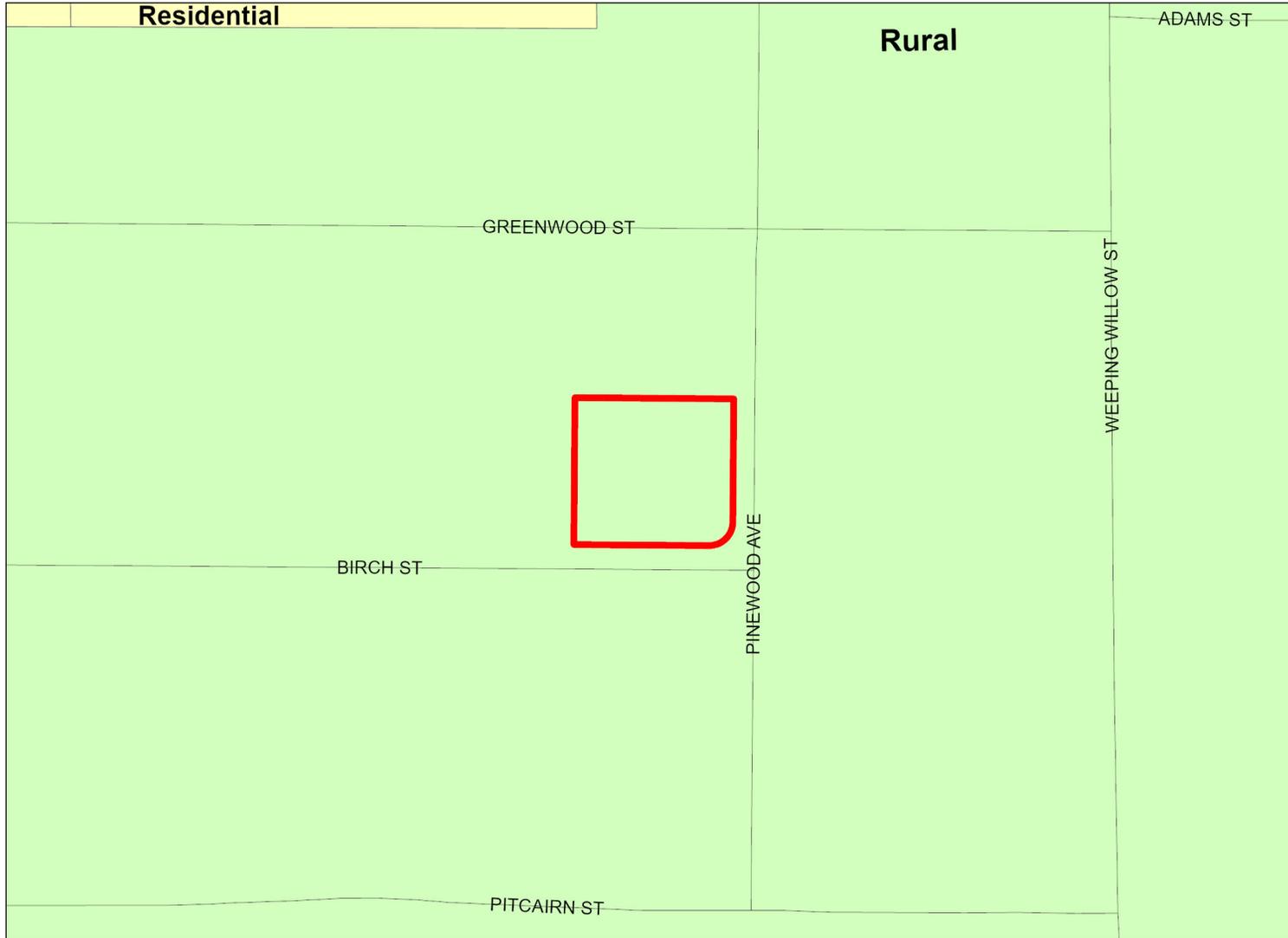
This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



0 0.01 0.03 0.05 0.08 0.1  
Miles

# Hernando County Comprehensive Plan Map

Existing Future Land Use: CU-24-12  
Version Date: 12/09/2022



**CU-24-12**

FLU Riverine District

Regional Commercial

**FLU**

- CITY
- COMMERCIAL
- CONSERVATION
- EDUCATION
- INDUSTRIAL
- MINING
- PLANNED DEVELOPMENT
- PUBLIC FACILITIES
- RECREATION
- RESIDENTIAL
- RURAL

**Future Land Use Map**

PLEASE REFER TO THE TEXT PORTION OF THE COMPREHENSIVE PLAN IN CONJUNCTION WITH THE USE OF THE FUTURE LAND USE MAP SERIES.

NOTE: THE RIVERINE DISTRICT IS SHOWN AS A LINE SETBACK PARALLEL TO THE WEEKI WACHEE, MUD AND WITHLACOOCHEE RIVERS.

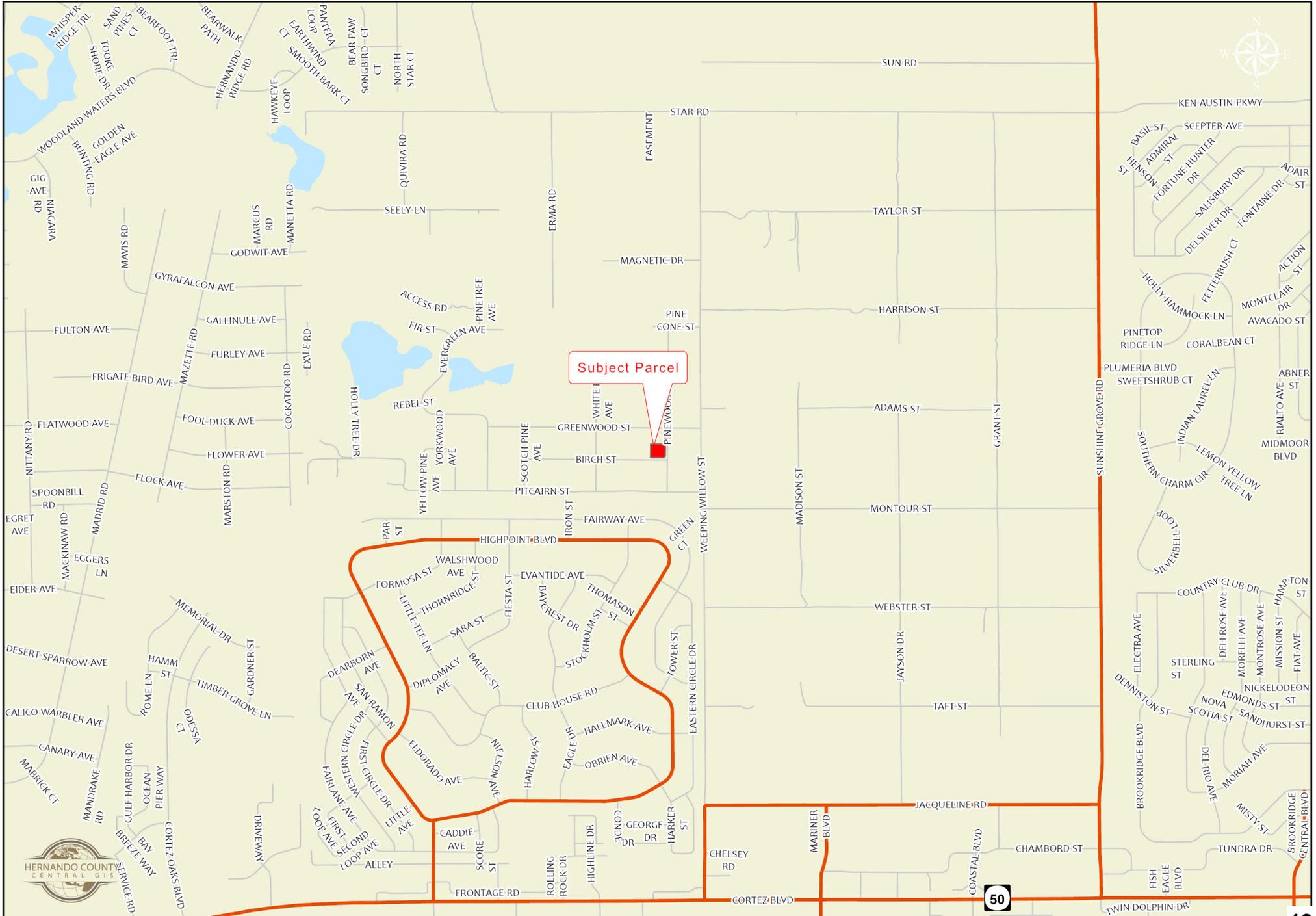


Date of mapping: 08/28/2024



# CU-24-12 AREA MAP

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



50

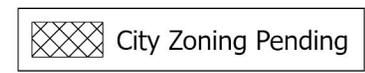
# CU-24-12

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



**Zoning:**

	PDP(HC)
	AC
	PDP(HHC)
	AG
	PDP(HID)
	AR
	PDP(IND)
	AR1
	PDP(LI)
	AR2
	PDP(MF)
	C1
	PDP(MH)
	C2
	PDP(NC)
	C3
	PDP(OP)
	C4
	PDP(PSF)
	CITY
	PDP(REC)
	CM1
	PDP(RR)
	CM2
	PDP(RUR)
	CPDP
	PDP(SF)
	CV
	PDP(SU)
	I1
	I2
	M
	R1A
	OP
	R1B
	PDP(AF)
	R1C
	PDP(CM)
	R1MH
	PDP(CP)
	R2
	PDP(GC)
	R2.5
	PDP(GHC)
	R3
	RC
	RM





Received

AUG 12 2024

Planning Department  
Hernando County, Florida

August 12, 2024

Planning and Zoning Committee  
Hernando County, FL

**Re: Aaron Oakes**  
**DOB: 01-05-1977**

RE: Conditional Zoning Permit

I am the primary care physician for Mr. A. Oakes and am familiar with his medical histories and his current health conditions.

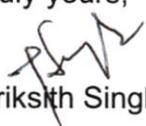
Mr. Oakes is a male patient who has had years of medical conditions requiring multiple hospitalizations. He suffers from several gastrointestinal conditions including colitis, diverticulitis, gastrointestinal reflux disease and he has to continue on several medications for management of these issues. He has frequent visits with various medical specialties as well as with this office following each hospitalization. After each hospitalization, his parents are his sole support system and they have to drive back and forth to his residence where he is currently a renter, he owns no property. He is disabled and relies heavily on the physical and emotional support received from his parents. Providing these supports are becoming a hardship for them because of the distance they have to drive to reach him.

His parents live in Brooksville, FL and own an empty lot next to their property. Their intent and request is to put a small trailer or pre-owned home on this lot so their son can live close to them as a source of support, for them as well as providing them close access to provide care for Mr. Oakes. Mr. Oakes is currently hospitalized for some of his numerous medical conditions and it's reasonable that he can anticipate a long period of recuperation, perhaps for life-long needs.

Both Mr. L. Oakes and his wife are in their later years and it is becoming more difficult for them to provide needed support from a distance; having their son live a short distance from them will suit all of their needs. This would also afford their son whose disability financial income is limited greater latitude in managing his own finances. The parents' current living arrangement in their home is too small to accommodate their son living with them but this requested alternative for use of their vacant property would satisfy all of their needs.

I fully support their request for this zoning change. Providing closer and needed oversight for their son would provide a sense of relief for all.

Very truly yours,

  
Dr. Parikshith Singh  
PS/ml



## Planning & Zoning Commission

Meeting: 11/04/2024  
Department: Planning  
Prepared By: Danielle Nigro  
Initiator: Omar DePablo  
DOC ID: 14773  
Legal Request Number:  
Bid/Contract Number:

### AGENDA ITEM

---

---

#### TITLE

Conditional Use Permit Petition Submitted by Erisbel Blanco (CU-24-13)

#### BRIEF OVERVIEW

**Request:**

Conditional Use Permit for storage building during construction of a single-family home

**General Location:**

Eastern side of Perimeter Drive, approximately 575' north of its intersection with Citrus Way

#### FINANCIAL IMPACT

A matter of policy. There is no financial impact.

#### LEGAL NOTE

The Planning and Zoning Commission has approval jurisdiction over the subject application. The Applicable Criteria for conditional use approval are contained in Appendix A, (Zoning Code) Article V, Section 4. The Conditional Use Approval must be consistent with the Comprehensive Plan.

The notice requirements of Appx. A, Art. V, Sec. 4.D(5) of the Hernando County Code have been complied with.

#### RECOMMENDATION

It is recommended that the Planning and Zoning Commission determine whether a hardship exists; if such a determination is made, the Planning & Zoning Commission may approve the request for a Conditional Use Permit for a storage building associated with the construction of a home for a period of up to one (1) year with performance conditions.

#### REVIEW PROCESS

Omar DePablo	Approved	10/31/2024	6:54 AM
Toni Brady	Approved	10/31/2024	9:15 AM
Pamela Hare	Approved	10/31/2024	9:52 AM
Melissa Tartaglia	Approved	10/31/2024	12:42 PM
Danielle Nigro	Approved	10/31/2024	1:23 PM

**HERNANDO COUNTY CONDITIONAL USE PERMIT  
OR SPECIAL EXCEPTION USE PERMIT PETITION**



Application request (check one):  
 Conditional Use Permit  
 Special Exception Use Permit

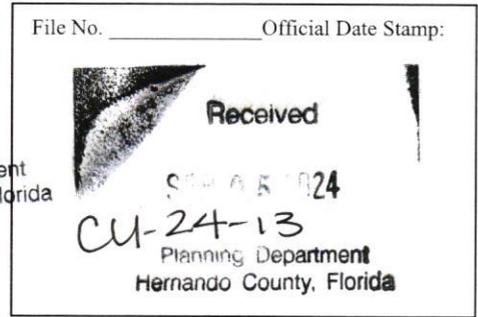
PRINT OR TYPE ALL INFORMATION

Received

SEP 05 2024

Planning Department  
Hernando County, Florida

File No. \_\_\_\_\_ Official Date Stamp:



Date: 8/26/24

APPLICANT NAME: Erisbel Blanco

Address: 16259 perimeter DR

City: Brooksville

State: FL

Zip: 34614

Phone: 813 562 7733 Email: erisdagm997@gmail.com

Property owner's name: (if not the applicant) Erisbel Blanco

REPRESENTATIVE/CONTACT NAME:

Company Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_

State: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

HOME OWNERS ASSOCIATION:  Yes  No (if applicable provide name) \_\_\_\_\_

Contact Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_

State: \_\_\_\_\_

Zip: \_\_\_\_\_

PROPERTY INFORMATION:

1. PARCEL(S) KEY NUMBER(S): 330797

2. SECTION 36/27, TOWNSHIP 21, RANGE 18

3. Current zoning classification: R1C

4. Desired use: temporary for security & storage

5. Size of area covered by application: 17,747 sqft

6. Highway and street boundaries: perimeter DR

7. Has a public hearing been held on this property within the past twelve months?  Yes  No

8. Will expert witness(es) be utilized during the public hearings?  Yes  No (If yes, identify on an attached list.)

9. Will additional time be required during the public hearing(s) and how much?  Yes  No (Time needed: \_\_\_\_\_)

PROPERTY OWNER AFFIDIVAT

I, erisbel Blanco, have thoroughly examined the instructions for filing this application and state and affirm that all information submitted within this petition are true and correct to the best of my knowledge and belief and are a matter of public record, and that (check one):

I am the owner of the property and am making this application OR

I am the owner of the property and am authorizing (applicant): Erisbel Blanco

and (representative, if applicable): Leosdani Jimenez

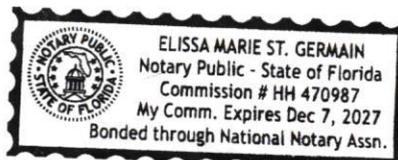
to submit an application for the described property.

Signature of Property Owner

STATE OF FLORIDA  
COUNTY OF HERNANDO

The foregoing instrument was acknowledged before me this 5<sup>th</sup> day of September, 2024, by Erisbel Blanco who is personally known to me or produced FLDL as identification.

Signature of Notary Public



Notary Seal/Stamp

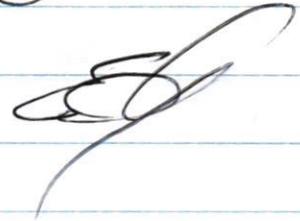
Effective Date: 11/8/16 Last Revision: 11/8/16

(16259 Perimeter DR)

I erisbel need this R/V at  
the Property Adress 16259 Perimeter DR  
Brooksville FL, 34614 Because I will need  
it as storage during my new construction  
where the plans are submitted to  
Herpando County for revision.

Erisbel Blanco

813-562-7733



## STAFF REPORT

---

**HEARINGS:** Planning & Zoning Commission: November 4, 2024

**APPLICANT:** Erisbel Blanco

**FILE NUMBER:** CU-24-13

**REQUEST:** Conditional Use Permit for storage building during construction of a single family home

**GENERAL LOCATION:** Eastern side of Perimeter Drive, approximately 575' north of its intersection with Citrus Way

**PARCEL KEY NUMBER:** 330797

---

### APPLICANT'S REQUEST

The petitioner requests approval of a Conditional Use Permit to place a 24'x8' RV on their property for the storage of tools and building material during the construction of their home. The County currently has an active permit for a single family home on the subject site.

### SITE CHARACTERISTICS

**Site Size:** 0.41 acres

**Surrounding Zoning & Land Uses:**

North: R-1C; Undeveloped

South: R-1C; Single-family home

East: AG; Undeveloped

West: AR2; Undeveloped

**Current Zoning:** R-1C (Residential)

**Future Land Use Map Designation:** Rural

### UTILITIES REVIEW

The Hernando County Utilities Department (HCUD) does not currently supply water or sewer service to this parcel. Water and sewer service are not available to this parcel. The property is subject to Health Department approval of any Onsite Sewage Treatment and Disposal System that may be necessary.

## ENGINEERING REVIEW

The site is located on the Eastern side of Perimeter Drive, approximately 575' north of its intersection with Citrus Way. The County Engineer has reviewed the request and indicated the property is within Flood Zone "X".

## LAND USE REVIEW

Minimum Building Setbacks Required in the R-1C (Residential) zoning district:

- Front (west): 25'
- Side (north and south): 10'
- Rear (east): 15'

A conditional use permit is intended to be used as a special permit which temporarily allows uses not otherwise permitted by the ordinance. The Commission can grant a conditional use permit for a period of up to two years if they determine that a hardship exists.

## NOTICE OF APPLICANT RESPONSIBILITY

*The conditional use permit process is a land use determination and does not constitute a permit for either construction, or use of, the property, or a Certificate of Concurrency. Prior to use of, or construction on, the property, the petitioner must receive approval from the appropriate County department(s) for the proposed use.*

*The granting of this land use determination does not protect the owner from civil liability for recorded deed restrictions which may exceed any county land use ordinances. Homeowner associations or architectural review committees require submission of plans for review and approval. The applicant for this land use request should contact the local association or the Public Records for all restrictions applicable to this property.*

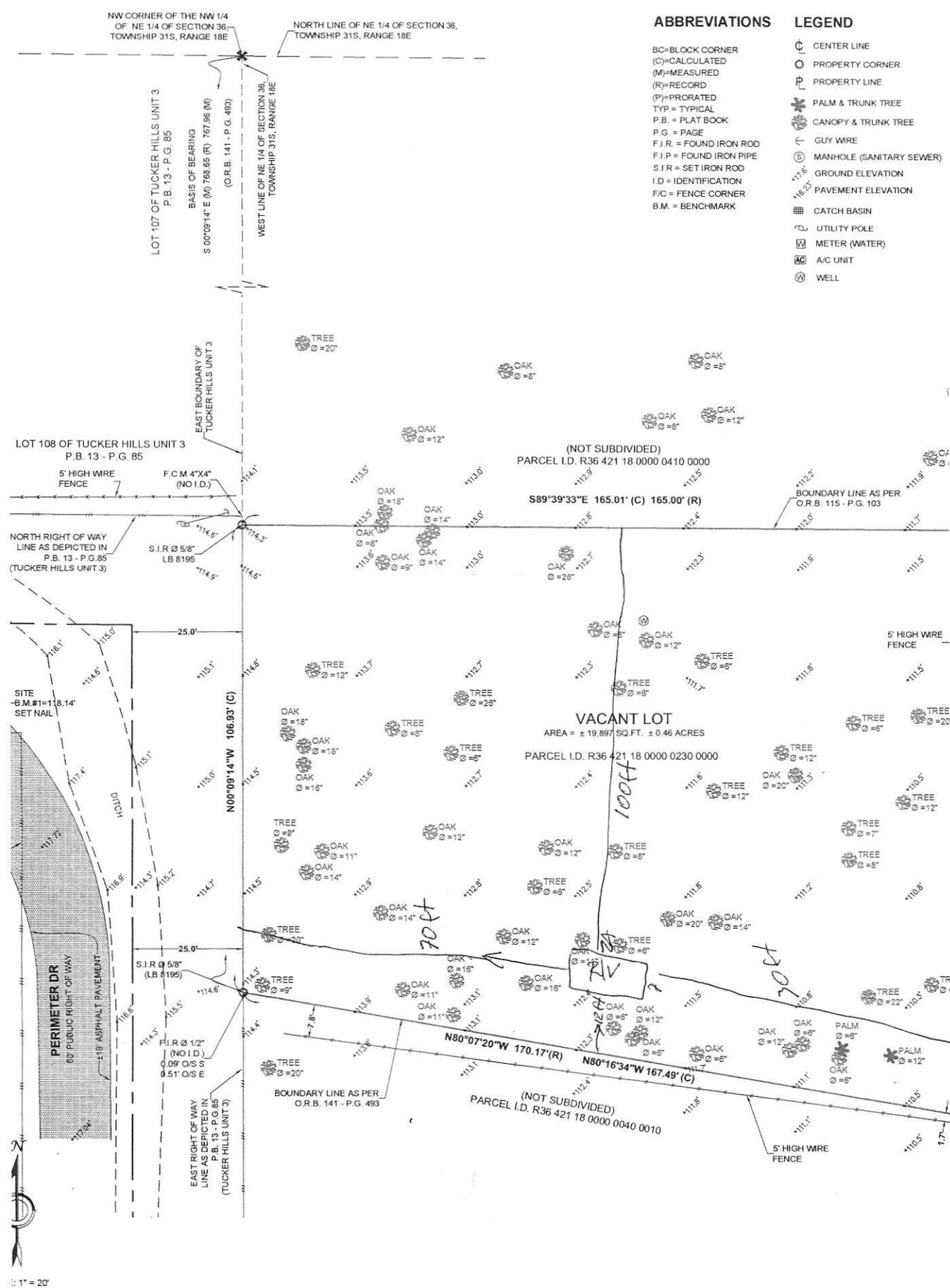
## STAFF RECOMMENDATION

It is recommended that the Planning and Zoning Commission determine whether a hardship exists; if such a determination is made, the Planning & Zoning Commission may approve the request for a Conditional Use Permit for a storage building associated with the construction of a home for a period of up to one (1) year with the following performance conditions:

1. The petitioner must obtain all permits from Hernando County and other applicable agencies and meet all applicable land development regulations, for either construction or use of the property, and complete all applicable development review processes.
2. The proposed storage building shall meet the setbacks of the R-1C (Residential) zoning district.
  - Front: 25'
  - Side: 10'
  - Rear: 20'
3. County personnel shall have the ability to inspect the property periodically for the duration of the permit to verify that performance conditions are being followed and the use has not been abandoned. A final inspection by county staff will occur within thirty (30) days

immediately following the expiration of this permit to verify that the use has been discontinued.

5. The Conditional Use Permit shall expire on November 4, 2025.



1" = 20'

# CU-24-13

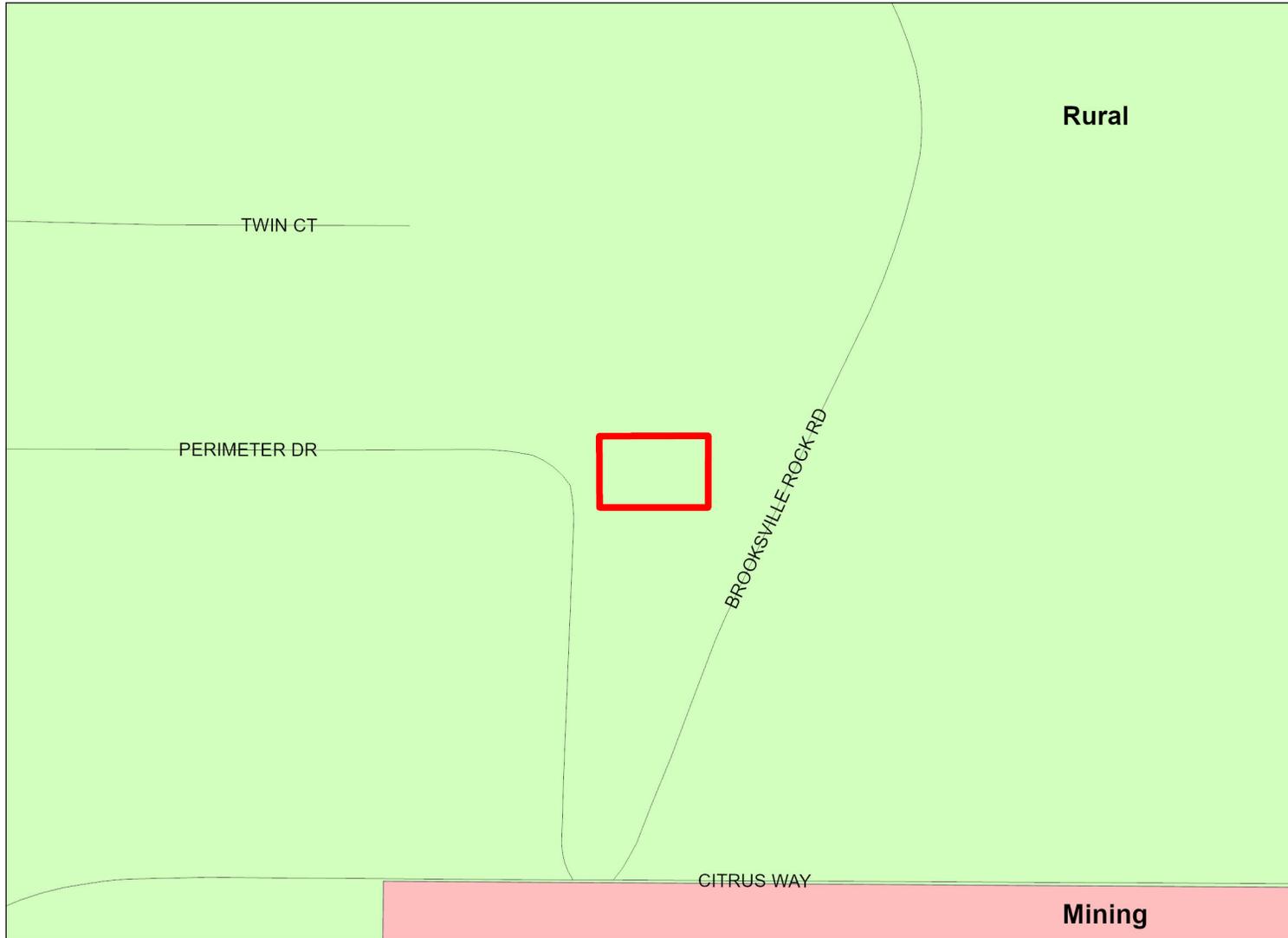
Photo date: 2023

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



# Hernando County Comprehensive Plan Map

Existing Future Land Use: CU-24-13  
Version Date: 12/09/2022

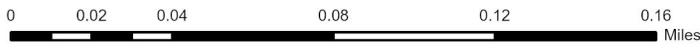


	CU-24-13
	FLU Riverine District
	Regional Commercial
<b>FLU</b>	
	CITY
	COMMERCIAL
	CONSERVATION
	EDUCATION
	INDUSTRIAL
	MINING
	PLANNED DEVELOPMENT
	PUBLIC FACILITIES
	RECREATION
	RESIDENTIAL
	RURAL

**Future Land Use Map**

PLEASE REFER TO THE TEXT PORTION OF THE COMPREHENSIVE PLAN IN CONJUNCTION WITH THE USE OF THE FUTURE LAND USE MAP SERIES.

NOTE: THE RIVERINE DISTRICT IS SHOWN AS A LINE SETBACK PARALLEL TO THE WEEKI WACHEE, MUD AND WITHLACOOCHEE RIVERS.

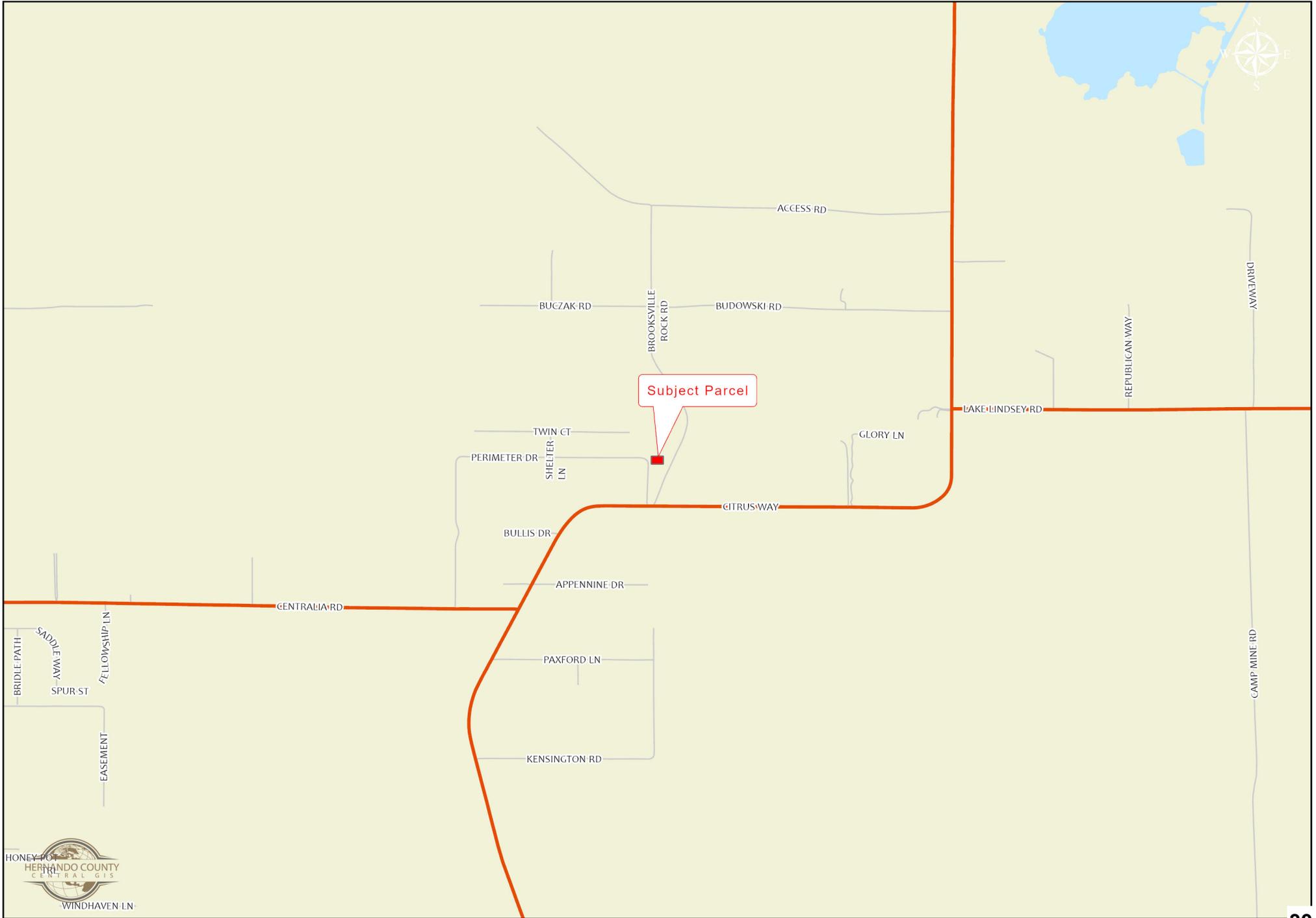


Date of mapping: 10/18/2024



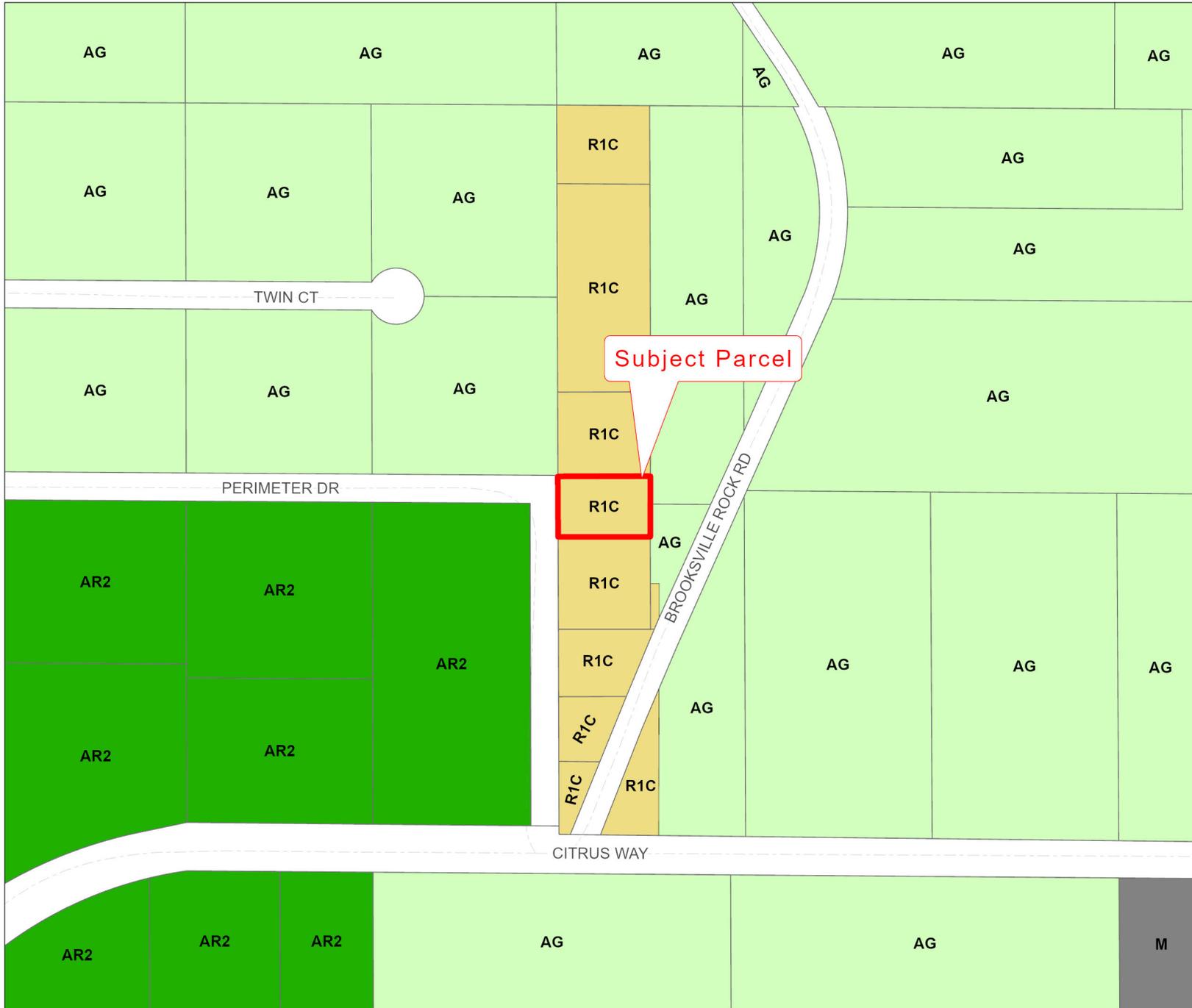
# CU-24-13 AREA MAP

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



# CU-24-13

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



**Zoning:**

AC	PDP(HC)
AG	PDP(HHC)
AR	PDP(HID)
AR1	PDP(IND)
AR2	PDP(LI)
C1	PDP(MF)
C2	PDP(MH)
C3	PDP(NC)
C4	PDP(OP)
CITY	PDP(PSF)
CM1	PDP(REC)
CM2	PDP(RR)
CPDP	PDP(RUR)
CV	PDP(SF)
I1	PDP(SU)
I2	R1A
M	R1B
OP	R1C
PDP(AF)	R1MH
PDP(CM)	R2
PDP(CP)	R2.5
PDP(GC)	R3
PDP(GHC)	RC
	RM

City Zoning Pending





## AGENDA ITEM

### TITLE

Conditional Use Permit Petition Submitted by David and Ana Philipsen (CU-24-14)

### BRIEF OVERVIEW

**Request:**

Conditional Use Permit approval for a Temporary Security Residence

**General Location:**

East side of Spanish Bayonet Drive approximately 190' south of its intersection with Hermosa Boulevard

### FINANCIAL IMPACT

A matter of policy. There is no financial impact.

### LEGAL NOTE

The Planning and Zoning Commission has approval jurisdiction over the subject application. The Applicable Criteria for conditional use approval are contained in Appendix A, (Zoning Code) Article V, Section 4. The Conditional Use Approval must be consistent with the Comprehensive Plan.

The notice requirements of Appx. A, Art. V, Sec. 4.D(5) of the Hernando County Code have been complied with.

### RECOMMENDATION

It is recommended that the Planning and Zoning Commission determine whether a hardship exists; if such a determination is made, the Planning & Zoning Commission may approve the request for a Conditional Use Permit approval for a Temporary Security Residence for a period of up to one (1) year with performance conditions.

### REVIEW PROCESS

Omar DePablo	Approved	10/31/2024	6:51 AM
Toni Brady	Approved	10/31/2024	9:14 AM
Pamela Hare	Approved	10/31/2024	9:51 AM
Melissa Tartaglia	Approved	10/31/2024	12:42 PM
Danielle Nigro	Approved	10/31/2024	1:23 PM

<b>AYES:</b>	Holmes, Hickey, Birren, McDonald and Morgan
<b>NON VOTING</b>	Noe

**HERNANDO COUNTY CONDITIONAL USE PERMIT  
OR SPECIAL EXCEPTION USE PERMIT PETITION**



Application request (check one):  
 Conditional Use Permit  
 Special Exception Use Permit

PRINT OR TYPE ALL INFORMATION

File No. \_\_\_\_\_ Official Date Stamp:  
**RECEIVED**  
**AUG 16 2024**  
 Hernando County Development Services  
 Zoning Division  
**CU-24-14**

Date: 8/15/24

**APPLICANT NAME:** David & Ana Philipsen  
 Address: 3272 Spanish Bayonet  
 City: Hernando Beach State: FL Zip: 34607  
 Phone: 352-442-4867 Email: destiny Metals & gather.com  
 Property owner's name: (if not the applicant) same

**REPRESENTATIVE/CONTACT NAME:** \_\_\_\_\_  
 Company Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**HOME OWNERS ASSOCIATION:**  Yes  No (if applicable provide name) \_\_\_\_\_  
 Contact Name: \_\_\_\_\_  
 Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

**PROPERTY INFORMATION:**  
 1. PARCEL(S) KEY NUMBER(S): 173920  
 2. SECTION 13, TOWNSHIP 23, RANGE 16  
 3. Current zoning classification: Residential R1B  
 4. Desired use: Residential Conditional Use for Security Residence  
 5. Size of area covered by application: 250 sq ft  
 6. Highway and street boundaries: Spanish Bayonet Ct  
 7. Has a public hearing been held on this property within the past twelve months?  Yes  No  
 8. Will expert witness(es) be utilized during the public hearings?  Yes  No (If yes, identify on an attached list.)  
 9. Will additional time be required during the public hearing(s) and how much?  Yes  No (Time needed: \_\_\_\_\_)

**PROPERTY OWNER AFFIDAVIT**

I, David H. Philipsen Ana Philipsen, have thoroughly examined the instructions for filing this application and state and affirm that all information submitted within this petition are true and correct to the best of my knowledge and belief and are a matter of public record, and that (check one):

I am the owner of the property and am making this application OR  
 I am the owner of the property and am authorizing (applicant): \_\_\_\_\_  
 and (representative, if applicable): \_\_\_\_\_  
 to submit an application for the described property.

[Signature]  
 Signature of Property Owner

STATE OF FLORIDA  
 COUNTY OF HERNANDO

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 16 day of August, 2024, by Ana Philipsen, David Philipsen who is  personally known to me or  produced FLDL as identification.

[Signature]  
 Signature of Notary Public



Notary Seal/Stamp

Effective Date: 05/15/20 Last Revision: 05/15/20

David and Ana Philipsen  
Property owners at 3272 spanish bayonet Hernando beach Fl.  
Key # 173920

08/15/2024

Re Special use Permit;

I David H. Philipsen am requesting a special use permit to Have my camper / construction trailer on my property during construction of my Home to over see and prevent vandalism .

David H Philipsen

Ana R. Philipsen

## STAFF REPORT

---

**HEARINGS:** Planning & Zoning Commission: November 4, 2023

**APPLICANT:** David and Ana Phillipsen

**FILE NUMBER:** CU-24-14

**REQUEST:** Conditional Use Permit approval for a Temporary Security Residence

**GENERAL LOCATION:** East side of Spanish Bayonet Drive approximately 190' south of its intersection with Hermosa Boulevard

**PARCEL KEY NUMBER:** 173920

---

### APPLICANT'S REQUEST

The petitioner requests approval of a Conditional Use Permit for a Temporary Security Residence, to provide security and monitoring of their home during construction. The subject site is located in Hernando Beach and the petitioner has indicated they will utilize a camper or a construction trailer as a second residence during the duration of the home's construction. Proper water and septic utilities will be provided to meet County standards. The petitioner currently has an active single family permit on the subject site.

### SITE CHARACTERISTICS

**Site Size:** 0.16 acres

**Surrounding Zoning & Land Uses:**  
North: R-1B; Undeveloped  
South: R-1B; Undeveloped  
East: Canal, R-1B; Single family home  
West: R-1B; Undeveloped

**Current Zoning:** R-1B (Residential)

**Future Land Use Map Designation:** Residential

### ENVIRONMENTAL

**Water Quality:** The subject parcel is in the Weeki Wachee Basin Action Management Plan (BMAP).

**Comment:** Florida Friendly Landscaping™ should be used for the property as applicable. Florida-Friendly Landscaping™ Program information

and information on the County's Fertilizer Ordinance and fertilizer use is available through Hernando County Utilities Department.

**Hydrologic Features:** The subject parcel is in a karst sensitive area.

**Flood Zone:** VE with a 13' Base Flood Elevation (BFE)

## UTILITIES REVIEW

Public water and sewer are available for this parcel. The petitioner shall be required to connect the home, once built, to public water and sewer.

## ENGINEERING REVIEW

The site is located on the East side of Spanish Bayonet Drive approximately 190' south of its intersection with Hermosa Boulevard. The flood zone is VE which designates the property as a coastal area with an increased chance of flooding due to storm waves and tidal surges. The base flood elevation for the property is 13'.

## LAND USE REVIEW

The setbacks for the subject property are:

- Front: 25'
- Side: 10'
- Rear: 15'

**Comments:** The maximum building coverage for the lot is 35%, and the maximum building height is 35' or 2 ½ stories.

A conditional use permit is intended to be used as a special permit which temporarily allows uses not otherwise permitted by the ordinance. The Planning and Zoning Commission may grant a conditional use permit for a period of up to two years if they determine that a hardship exists.

## NOTICE OF APPLICANT RESPONSIBILITY

*The conditional use permit process is a land use determination and does not constitute a permit for either construction, or use of, the property, or a Certificate of Concurrency. Prior to use of, or construction on, the property, the petitioner must receive approval from the appropriate County department(s) for the proposed use.*

*The granting of this land use determination does not protect the owner from civil liability for recorded deed restrictions which may exceed any county land use ordinances. Homeowner associations or architectural review committees require submission of plans for review and approval. The applicant for this land use request should contact the local association or the Public Records for all restrictions applicable to this property.*

## STAFF RECOMMENDATION

It is recommended that the Planning and Zoning Commission determine whether a hardship exists; if such a determination is made, the Planning & Zoning Commission may approve the

request for a Conditional Use Permit approval for a Temporary Security Residence for a period of up to one (1) year with the following performance conditions:

1. The petitioner must obtain all permits from Hernando County and other applicable agencies and meet all applicable land development regulations, for either construction or use of the property, and complete all applicable development review processes.
2. The proposed RV shall meet the setbacks of the R-1B (Residential) zoning district.
  - Front: 25'
  - Side: 10'
  - Rear: 15'
3. County personnel shall have the ability to inspect the property periodically for the duration of the permit to verify that performance conditions are being followed and the use has not been abandoned. A final inspection by county staff will occur within thirty (30) days immediately following the expiration of this permit to verify that the use has been discontinued.
4. The Conditional Use Permit shall expire on November 4, 2025.

# Boundary Survey

EASEMENT NOTE:  
SUBJECT TO RECORDED EASEMENTS  
NOT SHOWN ON PLAT.

NOTE:  
ELEVATIONS SHOWN HEREON ARE  
BASED ON NGS BENCHMARK # AL7334,  
ELEVATION 8.88' (NAVD88)

CERTIFIED TO: (AS FURNISHED)  
FIRST AMERICAN TITLE  
FIRST AMERICAN TITLE INSURANCE COMPANY  
DAVID H. PHILIPSEN AND ANA R. PHILIPSEN

**FLOOD ZONE**

SUBJECT PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN FLOOD ZONE "AE", AREAS DETERMINED TO BE WITHIN 100-YEAR FLOODPLAIN, BASE FLOOD ELEVATION OF 13', PER F.I.R.M. PANEL NUMBER 12053C0281E, LAST REVISION DATE 01-15-21, PER MAPWISE WEBSITE. THIS SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF THE ABOVE INFORMATION. THE LOCAL F.E.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION.

LIST OF POSSIBLE ENCROACHMENTS:  
N/A

**BASIS OF BEARING**  
BEARINGS ARE BASED ON THE EAST RIGHT-OF-WAY OF SPANISH BAYONET DRIVE WHICH HAS A BEARING OF N 00°34'04" E PER PLAT.

**NOTES**  
1. Underground utility installations, underground improvements, foundations and/or other underground structures were not located by this survey.  
2. The purpose of this survey is for use in obtaining title insurance and financing and should not be used for construction purposes.  
3. Additions or deletions to this survey by anyone other than the signing party or parties is prohibited without the written consent of the signing party or parties.  
4. The property shown hereon is subject to all easements, restrictions, and reservations which may be shown or noted on the record plat and within the public records of the county the subject property is located. This survey only depicts survey related information such as easements and setbacks that are shown on a record plat or have been furnished to the Surveyor.  
5. Building ties and dimensions for improvements should not be used to reconstruct boundary lines.

THIS SURVEY IS PREPARED FOR THE EXCLUSIVE USE AND BENEFIT OF THE PARTIES LISTED HEREON. LIABILITY TO THIRD PARTIES MAY NOT BE TRANSFERRED OR ASSIGNED.

LB 7788



**VISIONLAND**  
S E R V I C E S

941 S Pennsylvania Ave, Winter Park, FL 32789 | (888) 399-8474

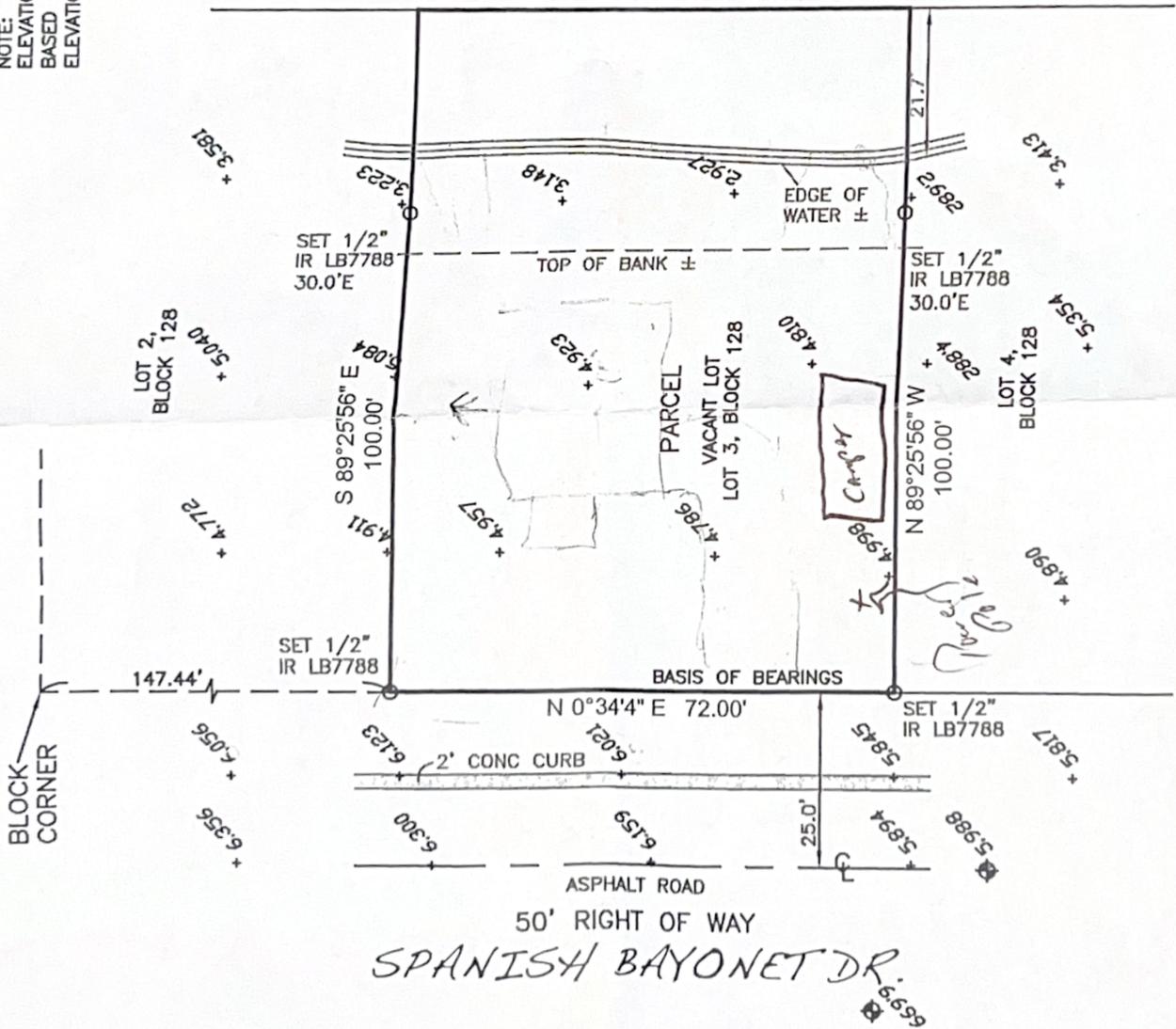
**SURVEYOR'S CERTIFICATE**  
I HEREBY CERTIFY THAT THIS SURVEY IS A TRUE AND ACCURATE REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION.



Ernest W. Duncan, PSM  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA REGISTRATION #5182  
NOT VALID WITHOUT THE ELECTRONIC SIGNATURE AND/OR ORIGINAL RAISED SEAL OF THE LISTED FLORIDA LICENSED SURVEYOR AND MAPPER

DATED: 03-14-24

DATE	REVISION	DATE	REVISION
04-25-24	ADD TOPO		



Legal Description (per OR Book 3783, Page 185)

Lot 3, Block 128, HERNANDO BEACH, UNIT NO. 13, according to the map or plat thereof as recorded in Plat Book 9, Pages 62-64, Public Records of Hernando County, Florida.



ADDRESS  
3272 SPANISH BAYONET DRIVE  
HERNANDO BEACH, FL 34507

**LEGEND**

- = Iron Rod & Cap (IR)
- OR Book = Official Record Book
- CONC. = Concrete
- LB = Licensed Business
- ◆ = Benchmark
- ✕ = Grade Shot

JOB #:	VLSR24-71368
CLIENT #:	2038-2796342
FIELD DATE:	03-13-24
CREW:	3800
DRAFTER:	ER
APPROVED:	EWD
SCALE:	1" = 30'

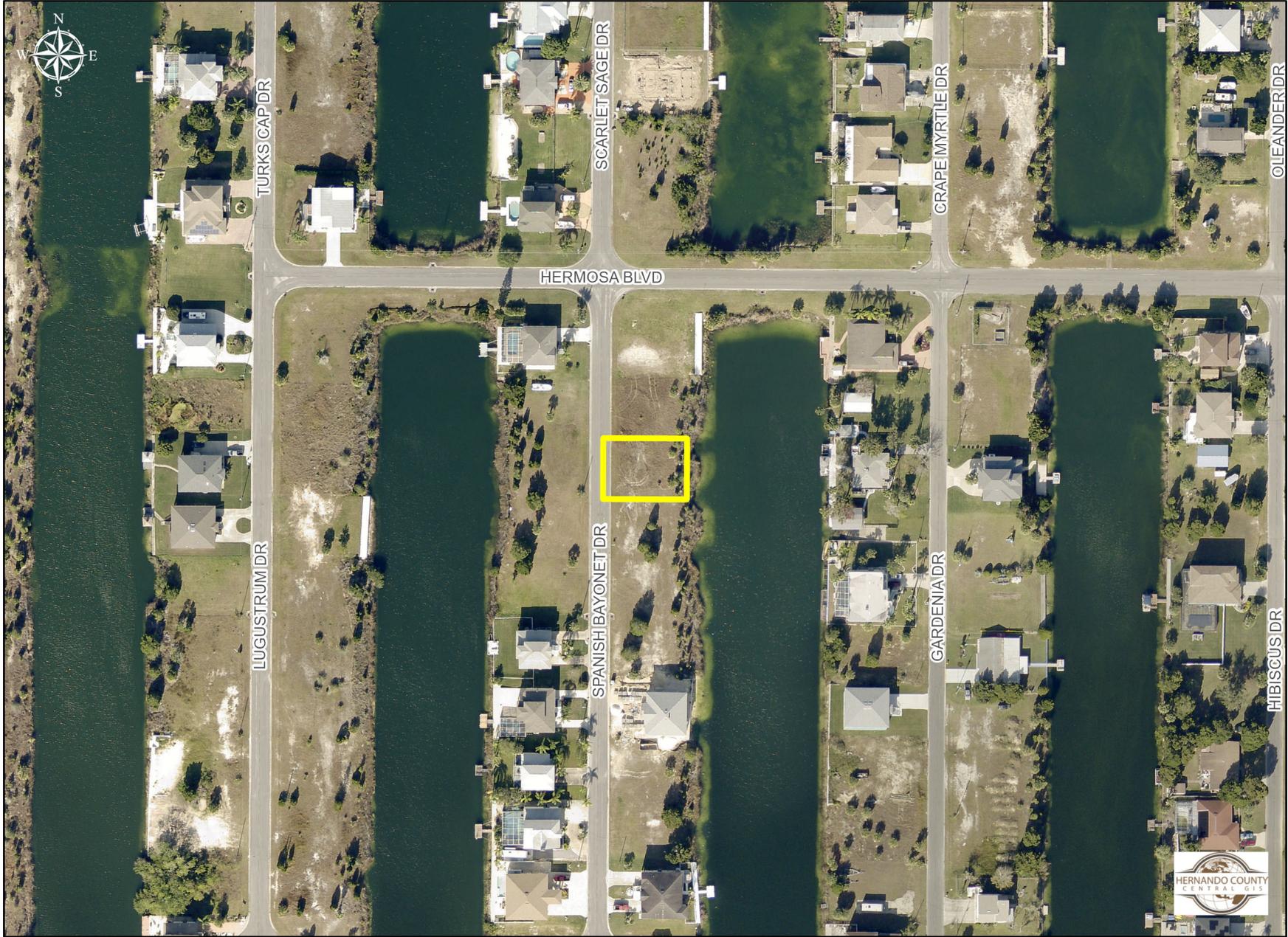
X Borrower's Acknowledgment and Acceptance

X Borrower's Acknowledgment and Acceptance

# CU-24-14

Photo date: 2023

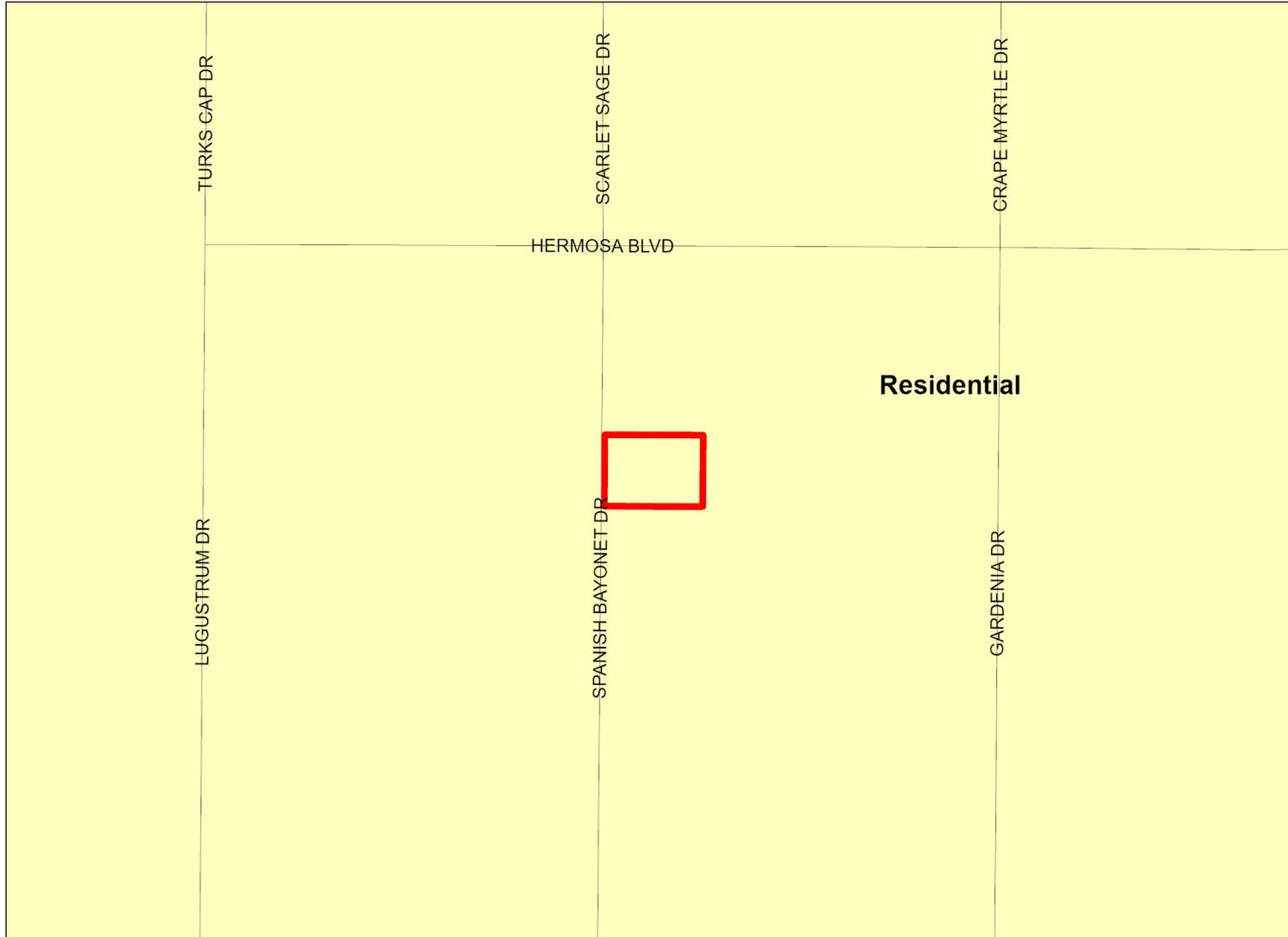
This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



0 0.01 0.03 0.05 0.08 0.1 Miles

# Hernando County Comprehensive Plan Map

Existing Future Land Use: CU-24-14  
Version Date: 12/09/2022



**Legend**

- CU-24-14
- FLU Riverine District
- Regional Commercial

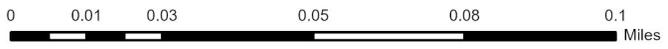
**FLU**

- CITY
- COMMERCIAL
- CONSERVATION
- EDUCATION
- INDUSTRIAL
- MINING
- PLANNED DEVELOPMENT
- PUBLIC FACILITIES
- RECREATION
- RESIDENTIAL
- RURAL

**Future Land Use Map**

PLEASE REFER TO THE TEXT PORTION OF THE COMPREHENSIVE PLAN IN CONJUNCTION WITH THE USE OF THE FUTURE LAND USE MAP SERIES.

NOTE: THE RIVERINE DISTRICT IS SHOWN AS A LINE SETBACK PARALLEL TO THE WEEKI WACHEE, MUD AND WITHLACOOCHEE RIVERS.

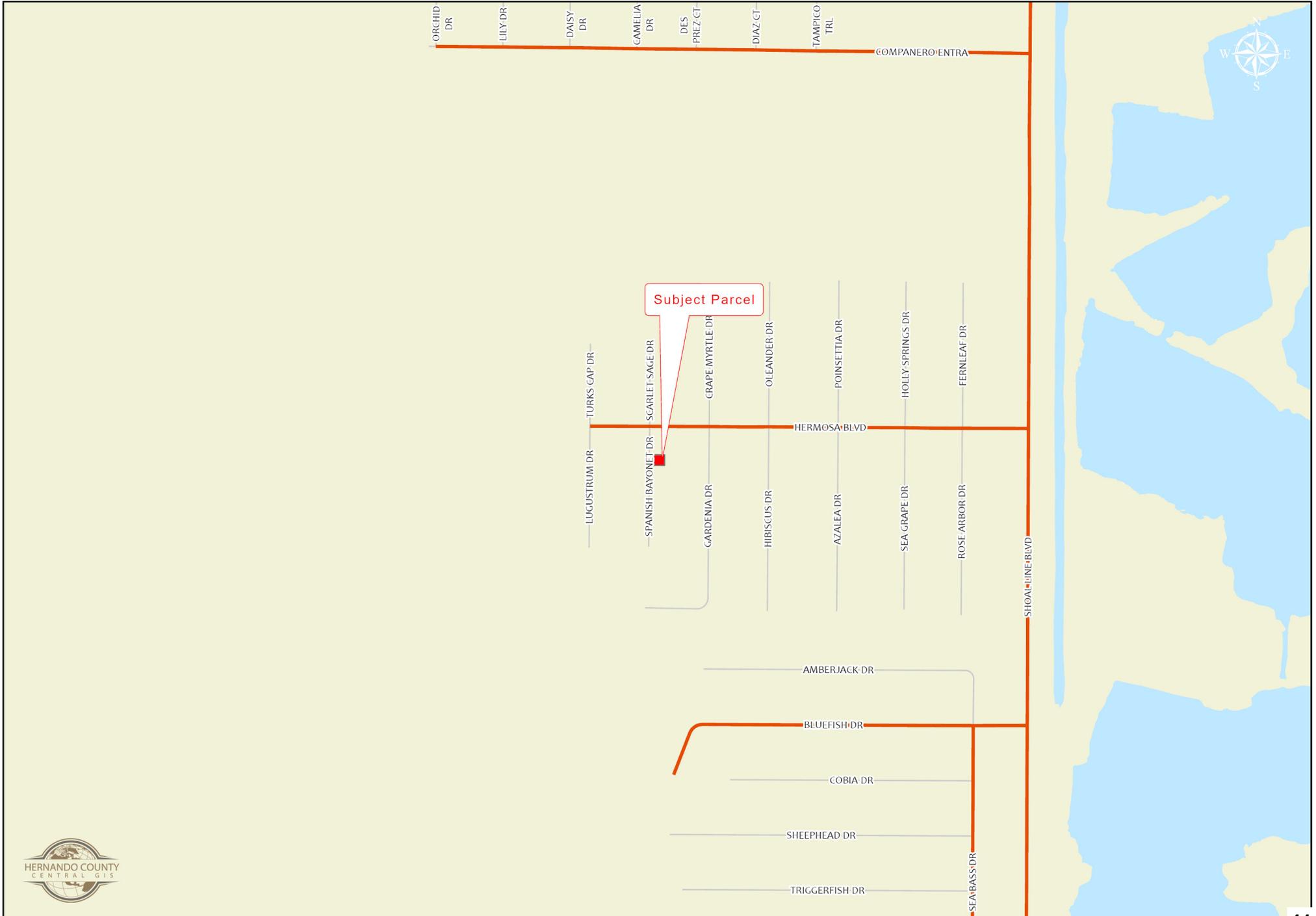


Date of mapping: 10/15/2024



# CU-24-14 AREA MAP

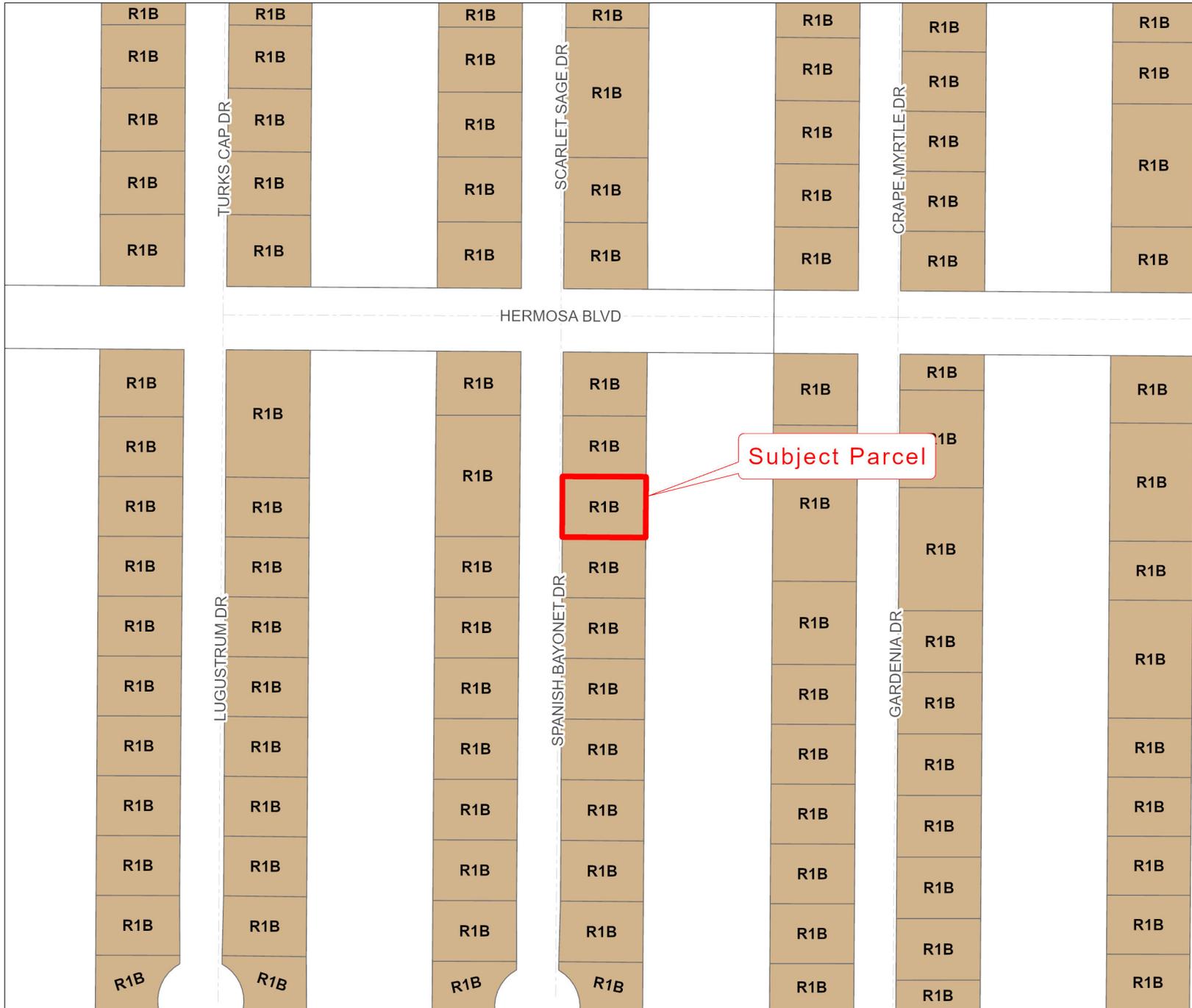
This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



0 0.05 0.1 0.2 0.3 0.4 Miles

# CU-24-14

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



**Zoning:**

AC	PDP(HC)
AG	PDP(HHC)
AR	PDP(HID)
AR1	PDP(IND)
AR2	PDP(LI)
C1	PDP(MF)
C2	PDP(MH)
C3	PDP(NC)
C4	PDP(OP)
CITY	PDP(PSF)
CM1	PDP(REC)
CM2	PDP(RR)
CPDP	PDP(RUR)
CV	PDP(SF)
I1	PDP(SU)
I2	R1A
M	R1B
OP	R1C
PDP(AF)	R1MH
PDP(CM)	R2
PDP(CP)	R2.5
PDP(GC)	R3
PDP(GHC)	RC
	RM





Planning & Zoning Commission

Meeting: 12/09/2024
Department: Planning
Prepared By: Carrie Cline
Initiator: Omar DePablo
DOC ID: 14663
Legal Request Number:
Bid/Contract Number:

AGENDA ITEM

TITLE

CP 1479496 Sunrise Phase I

BRIEF OVERVIEW

Conditional Plat for Sunrise Phase I

FINANCIAL IMPACT

No Financial Impact

LEGAL NOTE

The Planning and Zoning Commission has the authority to review this item in accordance with Chapter 26 (Subdivision Regulations), Article II (Procedures for County review and approval), Section 26-21 (procedure for conditional approval of a conditional plat) of the Hernando County Code of Ordinances.

RECOMMENDATION

Approve the Conditional Plat for Sunrise Phase I

REVIEW PROCESS

Table with 4 columns: Name, Status, Date, Time. Rows include Omar DePablo, Toni Brady, Victoria Anderson, Pamela Hare, Melissa Tartaglia, and Danielle Nigro.

AYES: Holmes, Hickey, Birren, McDonald and Morgan

NON VOTING: Noe

AYES: Holmes, Hickey, Birren, McDonald and Morgan

ABSENT: Noe

AYES: Holmes, Birren and McDonald

NAYES: Hickey and Morgan

ABSENT: Noe

## STAFF REPORT

---

**HEARINGS:** Planning & Zoning Commission: November 4, 2024

**APPLICANT:** Sunrise Phase I

**FILE NUMBER:** 1479496

**PURPOSE:** Conditional Plat Approval for Sunrise Phase I

**GENERAL LOCATION:** East of I-75, south of Cortez Boulevard (SR 50) and west of Kettering Road

**PARCEL KEY NUMBER:** 394442, 394594, 394530, 394601, 394610, 838231

---

The conditional plat for the Sunrise Phase I subdivision is for 1,678 single family homes and a 12.9 acre community recreation site. It is located east of I-75, south of Cortez Boulevard (SR 50) and west of Kettering Road

The conditional plat has been reviewed by various County agencies and found to be consistent with County standards. A certificate of concurrency has been issued for this conditional plat.

### STAFF RECOMMENDATION:

It is recommended that the Planning and Zoning Commission approve the conditional plat of the Sunrise Phase I subdivision with the following performance conditions:

1. The conditional plat shall expire in two (2) years if no further approvals in the subdivision process are obtained.
2. The petitioner must meet the minimum requirements of Florida-Friendly Landscaping publications and the Florida Yards and Neighborhoods Program For design techniques, principles, materials, and plantings for required landscaping.
3. A burrow survey and FWC permit are required to be provided to the County prior to tortoise relocation and site clearing/alteration. A limited site clearing permit for tortoise relocating can be obtained from Zoning. The after-action-report and FWC acceptance email is required prior to site clearing, or any site alteration. Eastern Indigo snake protection method notes need to be added to environmental plan notes on construction drawings.
4. The developer must conform to all Hernando County Facility Design Guidelines.

5. The developer shall coordinate the project's build-out schedule with Hernando County Utilities Department (HCUD).

# CONDITIONAL PLAT for SUNRISE

## 1678 LOT SUBDIVISION

505.11 ACRES ±  
HERNANDO COUNTY, FLORIDA

Project Number 21026

PREPARED FOR:

**HAWK SUNRISE, LLC**

2502 N. ROCKY POINT DRIVE, SUITE 1050  
TAMPA, FL 33607

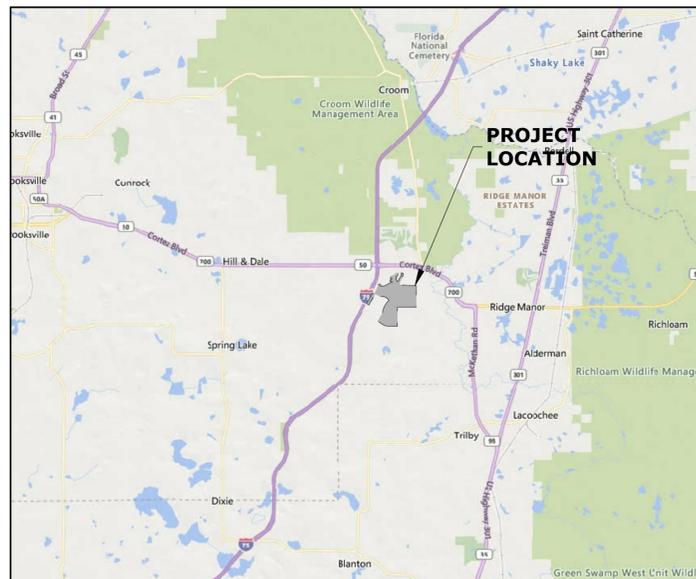
PREPARED BY:

**Coastal** Engineering  
Planning  
Surveying  
Environmental  
Construction Management  
engineering associates, inc.

966 Candlelight Boulevard - Brooksville - Florida 34601  
(352) 796-9423 - Fax (352) 799-8359  
EB-0000142

Sheet List Table

Sheet Number	Sheet Title
CP-01	Cover Sheet
CP-02	Existing Conditions
CP-03	Typical Sections (1)
CP-04	Typical Sections (2)
CP-05	Typical Sections (3)
CP-06	Overall Conditional Plat
CP-07	Conditional Plat (1)
CP-08	Conditional Plat (2)
CP-09	Conditional Plat (3)
CP-10	Conditional Plat (4)
CP-11	Conditional Plat (5)
CP-12	Conditional Plat (6)
CP-13	Conditional Plat (7)
CP-14	Conditional Plat (8)
CP-15	Conditional Plat (9)
CP-16	Conceptual Grading (1)
CP-17	Conceptual Grading (2)
CP-18	Conceptual Grading (3)
CP-19	Conceptual Grading (4)
CP-20	Conceptual Grading (5)
CP-21	Conceptual Grading (6)
CP-22	Conceptual Grading (7)
CP-23	Conceptual Grading (8)
CP-24	Conceptual Grading (9)
CP-25	Conceptual Connectivity Plan



LOCATION MAP  
N.T.S.  
S/T/R  
05/23S/21E, 08/23S/21S, & 6/23S/21E



PLAN REVISIONS

DATE	REVISION NO.	REVISION	AGENCY	PERMIT TYPE	PERMIT NO.	EXP. DATE
6/17/2024	1	REVISED PER COUNTY COMMENTS				
8/23/2024	2	REVISED PER COUNTY COMMENTS				

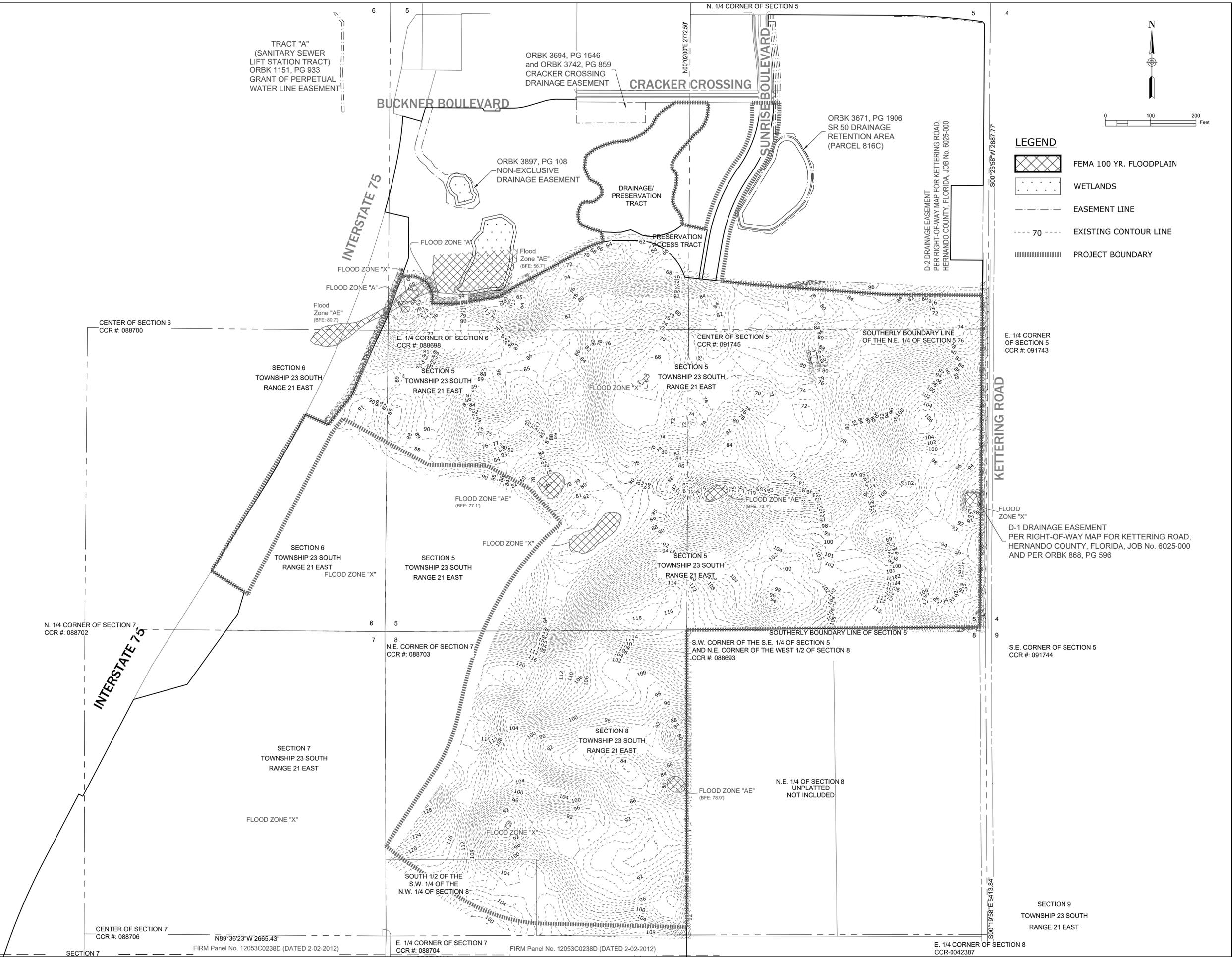
AGENCY APPROVALS

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY BRIAN MALMBERG, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



DESIGN ENGINEER BRIAN M. MALMBERG, P.E., P.E., REGISTRATION NO. 59405

PRINTED: 08/23/2024 - 11:43am PRINTED BY: JY PATH: L:\21026\Sunrise\dwg\PLAN\CP\Phase 1\21026-CP1.XD.dwg



TRACT "A"  
(SANITARY SEWER  
LIFT STATION TRACT)  
ORBK 1151, PG 933  
GRANT OF PERPETUAL  
WATER LINE EASEMENT

ORBK 3694, PG 1546  
and ORBK 3742, PG 859  
CRACKER CROSSING  
DRAINAGE EASEMENT

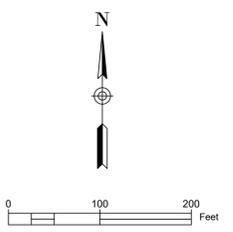
ORBK 3897, PG 108  
NON-EXCLUSIVE  
DRAINAGE EASEMENT

ORBK 3671, PG 1906  
SR 50 DRAINAGE  
RETENTION AREA  
(PARCEL 816C)

D-2 DRAINAGE EASEMENT  
PER RIGHT-OF-WAY MAP FOR KETTERING ROAD,  
HERNANDO COUNTY, FLORIDA, JOB No. 6025-000

**LEGEND**

- FEMA 100 YR. FLOODPLAIN
- WETLANDS
- EASEMENT LINE
- EXISTING CONTOUR LINE
- PROJECT BOUNDARY



EXISTING CONDITIONS

SUNRISE



Engineering  
Surveying  
Environmental  
Transportation  
Communication Management

**Coastal**  
engineering associates, inc.

966 Candlelight Boulevard - Brooksville, Florida 34601  
(352) 796-9423 - Fax (352) 799-8359  
EB-0000142

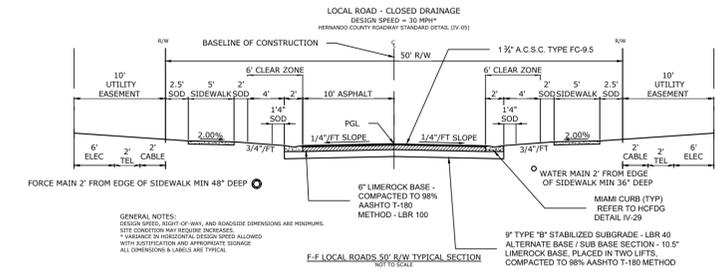
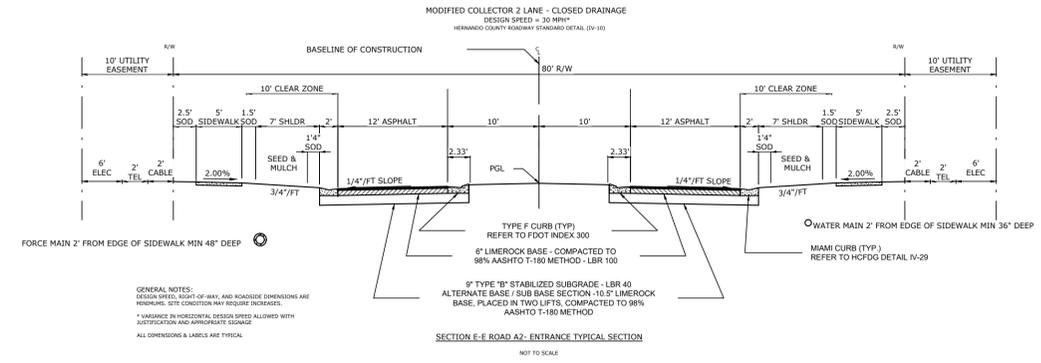
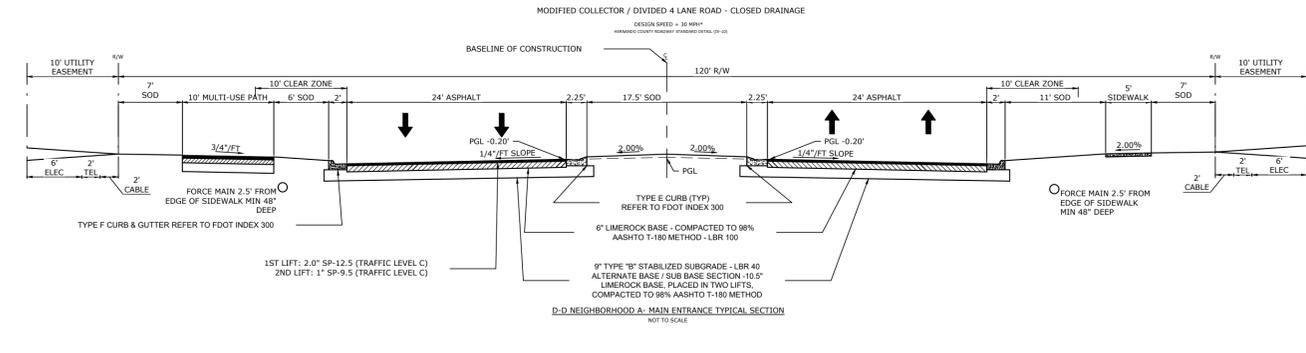
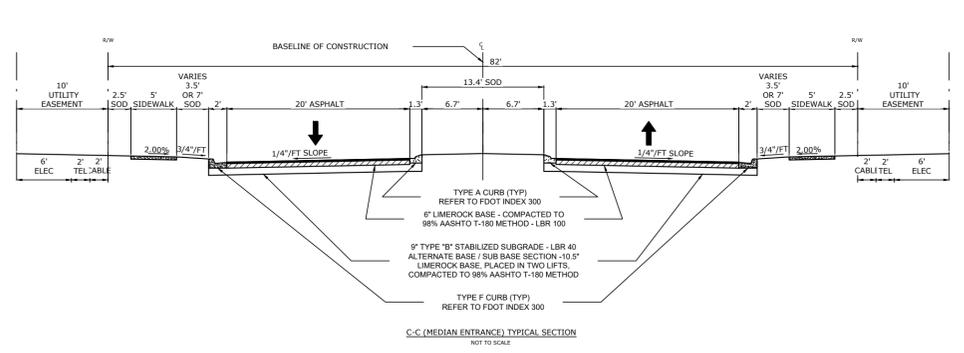
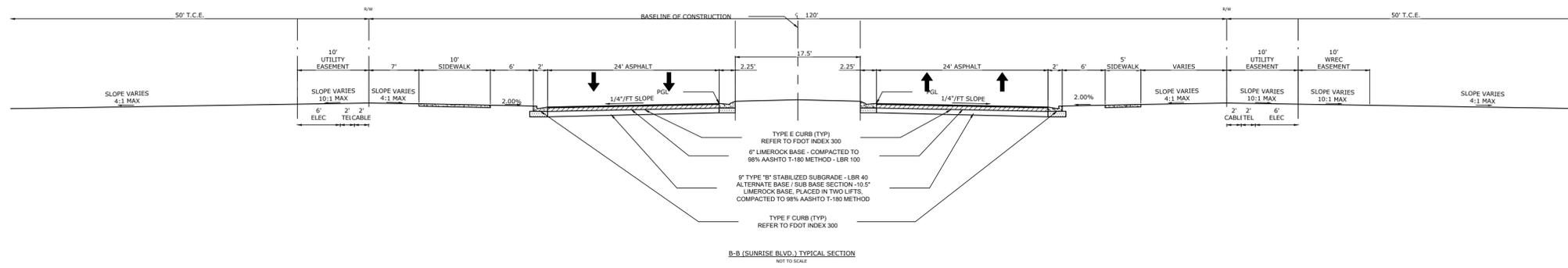
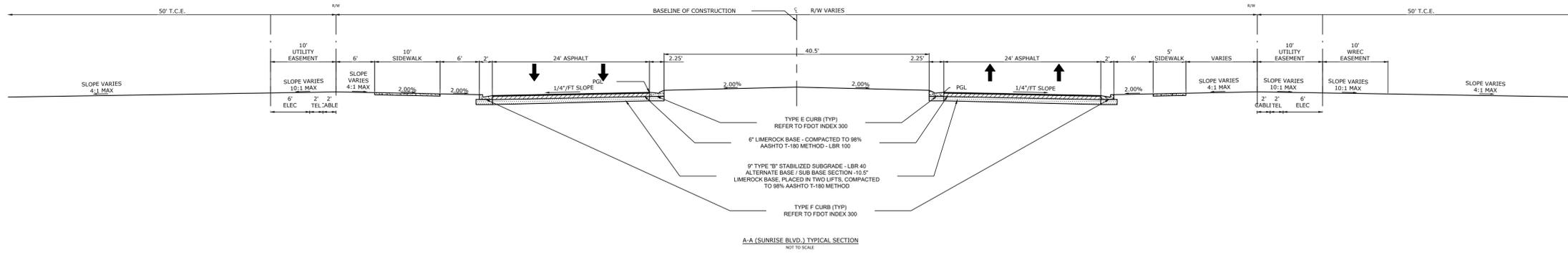
REUSE OF DOCUMENT  
THIS DOCUMENT COMPRISED OF THE  
INTEGRAL INSTRUMENT OF  
AS AN INSTRUMENT OF  
PROFESSIONAL SERVICE, IS THE  
PROPERTY OF COASTAL  
ASSOCIATES, INC. AND IS NOT TO BE  
USED, IN WHOLE OR IN PART FOR  
ANY OTHER PROJECT WITHOUT THE  
WRITTEN AUTHORIZATION OF COASTAL  
ENGINEERING ASSOCIATES, INC.  
DRAWING INVALID UNLESS SIGNED, DATED  
& SEALED BY REGISTERED PROFESSIONAL

DATE	REV. BY/REV. NO.	REVISION
6/17/2024	JY 1	REVISED PER COUNTY COMMENTS
8/23/2024	JY 2	REVISED PER COUNTY COMMENTS

SHEET  
**CP-02**

JOB No.: 21026

PRINTED: 09/23/2024 - 11:43am PRINTED BY: JY PATH: L:\121026\Sunrise\dwg\PLAN\CP\Phase 1\121026-CP1-DT.dwg



GENERAL NOTES:  
DESIGN SPEED, RIGHT-OF-WAY, AND ROADSIDE DIMENSIONS ARE MINIMUMS. SITE CONDITIONS MAY REQUIRE INCREASES.  
\* VARIANCE IN HORIZONTAL DESIGN SPEEDS ALLOWED WITH NOTIFICATION AND APPROPRIATE SIGNAGE.  
ALL DIMENSIONS & LABELS ARE TYPICAL.

GENERAL NOTES:  
DESIGN SPEED, RIGHT-OF-WAY, AND ROADSIDE DIMENSIONS ARE MINIMUMS.  
SITE CONDITIONS MAY REQUIRE INCREASES.  
\* VARIANCE IN HORIZONTAL DESIGN SPEEDS ALLOWED WITH NOTIFICATION AND APPROPRIATE SIGNAGE.  
ALL DIMENSIONS & LABELS ARE TYPICAL.

TYPICAL SECTIONS (1)

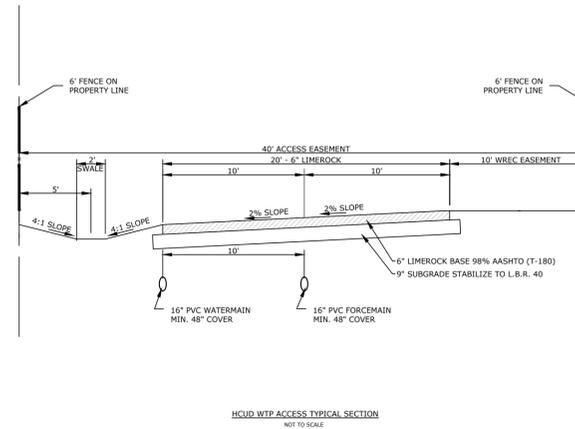
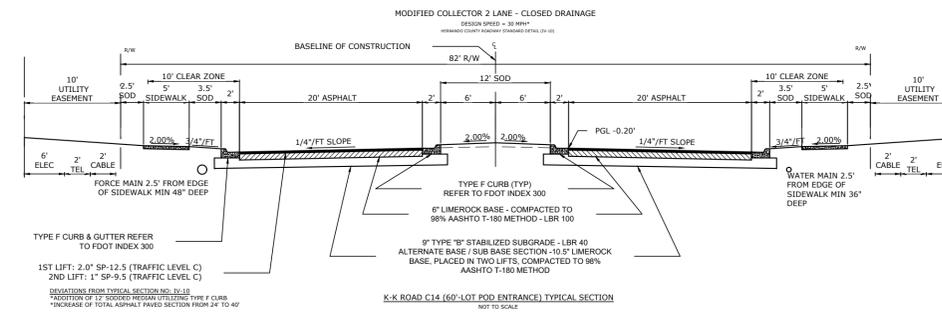
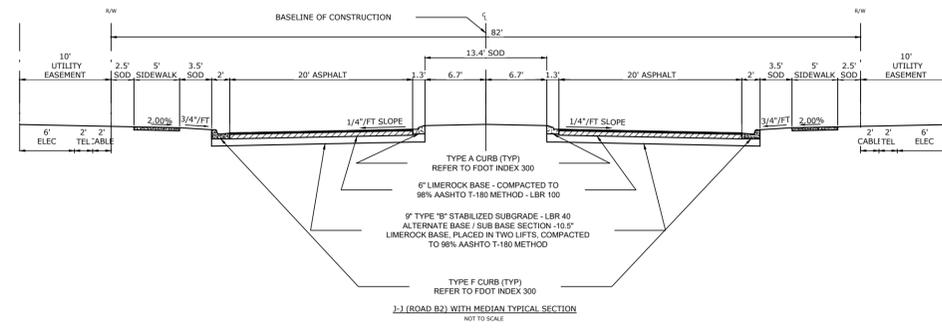
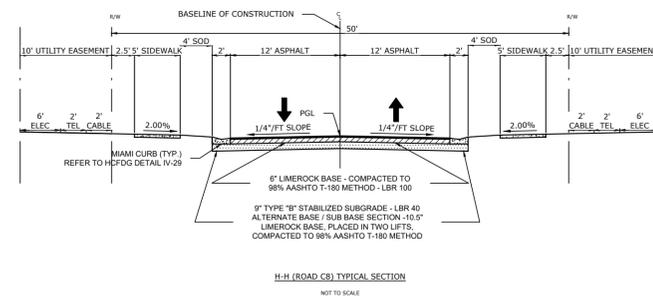
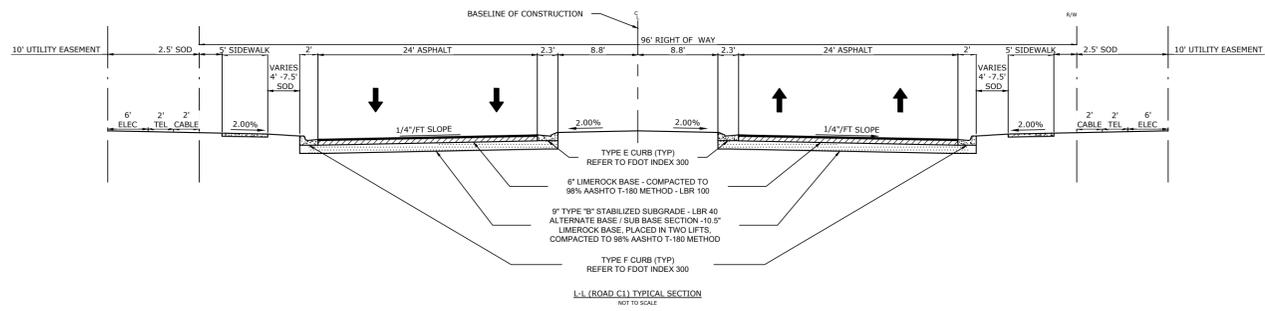
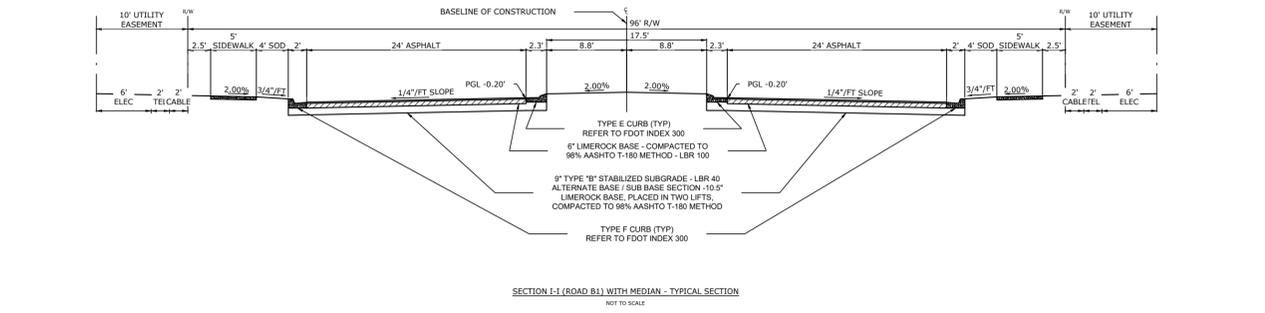
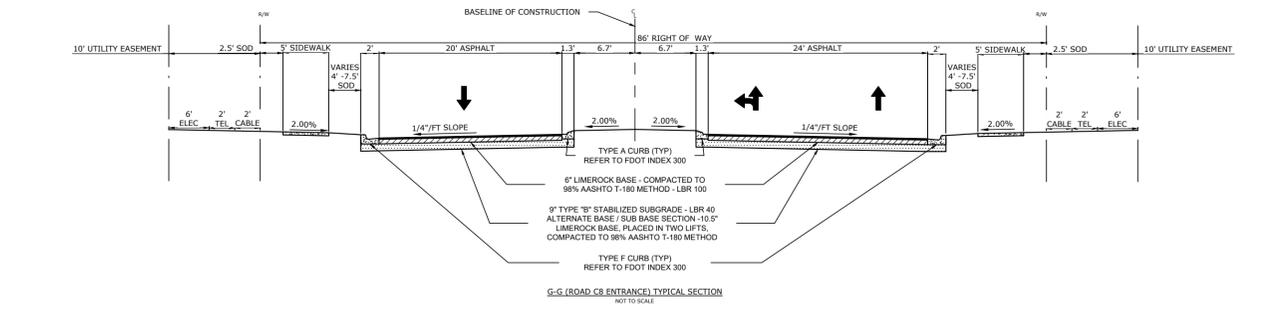


**Coastal**  
engineering associates, inc.  
966 Candlelight Boulevard - Brooksville, Florida 34601  
(352) 796-9423 - Fax (352) 799-8359  
EB-0000142

REUSE OF DOCUMENT  
THIS DOCUMENT, COMPRISED OF THE INCORPORATED IDEAS AND DESIGNS, AS WELL AS THE PROPERTY OF COASTAL ENGINEERING ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF COASTAL ENGINEERING ASSOCIATES, INC.  
DRAWING INVALID UNLESS SIGNED, DATED & SEALED BY REGISTERED PROFESSIONAL ENGINEER

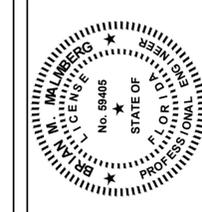
DATE	REV. BY/REV. NO.	REVISION
6/17/2024	JY 1	REVISED PER COUNTY COMMENTS
8/23/2024	JY 2	REVISED PER COUNTY COMMENTS

SHEET  
**CP-03**  
WHEN PRINTED TO SCALE, DRAWING SIZE SHALL BE 22" X 34"



TYPICAL SECTIONS (2)

SUNRISE

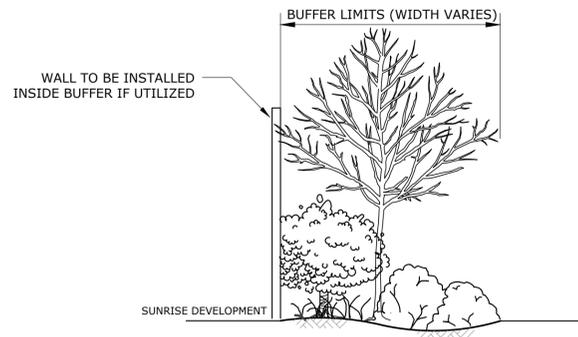


**Coastal**  
Engineering  
Surveying  
Environmental  
Transportation  
Communication Management  
engineering associates, inc.  
966 Candlelight Boulevard - Brooksville - Florida 34601  
(352) 796-9423 - Fax (352) 799-8359  
EB-000142

REUSE OF DOCUMENT  
THIS DOCUMENT, COMPRISED OF THE INCORPORATED IDEAS AND DESIGNS, AS SERVICE IS THE PROPERTY OF COASTAL ENGINEERING ASSOCIATES, INC. AND IS PART FOR ANY OTHER PURPOSE WRITTEN, H.O. OR OTHERWISE OF COASTAL ENGINEERING ASSOCIATES, INC.  
DRAWING INVALID UNLESS SIGNED, DATED & SEALED BY REGISTERED PROFESSIONAL

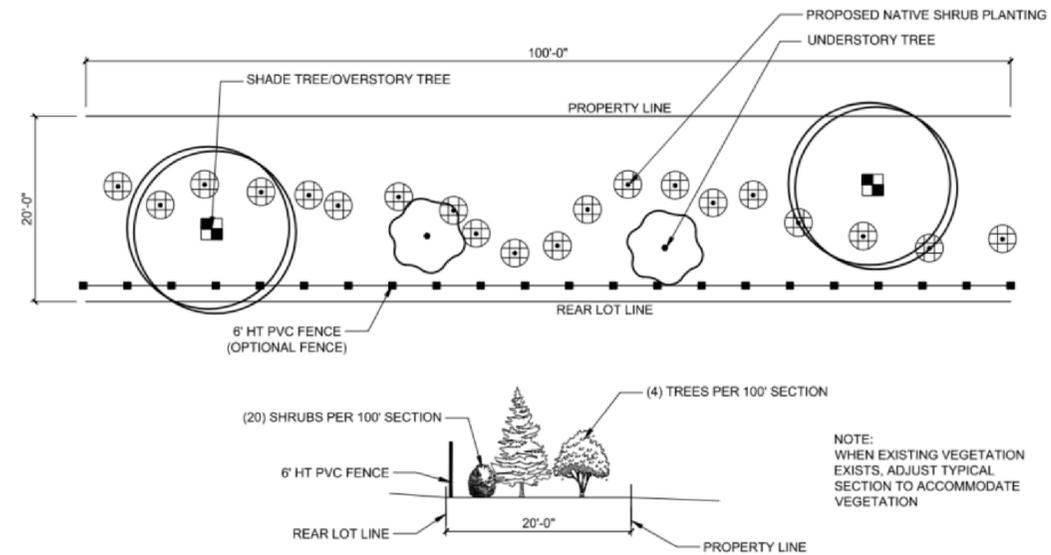
DATE	REV. BY/REV. NO.	REVISION
6/17/2024	JY 1	REVISED PER COUNTY COMMENTS
8/23/2024	JY 2	REVISED PER COUNTY COMMENTS

SHEET  
**CP-04**  
JOB No.: 21026



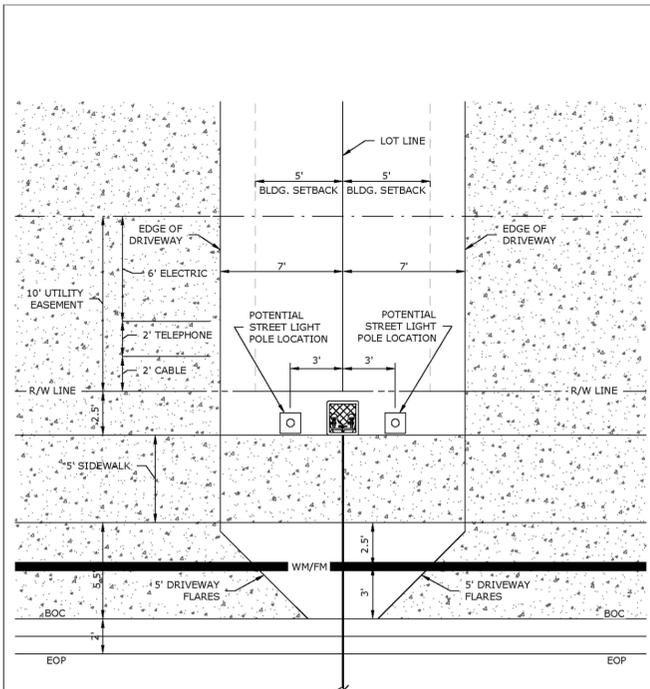
**NATURAL/ENHANCED BUFFER DETAIL**  
NOT TO SCALE

**NATURAL/ENHANCED BUFFER NOTE:**  
IN LOCATIONS WHERE THE NATURAL/ENHANCED BUFFER NOT HAVE 80% OPACITY, THE BUFFER SHALL BE ENHANCED SUCH THAT 80% OPACITY CAN BE ACHIEVED WITHIN THREE (3) YEARS AFTER PLANTING. IF THE DISTURBANCE OF A NATURAL AREA WITHIN A BUFFER IS REQUIRED FOR ADJACENT DEVELOPMENT PURPOSES, THEN RE-PLANTING SHALL BE REQUIRED SUCH THAT 80% OPACITY CAN BE ACHIEVED WITHIN THREE (3) YEARS. THE DEVELOPER SHALL HAVE THE OPTION, AT ITS ELECTION, TO INSTALL A PERIMETER WALL ON THE DEVELOPMENT SIDE OF THE BUFFER AREA, IN WHOLE OR IN PART, FOR ANY PORTION THEREOF. IN THE EVENT THE DEVELOPER ELECTS TO CONSTRUCT SUCH WALL, THE NATURAL BUFFER SHALL REMAIN ON THE OUTER SIDE OF THE WALL, BUT THE OBLIGATION TO ENHANCE THE NATURAL BUFFER TO ACHIEVE 80% OPACITY SHALL NOT APPLY TO SUCH SEGMENT OF THE BUFFER AREA WHERE A PERIMETER WALL IS CONSTRUCTED BY THE DEVELOPER.



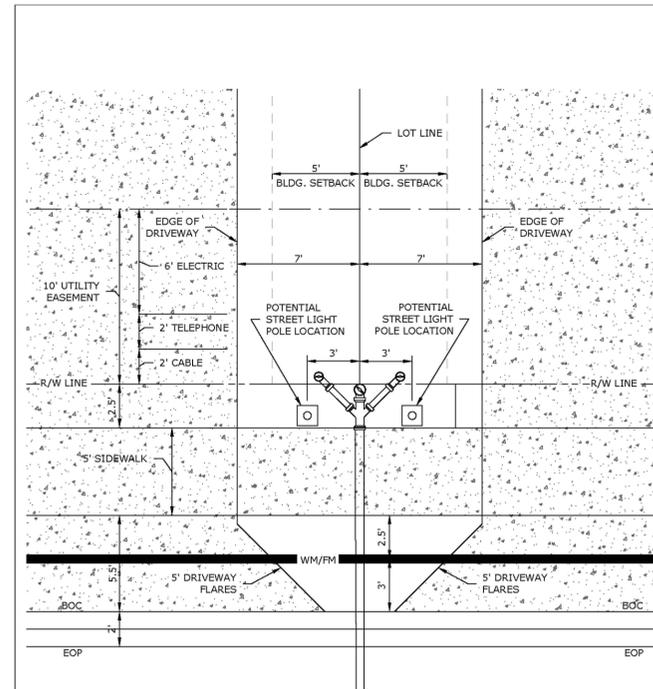
**LANDSCAPE BUFFER DETAIL**  
NOT TO SCALE

NOTE:  
WHEN EXISTING VEGETATION EXISTS, ADJUST TYPICAL SECTION TO ACCOMMODATE VEGETATION



1" = 5' SCALE

	STANDARD UTILITY LOCATION W/ 5' SETBACKS	DATE 06/21/21
	WATER SERVICE	1



1" = 5' SCALE

	STANDARD UTILITY LOCATION W/ 5' SETBACKS	DATE 06/21/21
	SANITARY SEWER SERVICE	2

TYPICAL SECTIONS (3)

SUNRISE



**Coastal**  
engineering associates, inc.  
966 Candlelight Boulevard - Brooksville, Florida 34601  
(352) 796-9423 - Fax (352) 799-8359  
EB-0000142

REUSE OF DOCUMENT  
THIS DOCUMENT, COMPRISED OF THE INCORPORATED IDEAS AND DESIGNS, AS SERVICE IS THE PROPERTY OF COASTAL ENGINEERING ASSOCIATES, INC. AND IS WRITTEN FOR THE EXCLUSIVE USE OF COASTAL ENGINEERING ASSOCIATES, INC.  
DRAWING INVALID UNLESS SIGNED, DATED & SEALED BY REGISTERED PROFESSIONAL

DATE	REV. BY/REV. NO.	REVISION
6/17/2024	JY 1	REVISED PER COUNTY COMMENTS
8/23/2024	JY 2	REVISED PER COUNTY COMMENTS

SHEET  
**CP-05**

21026

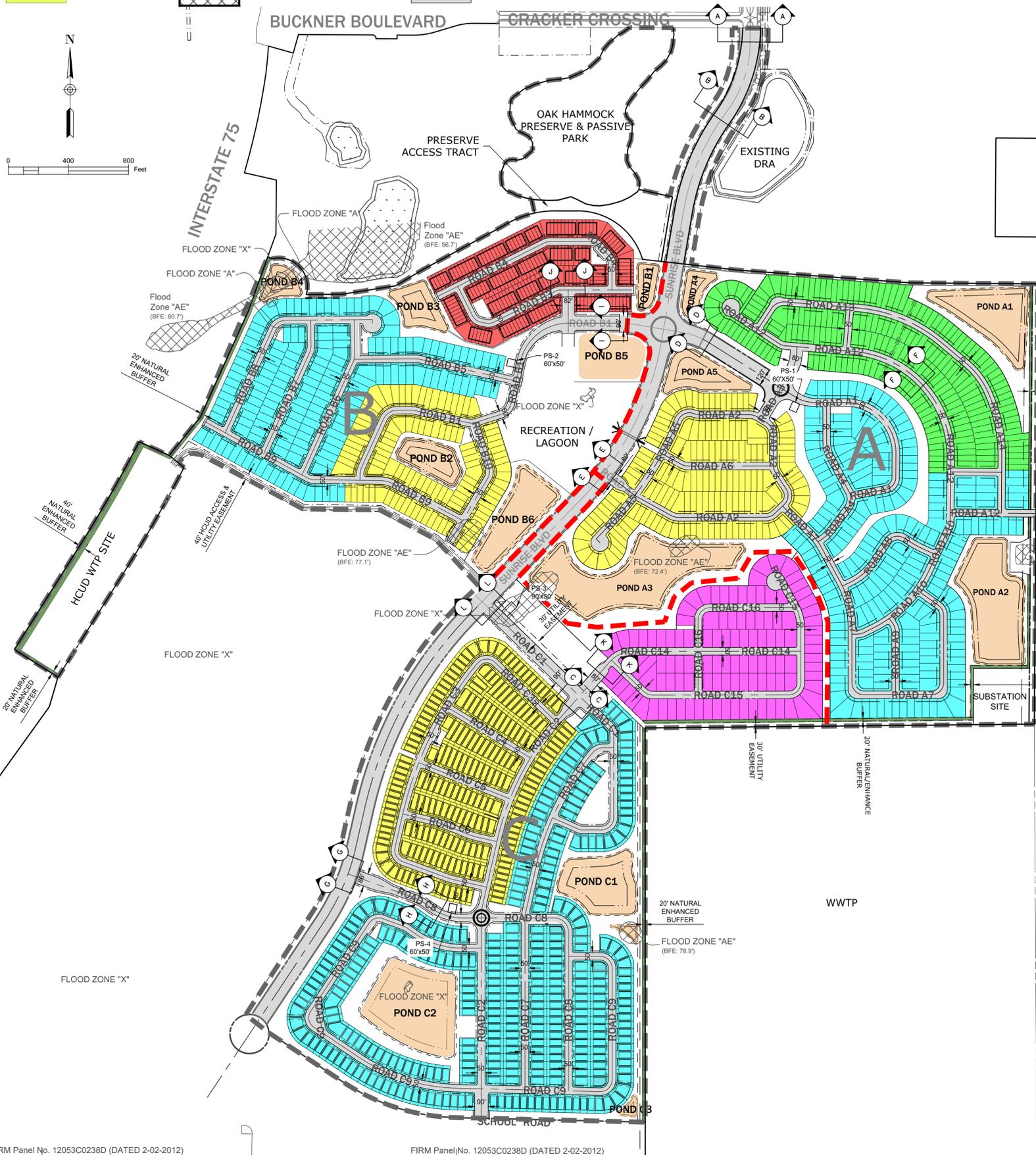
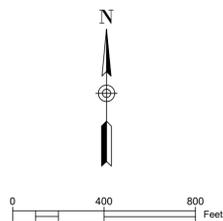
PRINTED: 06/23/2024 - 11:43am PRINTED BY: JY PATH: L:\21026\Sunrise\dwg\PLAN\CP\Phase 1\21026-CP1-DT.dwg

PRINTED: 04/25/2022 - 3:18pm PRINTED BY: JB PATH: S:\L\_CAD\Bkoc\STD Utl Loc Details.dwg

PRINTED: 04/25/2022 - 3:24pm PRINTED BY: JB PATH: S:\L\_CAD\Bkoc\STD Utl Loc Details.dwg

**LEGEND**

- TOWNHOME
- 50' WIDE LOT
- WETLANDS
- DRAINAGE
- SETBACK LINE
- VILLA LOT
- 60' WIDE LOT
- BUFFERS
- PROJECT BOUNDARY
- EASEMENT LINE
- 40' WIDE LOT
- FEMA 100 YR. FLOODPLAIN
- ROADS
- PHASE LINE



**SITE DATA**

**OWNER:** MAK FAMILY PARTNERSHIP LTD ET AL.  
**APPLICANT:** HAWK SUNRISE, LLC  
**PARCEL KEY NO:** 394442, 838231, 394594  
**SECTION/TOWNSHIP/RANGE:** 05/23S/21E, 08/23S/21E, & 6/23S/21E  
**ZONING:** CPDP  
**PROJECT AREA=** 505.11 Ac. +/-  
**PROPOSED NO. OF UNITS:** 1678

**MINIMUM PERIMETER BUILDING SETBACKS (INCLUSIVE OF BUFFER):**  
 FROM I-75 INTERSTATE R/W: 75' RES, 35' NON-RES  
 FROM I-75 FDOT DRAS: 35'  
 FROM KETTERING ROAD: 50' RES, 35' NON-RES  
 FROM REMAINING EASTERN BNDY: 35'  
 FROM CRACKER CROSSING BLVD: 35'

**INTERNAL BUILDING SETBACKS:**

**SINGLE FAMILY DETACHED**

**FRONT SETBACK:**  
 10' - PRIMARY STRUCTURE  
 20' - GARAGE DOOR

**SIDE SETBACK: 5'**

**FRONT/SIDE SETBACK:**  
 15' FROM SECOND ROAD R/W ON DOUBLE FRONTAGE LOTS

**REAR SETBACK:**  
 15' - PRIMARY STRUCTURE  
 5' - ACCESSORY STRUCTURE

**MINIMUM LOT SIZE:** 4,000 SQ. FT.  
**MINIMUM LOT WIDTH:** 40'  
**MAXIMUM LOT COVERAGE:**  
 75% - PRIMARY STRUCTURE  
 15% SECONDARY STRUCTURE  
**MAXIMUM BUILDING HEIGHT:** 35'

**SINGLE FAMILY ATTACHED**

**FRONT SETBACK:**  
 10' - PRIMARY STRUCTURE  
 20' - GARAGE DOOR

**SIDE SETBACK:**  
 0' - PRIMARY STRUCTURE  
 10' - BUILDING SEPARATION

**FRONT/SIDE SETBACK:**  
 15' FROM SECOND ROAD R/W ON DOUBLE FRONTAGE LOTS

**REAR SETBACK:**  
 15' - PRIMARY STRUCTURE  
 5' - ACCESSORY STRUCTURE  
**MAXIMUM LOT COVERAGE:**  
 75% - PRIMARY STRUCTURE  
 15% SECONDARY STRUCTURE  
**MAXIMUM BUILDING HEIGHT:** 45'

**TOWNHOMES**

**FRONT SETBACK:**  
 10' - PRIMARY STRUCTURE  
 20' - GARAGE DOOR

**SIDE SETBACK:**  
 0' - PRIMARY STRUCTURE INTERNAL  
 5' - ACCESSORY STRUCTURE  
 20' - BUILDING SEPARATION

**FRONT/SIDE SETBACK:**  
 15' FROM SECOND ROAD R/W ON DOUBLE FRONTAGE LOTS

**REAR SETBACK:**  
 15' - PRIMARY STRUCTURE  
 5' - ACCESSORY STRUCTURE  
**MAXIMUM BUILDING HEIGHT:** 45'

**PERIMETER BUFFERS:**

NORTH SR-50: 20' LANDSCAPE BUFFER  
 NORTH CRACKER CROSSING: NO BUFFER REQUIRED  
 EAST KETTERING ROAD: 20' LANDSCAPE BUFFER  
 EAST RIDGE MANOR WWTP: 20' NATURAL/ ENHANCED BUFFER  
 EAST REMAINING BNDY: NO BUFFER REQUIRED  
 WEST I-75 INTERSTATE ROW: 40' NATURAL/ ENHANCED BUFFER  
 WEST DRAS (FDOT OR PROJECT): 20' NATURAL/ ENHANCED BUFFER

**BUFFER NOTE:**

IN LOCATIONS WHERE THE NATURAL/ENHANCED BUFFER NOT HAVE 80% OPACITY, THE BUFFER SHALL BE ENHANCED SUCH THAT 80% OPACITY CAN BE ACHIEVED WITHIN THREE (3) YEARS AFTER PLANTING. IF THE DISTURBANCE OF A NATURAL AREA WITHIN A BUFFER IS REQUIRED FOR ADJACENT DEVELOPMENT PURPOSES, THEN RE-PLANTING SHALL BE REQUIRED SUCH THAT 80% OPACITY CAN BE ACHIEVED WITHIN THREE (3) YEARS. THE DEVELOPER SHALL HAVE THE OPTION, AT ITS ELECTION, TO INSTALL A PERIMETER WALL ON THE DEVELOPMENT SIDE OF THE BUFFER AREA, IN WHOLE OR IN PART, FOR ANY PORTION THEREOF. IN THE EVENT THE DEVELOPER ELECTS TO CONSTRUCT SUCH WALL, THE NATURAL BUFFER SHALL REMAIN ON THE OUTER SIDE OF THE WALL, BUT THE OBLIGATION TO ENHANCE THE NATURAL BUFFER TO ACHIEVE 80% OPACITY SHALL NOT APPLY TO SUCH SEGMENT OF THE BUFFER AREA WHERE A PERIMETER WALL IS CONSTRUCTED BY THE DEVELOPER.

**FLOODPLAIN:**

THE PROJECT IS LOCATED ON FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL 12053C0238D, EFFECTIVE DATE OF FEBRUARY 2, 2012. FLOOD PLAIN AREAS HAVE BEEN DEPICTED ON THIS CONDITIONAL PLAT.  
 NO WETLANDS ARE PRESENT WITHIN THE PROJECT AREA.

**FIRE PROTECTION:**

FIRE HYDRANTS WILL BE PLACED THROUGHOUT THE COMMUNITY AT A MINIMUM OF 250' CURB LINE DISTANCE INTERVALS, WHICH IS CONSISTENT WITH COUNTY STANDARDS. THE POTABLE WATER SYSTEM WILL BE DESIGNED WITH COUNTY STANDARDS. THE POTABLE WATER SYSTEM WILL BE DESIGNED TO PROVIDE A MINIMUM OF 1,000 GPM AT A MINIMUM OF 20 PSI FOR USE IN FIREFIGHTING AS REQUIRED BY NFPA GUIDELINES, AS REQUIRED BY HERNANDO COUNTY.

**GENERAL NOTES:**

- THIS IS A PLANNING DOCUMENT AND IS NOT TO BE CONSIDERED A FINAL DESIGN OR CONSTRUCTION PLAN; ALSO, NOT INTENDED FOR RECORDATION IN PUBLIC RECORDS. DRAINAGE AND UTILITY EASEMENTS WILL BE INCLUDED IN THE FINAL CONSTRUCTION PLANS AND SHALL MEET THE REQUIREMENTS OF HERNANDO COUNTY AND ANY AGENCIES HAVING JURISDICTION RELATED TO THIS PROJECT.
- DRAINAGE RETENTION AREA(S) ARE CONCEPTUALLY LOCATED, THE ACTUAL SIZE AND LOCATION WILL BE DETERMINED WITH FINAL ENGINEERING DESIGN.

LAND USE TABLE			
LAND USE	ACRES	UNITS	DENSITY
RESIDENTIAL	230.31	1678	
RECREATION / LAGOON	21.31		
DRAINAGE	48.29		
BUFFERS	4.43		
PRESERVATION & ACCESS	21.08		
ROADS	66.23		
WREC SUBSTATION SITE	3.47		
HCUD WTP	12.48		
OPEN SPACE	105.88		
<b>TOTAL:</b>	<b>505.11</b>	<b>1678</b>	<b>APPROX. 3.33 UNITS / ACRE</b>

CURVE TABLE		CURVE TABLE	
CURVE NO.	RADIUS	CURVE NO.	RADIUS
C1	500.00	C48	80.00
C2	250.00	C49	80.00
C3	335.00	C50	80.00
C4	80.00	C51	200.00
C5	100.00	C52	100.00
C6	80.00	C53	100.00
C7	80.00	C54	100.00
C8	100.00	C55	100.00
C9	100.00	C56	200.00
C10	100.00	C57	80.00
C11	200.00	C58	80.00
C12	200.00	C59	80.00
C13	200.00	C60	80.00
C14	100.00	C61	1792.00
C15	300.00	C62	372.00
C16	80.00	C63	80.00
C17	2255.00	C64	2445.00
C18	100.00	C65	80.00
C19	300.00	C66	500.00
C20	625.00	C67	500.00
C21	80.00	C68	500.00
C22	80.00	C69	100.00
C23	80.00	C70	1855.00
C24	600.00	C71	150.00
C25	600.00	C72	350.00
C26	80.00	C73	350.00
C27	400.00	C74	95.00
C28	100.00	C75	550.89
C29	100.00	C76	149.11
C30	800.00	C77	75.00
C31	80.00	C78	75.00
C32	700.00	C79	75.00
C33	100.00	C80	75.00
C34	1040.00	C81	1225.00
C35	525.00	C82	80.00
C36	990.00	C83	80.00
C37	100.00	C84	200.00
C38	600.00	C85	80.00
C39	325.00	C86	80.00
C40	100.00	C87	285.00
C41	100.00	C88	80.00
C42	100.00	C89	760.00
C43	100.00	C90	1500.00
C44	100.00	C91	2000.00
C45	80.00	C92	2700.00
C46	80.00	C93	1500.00
C47	80.00		

**NOTE:** SEE 100 SCALE CONDITIONAL PLAT SHEETS FOR CURVE LABELS.

**LOT BREAKDOWN TABLE**

	NEIGHBORHOOD A	NEIGHBORHOOD B	NEIGHBORHOOD C
24' TOWNHOMES	0	162	0
37.5' VILLA LOTS	204	0	0
40' WIDE LOTS	153	106	214
50' WIDE LOTS	224	169	336
60' WIDE LOTS	0	0	110
<b>TOTAL:</b>	<b>581</b>	<b>437</b>	<b>660</b>

OVERALL CONDITIONAL PLAT



Engineering  
 Surveying  
 Environmental  
 Transportation  
 Communication Management

**Coastal**  
 engineering associates, inc.  
 966 Candlelight Boulevard - Brooksville, Florida 34601  
 (352) 796-9423 - Fax (352) 799-8359  
 EB-0000142

REUSE OF DOCUMENT  
 THIS DOCUMENT COMPRISED OF THE INSPECTION OF THE PROJECT OF THE PROFESSIONAL SERVICE OF THE ASSOCIATES, INC. AND IS NOT TO BE USED, IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF COASTAL ENGINEERING ASSOCIATES, INC.  
 DRAWING INVALID UNLESS SIGNED, DATED & SEALED BY REGISTERED PROFESSIONAL

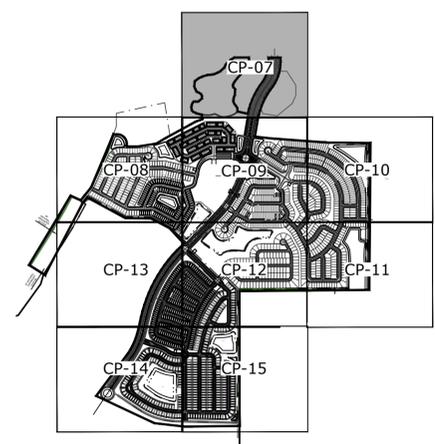
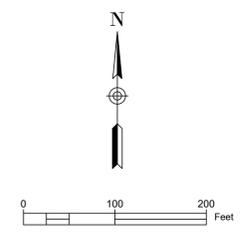
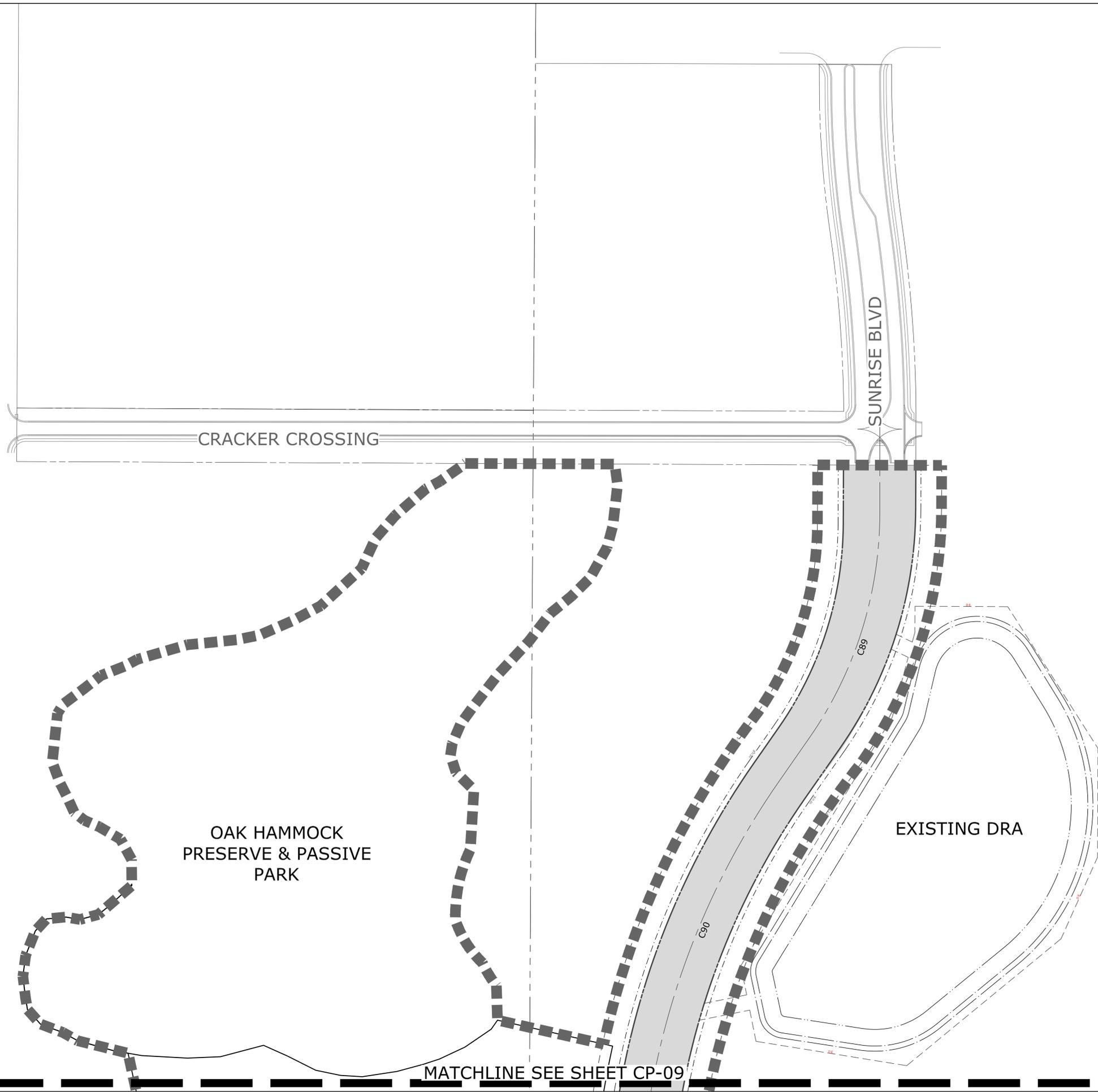
DATE	REV. BY/REV. NO.	REVISION
6/17/2024	JY 1	REVISED PER COUNTY COMMENTS
8/23/2024	JY 2	REVISED PER COUNTY COMMENTS

WHEN PRINTED TO SCALE, DRAWING SIZE SHALL BE 22" X 34"

SHEET  
**CP-06**

21026

PRINTED: 08/23/2024 - 11:52am PRINTED BY: JY PATH: L:\21026\Sunrise\dwg\PLAN\CP\Phase 1\21026-CP1-Plan.dwg



KEY MAP  
N.T.S.

LEGEND

- TOWNHOME
- VILLA LOT
- 40' WIDE LOT
- 50' WIDE LOT
- 60' WIDE LOT
- FEMA 100 YR. FLOODPLAIN
- BUFFERS
- ROADS
- DRAINAGE
- PROJECT BOUNDARY
- SETBACK LINE
- EASEMENT LINE

CONDITIONAL PLAT (1)

SUNRISE



**Coastal**  
engineering associates, inc.  
966 Candlelight Boulevard - Brooksville - Florida 34601  
(352) 796-9423 - Fax (352) 799-8359  
EB-0000142

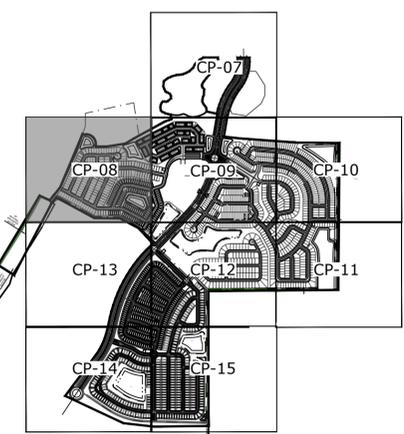
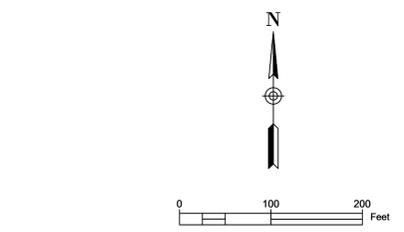
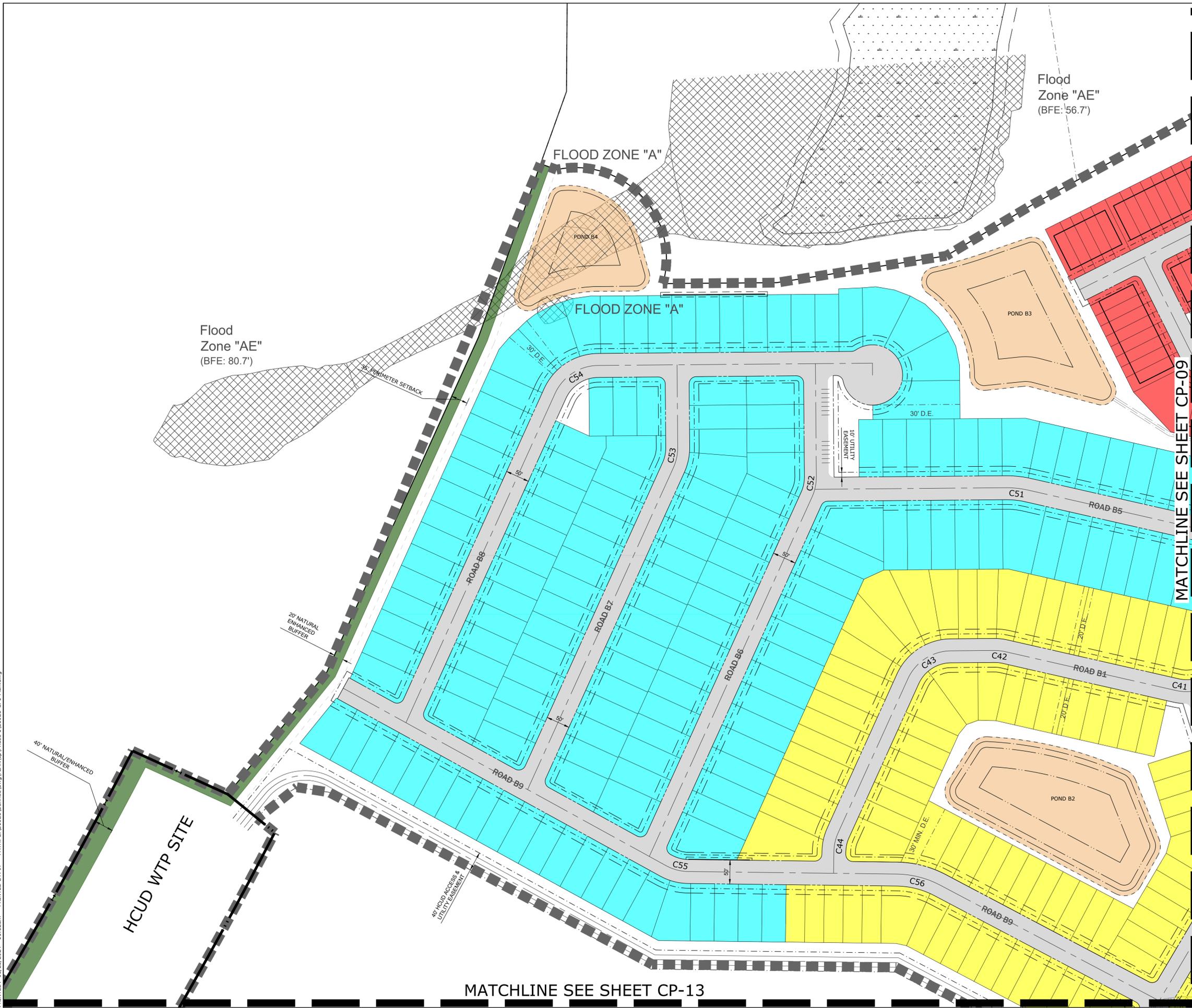
REUSE OF DOCUMENT  
THIS DOCUMENT COMPRISED OF THE  
INSTRUMENT OF SERVICE OF  
AS AN INSTRUMENT OF  
PROFESSIONAL SERVICE, IS THE  
PROPERTY OF COASTAL  
ENGINEERING ASSOCIATES, INC. AND IS NOT TO BE  
USED, IN WHOLE OR IN PART FOR  
ANY OTHER PROJECT WITHOUT THE  
WRITTEN AUTHORIZATION OF COASTAL  
ENGINEERING ASSOCIATES, INC.  
DRAWING INVALID UNLESS SIGNED, DATED  
& SEALED BY REGISTERED PROFESSIONAL

DATE	REV. BY/REV. NO.	REVISION
6/17/2024	JY 1	REVISED PER COUNTY COMMENTS
8/23/2024	JY 2	REVISED PER COUNTY COMMENTS

SHEET  
**CP-07**

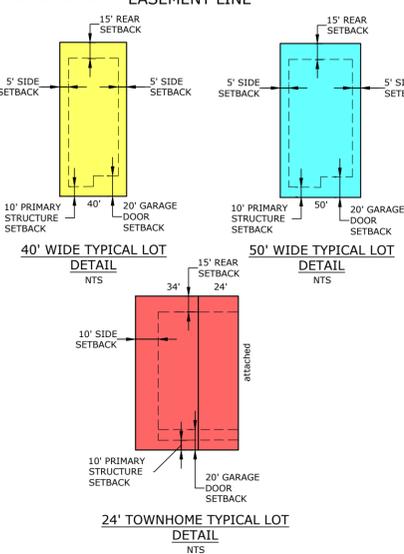
JOB No.: 21026

PRINTED: 08/23/2024 - 11:52am PRINTED BY: JY PATH: L:\21026\Sunrise\dwg\PLAN\CP\Phase 1\21026-CP1-Plan.dwg



LEGEND

- TOWNHOME
- VILLA LOT
- 40' WIDE LOT
- 50' WIDE LOT
- 60' WIDE LOT
- FEMA 100 YR. FLOODPLAIN
- BUFFERS
- ROADS
- DRAINAGE
- PROJECT BOUNDARY
- SETBACK LINE
- EASEMENT LINE



CONDITIONAL PLAT (2)

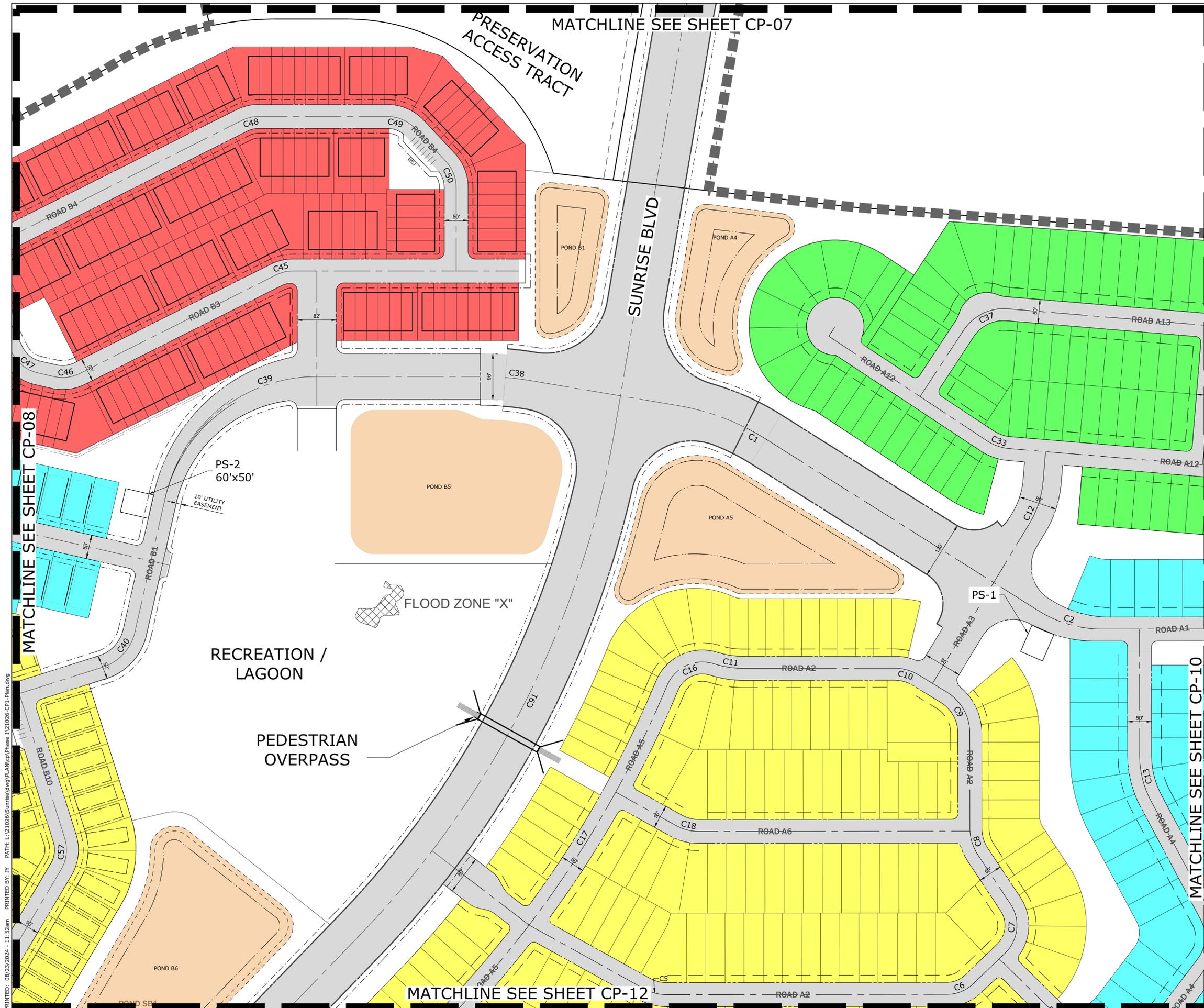


**Coastal**  
 Engineering  
 Surveying  
 Environmental  
 Transportation  
 engineering associates, inc. - Florida 34601  
 966 Candlelight Boulevard - Brooksville - Florida 34601  
 (352) 796-9423 - Fax (352) 799-8359  
 EB-0000142

REUSE OF DOCUMENT  
 THIS DOCUMENT COMPRISED OF THE  
 INDEPENDENT DESIGN OF THE  
 AS AN INSTRUMENT OF  
 PROFESSIONAL SERVICE, IS THE  
 PROPERTY OF COASTAL  
 ASSOCIATES, INC. AND IS NOT TO BE  
 USED, IN WHOLE OR IN PART FOR  
 ANY OTHER PROJECT WITHOUT THE  
 WRITTEN AUTHORIZATION OF COASTAL  
 ENGINEERING ASSOCIATES, INC.  
 DRAWING INVALID UNLESS SIGNED, DATED  
 & SEALED BY REGISTERED PROFESSIONAL

DATE	REV. BY/REV. NO.	REVISION
6/17/2024	JY 1	REVISED PER COUNTY COMMENTS
8/23/2024	JY 2	REVISED PER COUNTY COMMENTS

SHEET  
**CP-08**  
 JOB No.: 21026



MATCHLINE SEE SHEET CP-07

PRESERVATION ACCESS TRACT

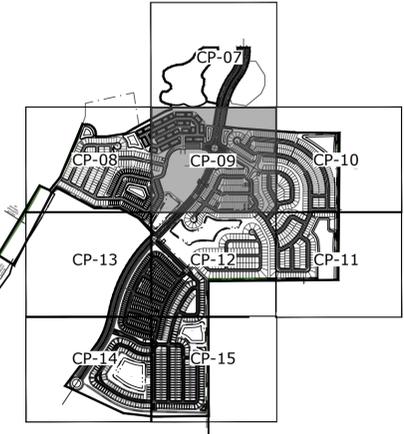
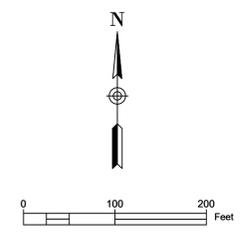
SUNRISE BLVD

RECREATION / LAGOON

PEDESTRIAN OVERPASS

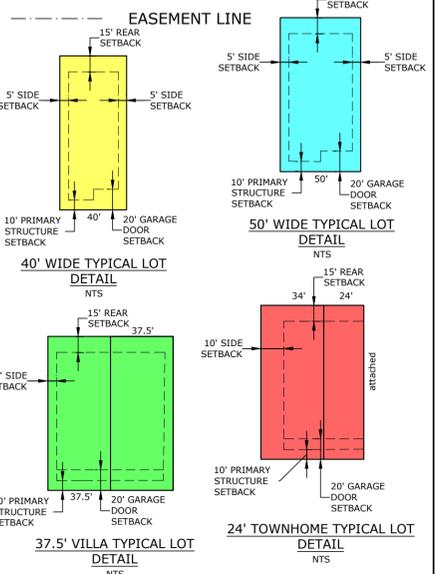
MATCHLINE SEE SHEET CP-12

MATCHLINE SEE SHEET CP-10



LEGEND

- TOWNHOME
- VILLA LOT
- 40' WIDE LOT
- 50' WIDE LOT
- 60' WIDE LOT
- FEMA 100 YR. FLOODPLAIN
- BUFFERS
- ROADS
- DRAINAGE
- PROJECT BOUNDARY
- SETBACK LINE



MATCHLINE SEE SHEET CP-08

PRINTED: 08/23/2024 - 11:52am PRINTED BY: JY PATH: L:\21026\Sunrise\dwg\PLAN\CP\Phase 1\21026-CP-1-Plan.dwg

CONDITIONAL PLAT (3)

SUNRISE



Engineering  
Surveying  
Environmental  
Transportation  
Communication Management

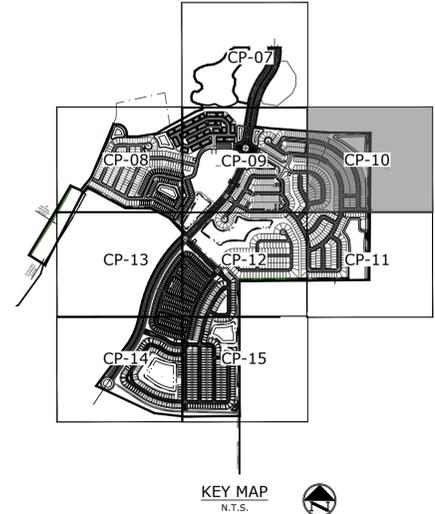
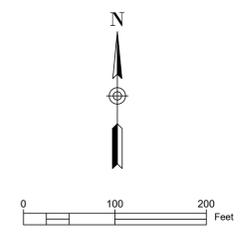
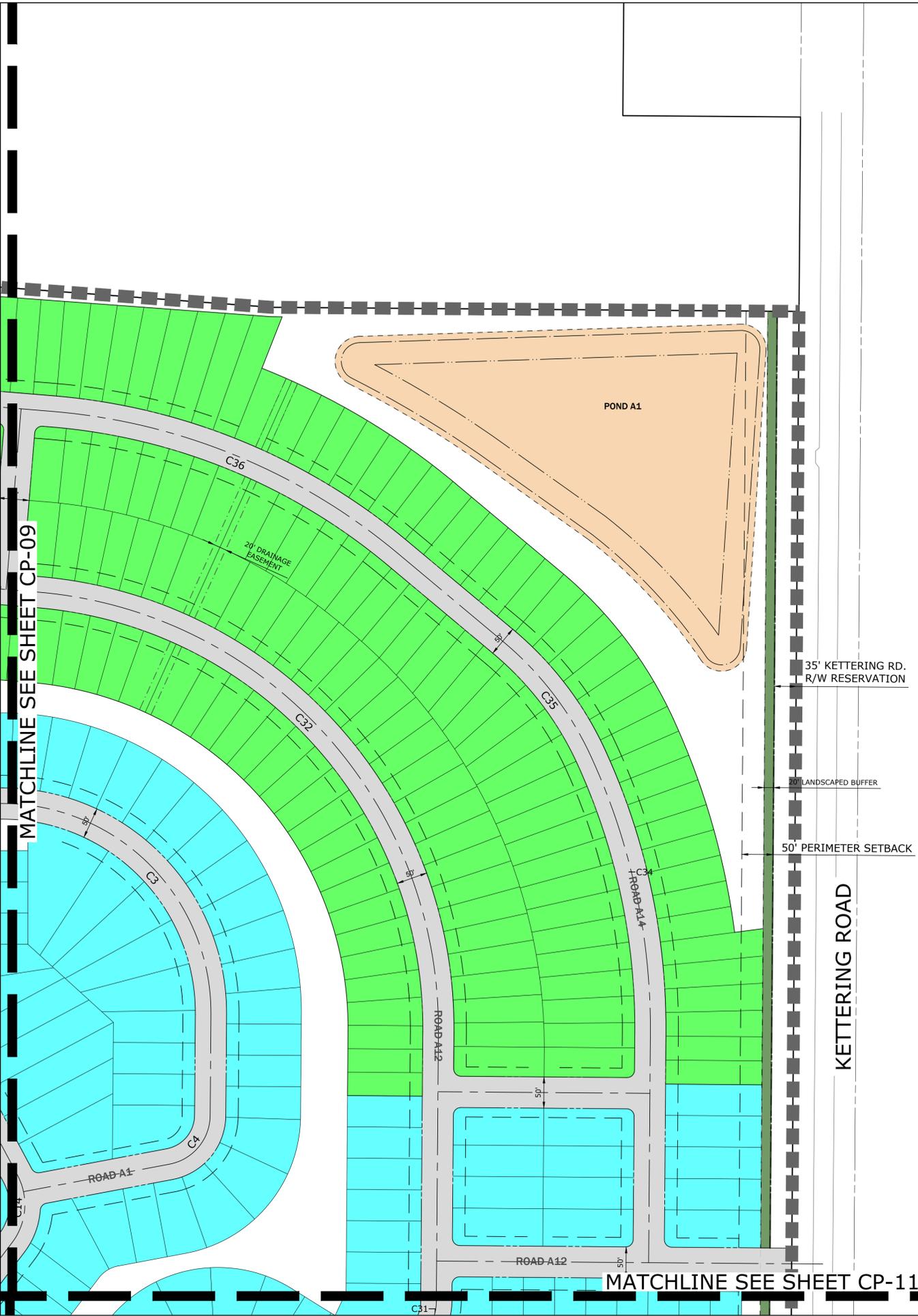
**Coastal**  
engineering associates, inc.  
966 Candlelight Boulevard - Brooksville, Florida 34601  
(352) 796-9423 - Fax (352) 799-8359  
EB-0000142

REUSE OF DOCUMENT  
THIS DOCUMENT COMPRISED OF THE  
INDEPENDENT DESIGN OF  
AS AN INSTRUMENT OF  
PROFESSIONAL SERVICE, IS THE  
PROPERTY OF COASTAL  
ASSOCIATES, INC. AND IS NOT TO BE  
USED, IN WHOLE OR IN PART FOR  
ANY OTHER PROJECT WITHOUT THE  
WRITTEN AUTHORIZATION OF COASTAL  
ENGINEERING ASSOCIATES, INC.  
DRAWING INVALID UNLESS SIGNED, DATED  
& SEALED BY REGISTERED PROFESSIONAL

DATE	REV. BY/REV. NO.	REVISION
6/17/2024	JY 1	REVISED PER COUNTY COMMENTS
8/23/2024	JY 2	REVISED PER COUNTY COMMENTS

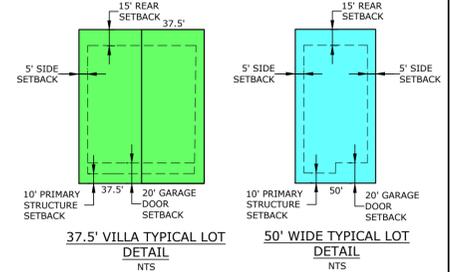
SHEET  
**CP-09**  
JOB No.: 21026

PRINTED: 08/23/2024 - 11:52am PRINTED BY: JY PATH: L:\21026\Sunrise\dwg\PLAN\CP\Phase 1\21026-CP1-Plan.dwg



**LEGEND**

- TOWNHOME
- VILLA LOT
- 40' WIDE LOT
- 50' WIDE LOT
- 60' WIDE LOT
- FEMA 100 YR. FLOODPLAIN
- BUFFERS
- ROADS
- DRAINAGE
- PROJECT BOUNDARY
- SETBACK LINE
- EASEMENT LINE



CONDITIONAL PLAT (4)

SUNRISE



**Coastal**  
 engineering associates, inc.  
 966 Candlelight Boulevard - Brooksville - Florida 34601  
 (352) 796-9423 - Fax (352) 799-8359  
 EB-0000142

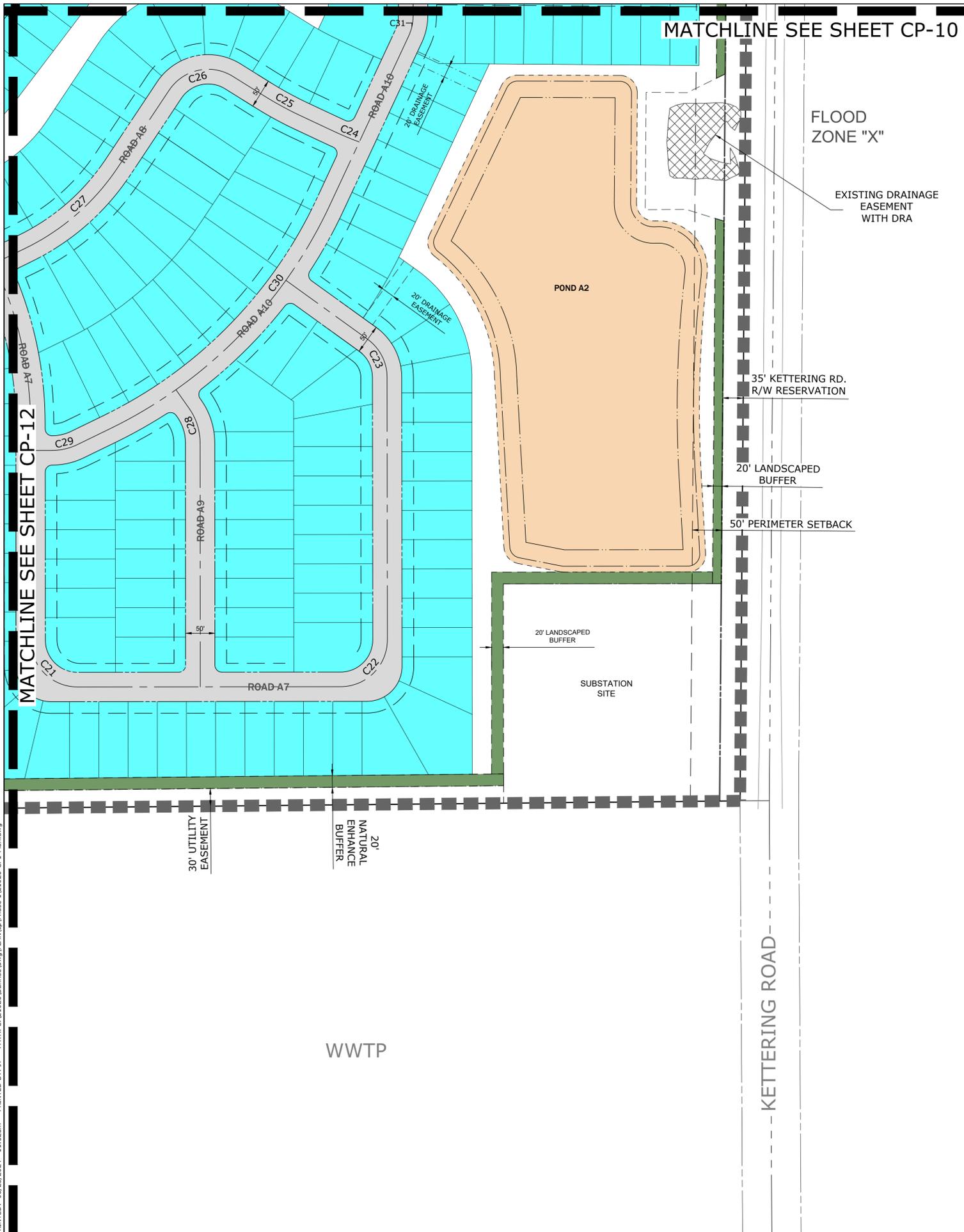
REUSE OF DOCUMENT  
 THIS DOCUMENT COMPRISED OF THE  
 INSTRUMENT OF SERVICE OF  
 AN INSTRUMENT OF SERVICE OF  
 PROFESSIONAL SERVICES IS THE  
 PROPERTY OF COASTAL ENGINEERING  
 ASSOCIATES, INC. AND IS NOT TO BE  
 USED, IN WHOLE OR IN PART FOR  
 ANY OTHER PROJECT WITHOUT THE  
 WRITTEN AUTHORIZATION OF COASTAL  
 ENGINEERING ASSOCIATES, INC.  
 DRAWING INVALID UNLESS SIGNED, DATED  
 & SEALED BY REGISTERED PROFESSIONAL

DATE	REV. BY/REV. NO.	REVISION
6/17/2024	JY 1	REVISED PER COUNTY COMMENTS
8/23/2024	JY 2	REVISED PER COUNTY COMMENTS

WHEN PRINTED TO SCALE, DRAWING SIZE SHALL BE 22" X 34"

SHEET  
**CP-10**  
 JOB No.: 21026

PRINTED: 08/23/2024 - 11:52am PRINTED BY: JY PATH: L:\21026\Sunrise\dwg\PLAN\CP\Phase 1\21026-CP1-Plan.dwg



MATCHLINE SEE SHEET CP-10

MATCHLINE SEE SHEET CP-12

KETTERING ROAD

WWTP

FLOOD ZONE "X"

EXISTING DRAINAGE EASEMENT WITH DRA

35' KETTERING RD. R/W RESERVATION

20' LANDSCAPED BUFFER

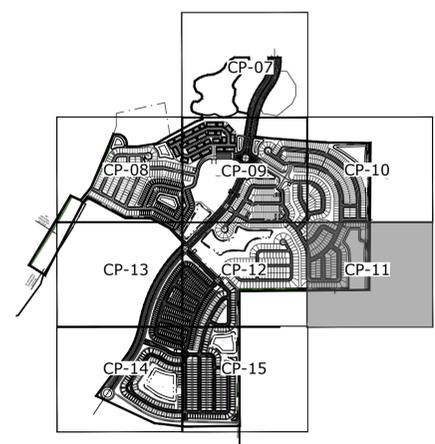
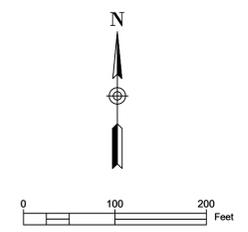
50' PERIMETER SETBACK

20' LANDSCAPED BUFFER

SUBSTATION SITE

30' UTILITY EASEMENT

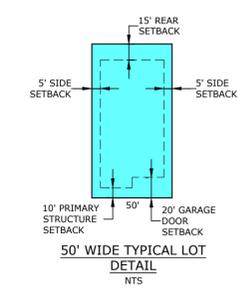
20' NATURAL ENHANCE BUFFER



KEY MAP  
N.T.S.

LEGEND

- TOWNHOME
- VILLA LOT
- 40' WIDE LOT
- 50' WIDE LOT
- 60' WIDE LOT
- FEMA 100 YR. FLOODPLAIN
- BUFFERS
- ROADS
- DRAINAGE
- PROJECT BOUNDARY
- SETBACK LINE
- EASEMENT LINE



50' WIDE TYPICAL LOT  
DETAIL  
N.T.S.

CONDITIONAL PLAT (5)

SUNRISE



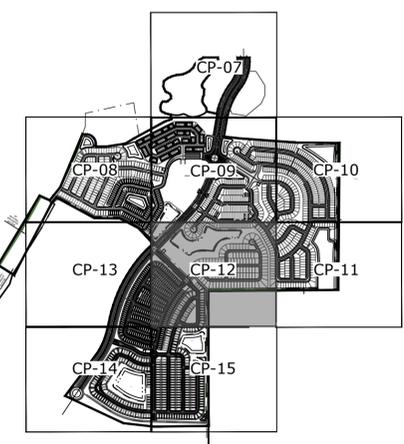
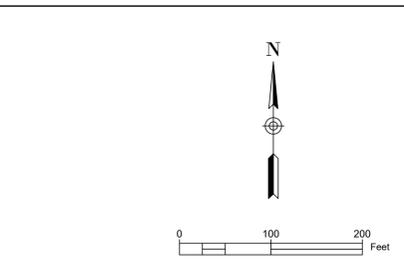
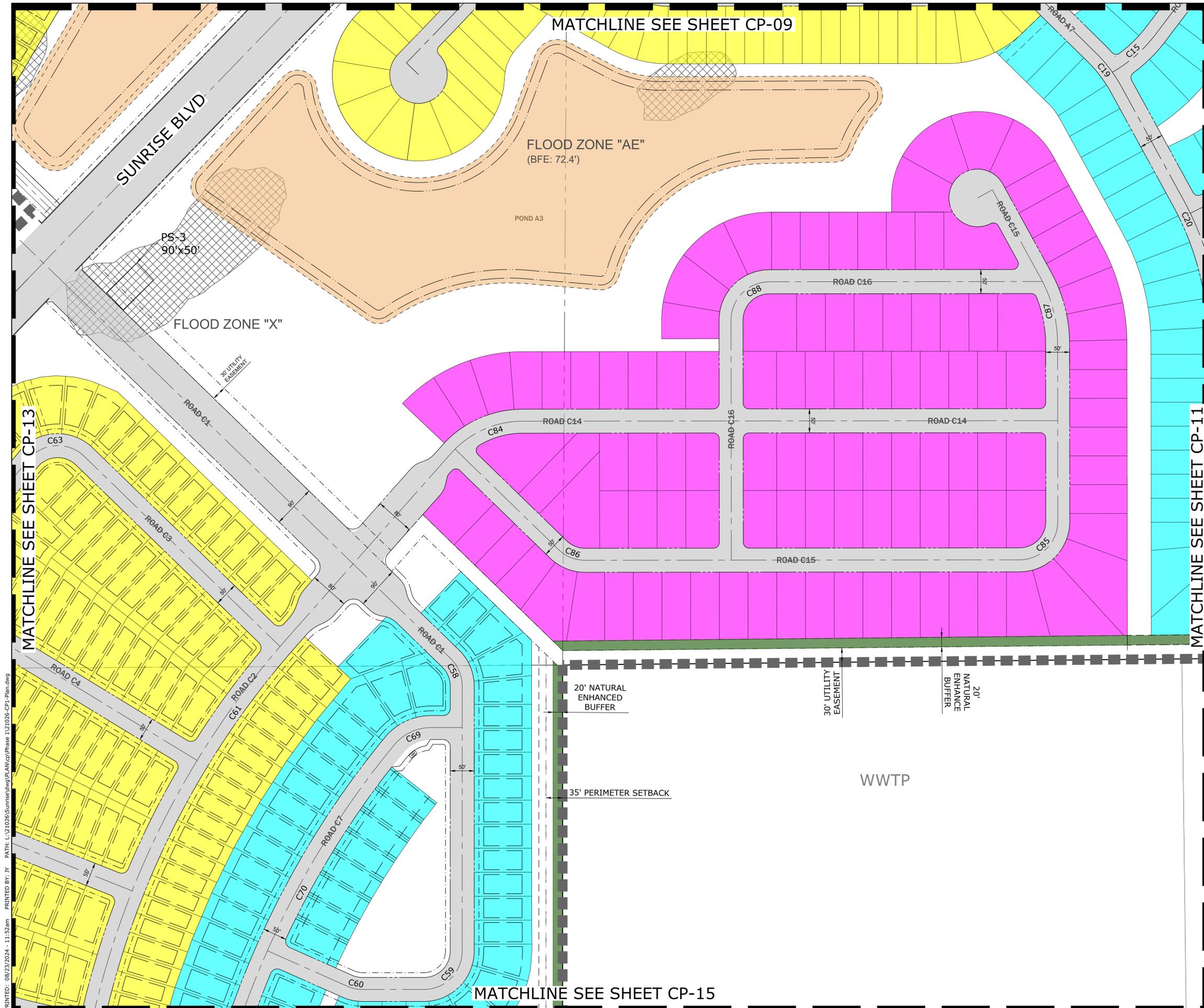
**Coastal**  
Engineering  
Surveying  
Environmental  
Transportation  
Construction Management  
engineering associates, inc.  
966 Candlelight Boulevard - Brooksville - Florida 34601  
(352) 796-9423 - Fax (352) 799-8359  
EB-0000142

REUSE OF DOCUMENT  
THIS DOCUMENT COMPRISED OF THE INDEPENDENT WORK OF AN INDEPENDENT PROFESSIONAL ENGINEER AND IS NOT TO BE USED, IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF COASTAL ENGINEERING ASSOCIATES, INC.  
DRAWING INVALID UNLESS SIGNED, DATED & SEALED BY REGISTERED PROFESSIONAL

DATE	REV. BY/REV. NO.	REVISION
6/17/2024	JY 1	REVISED PER COUNTY COMMENTS
8/23/2024	JY 2	REVISED PER COUNTY COMMENTS

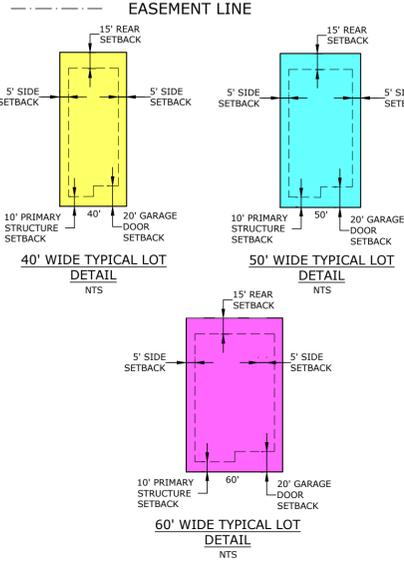
WHEN PRINTED TO SCALE, DRAWING SIZE SHALL BE 22" X 34"

SHEET  
**CP-11**  
JOB No.: 21026



**LEGEND**

- TOWNHOME
- VILLA LOT
- 40' WIDE LOT
- 50' WIDE LOT
- 60' WIDE LOT
- FEMA 100 YR. FLOODPLAIN
- BUFFERS
- ROADS
- DRAINAGE
- PROJECT BOUNDARY
- SETBACK LINE
- EASEMENT LINE



CONDITIONAL PLAT (6)

SUNRISE



Engineering  
Surveying  
Environmental  
Transportation  
Communication Management

Coastal

engineering associates, inc.  
966 Candlelight Boulevard - Brooksville - Florida 34601  
(352) 796-9423 - Fax (352) 799-8359  
EB-0000142

REUSE OF DOCUMENT  
THIS DOCUMENT COMPRISED OF THE IMPROVED DEFINITION OF THE PROJECT AS AN INSTRUMENT OF PROFESSIONAL SERVICE IS THE PROPERTY OF COASTAL ENGINEERING ASSOCIATES, INC. AND IS NOT TO BE USED, IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF COASTAL ENGINEERING ASSOCIATES, INC.  
DRAWING INVALID UNLESS SIGNED, DATED & SEALED BY REGISTERED PROFESSIONAL

DATE	REV. BY/REV. NO.	REVISION
6/17/2024	JY 1	REVISED PER COUNTY COMMENTS
8/23/2024	JY 2	REVISED PER COUNTY COMMENTS

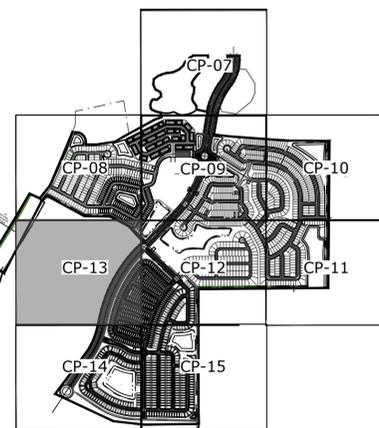
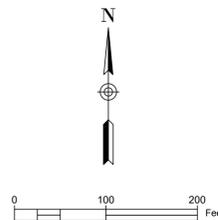
SHEET  
**CP-12**

JOB No.: 21026

PRINTED: 08/23/2024 - 11:52am PRINTED BY: JY PATH: L:\21026\Sunrise\dwg\PLAN\cp\Phase 1\21026-CP-1-Plan.dwg

MATCHLINE SEE SHEET CP-08

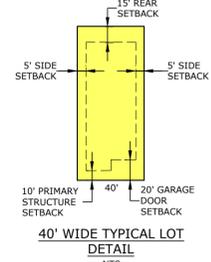
FLOOD ZONE "AE"  
(BFE: 77.1')



FUTURE PHASE

LEGEND

- TOWNHOME
- VILLA LOT
- 40' WIDE LOT
- 50' WIDE LOT
- 60' WIDE LOT
- FEMA 100 YR. FLOODPLAIN
- BUFFERS
- ROADS
- DRAINAGE
- PROJECT BOUNDARY
- SETBACK LINE
- EASEMENT LINE



MATCHLINE SEE SHEET CP-14

PRINTED: 08/23/2024 - 11:53am PRINTED BY: JY PATH: L:\21026\Sunrise\dwg\PLAN\cp\Phase 1\21026-CP1-Plan.dwg

CONDITIONAL PLAT (7)

SUNRISE



**Coastal**  
Engineering  
Surveying  
Environmental  
Transportation  
Construction Management  
engineering associates, inc.  
966 Candlelight Boulevard - Brooksville - Florida 34601  
(352) 796-9423 - Fax (352) 799-8359  
EB-0000142

REUSE OF DOCUMENT  
THIS DOCUMENT COMPRISED OF THE  
INDEPENDENT DESIGN OF  
AS AN INSTRUMENT OF  
PROFESSIONAL SERVICE, IS THE  
PROPERTY OF COASTAL  
ASSOCIATES, INC. AND IS NOT TO BE  
USED, IN WHOLE OR IN PART FOR  
ANY OTHER PROJECT WITHOUT THE  
WRITTEN AUTHORIZATION OF COASTAL  
ENGINEERING ASSOCIATES, INC.  
DRAWING INVALID UNLESS SIGNED, DATED  
& SEALED BY REGISTERED PROFESSIONAL

DATE	REV. BY/REV. NO.	REVISION
6/17/2024	JY 1	REVISED PER COUNTY COMMENTS
8/23/2024	JY 2	REVISED PER COUNTY COMMENTS

SHEET  
**CP-13**  
21026

MATCHLINE SEE SHEET CP-13

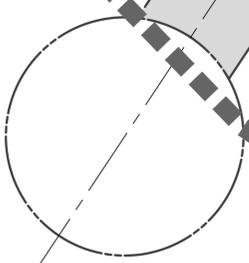
FUTURE PHASE

SUNRISE BLVD

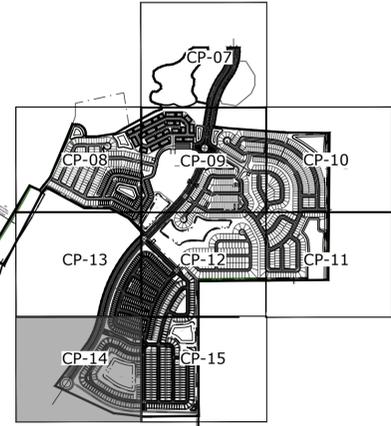
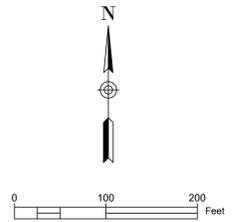
FLOOD ZONE "X"

POND C2

MATCHLINE SEE SHEET CP-15



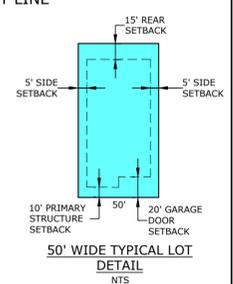
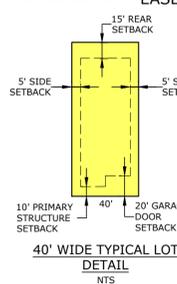
FUTURE PHASE



KEY MAP  
N.T.S.

LEGEND

- TOWNHOME
- VILLA LOT
- 40' WIDE LOT
- 50' WIDE LOT
- 60' WIDE LOT
- FEMA 100 YR. FLOODPLAIN
- BUFFERS
- ROADS
- DRAINAGE
- PROJECT BOUNDARY
- EASEMENT LINE



REUSE OF DOCUMENT  
THIS DOCUMENT COMPRISED OF THE  
INDEPENDENT DESIGN OF THE  
AS AN INSTRUMENT OF  
PROFESSIONAL SERVICE IS THE  
PROPERTY OF COASTAL ENGINEERING  
ASSOCIATES, INC. AND IS NOT TO BE  
USED, IN WHOLE OR IN PART FOR  
ANY OTHER PROJECT WITHOUT THE  
WRITTEN AUTHORIZATION OF COASTAL  
ENGINEERING ASSOCIATES, INC.  
DRAWING INVALID UNLESS SIGNED, DATED  
& SEALED BY REGISTERED PROFESSIONAL

DATE	REV. BY/REV. NO.	REVISION
6/17/2024	JY 1	REVISED PER COUNTY COMMENTS
8/23/2024	JY 2	REVISED PER COUNTY COMMENTS

WHEN PRINTED TO SCALE, DRAWING SIZE SHALL BE 22" X 34"

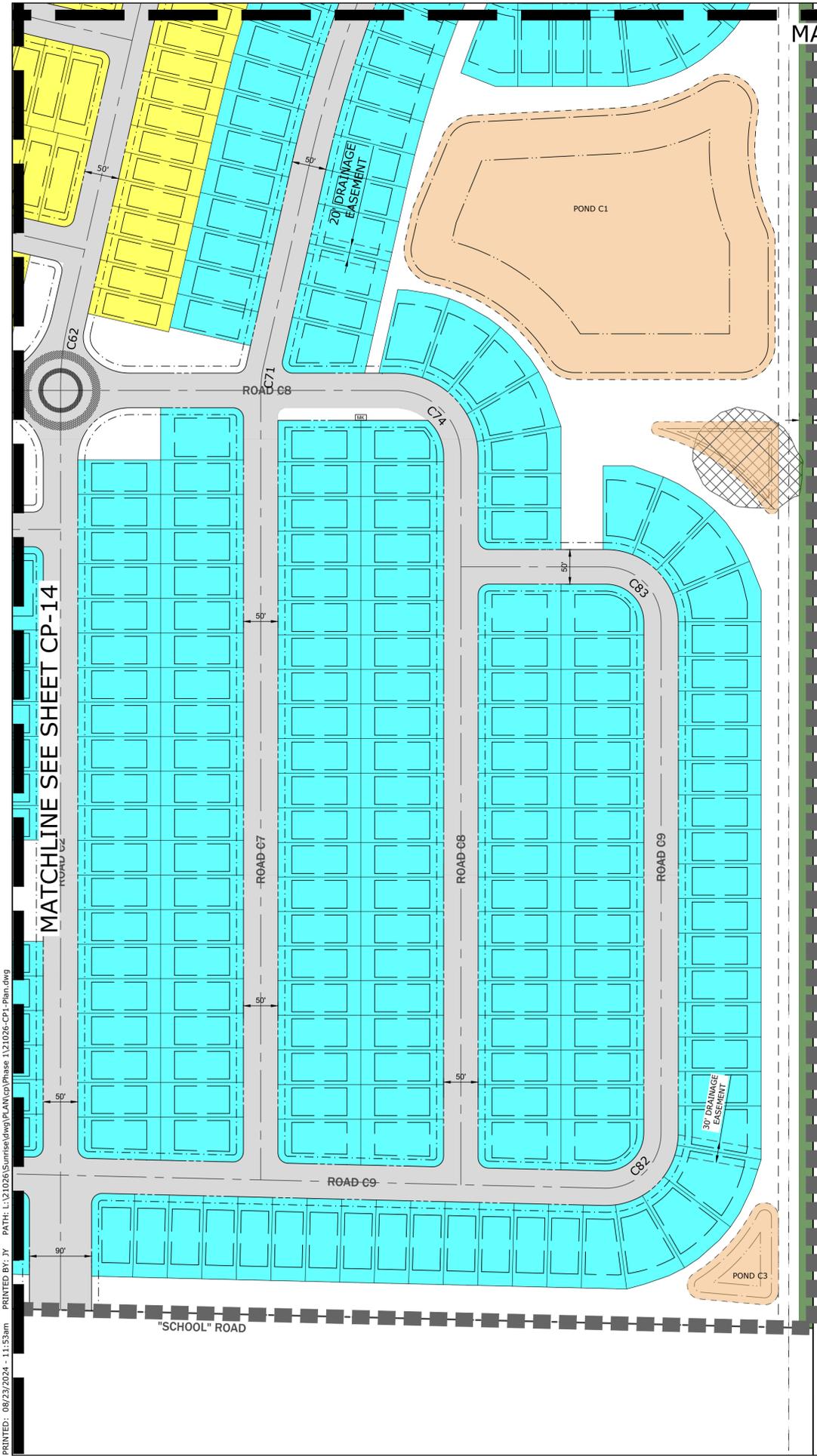
SHEET  
**CP-14**  
JOB No.: 21026

CONDITIONAL PLAT (8)



**Coastal**  
Engineering  
Surveying  
Environmental  
Transportation  
Construction Management  
engineering associates, inc.  
966 Candlelight Boulevard - Brooksville - Florida 34601  
(352) 796-9423 - Fax (352) 799-8359  
EB-0000142

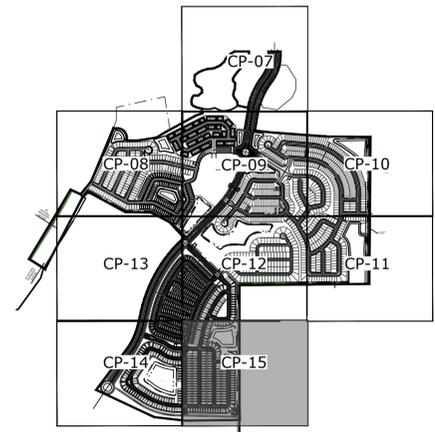
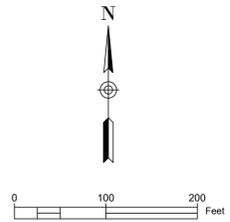
MATCHLINE SEE SHEET CP-12



20' NATURAL ENHANCED BUFFER

FLOOD ZONE "AE" (BFE: 78.9')

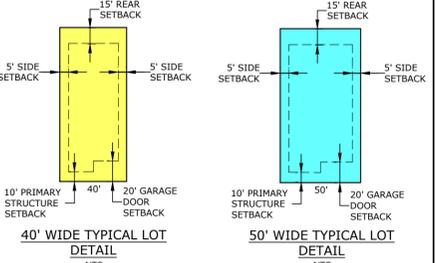
WWTP



KEY MAP  
N.T.S.

LEGEND

- TOWNHOME
- VILLA LOT
- 40' WIDE LOT
- 50' WIDE LOT
- 60' WIDE LOT
- FEMA 100 YR. FLOODPLAIN
- BUFFERS
- ROADS
- DRAINAGE
- PROJECT BOUNDARY



PRINTED: 08/23/2024 - 11:53am PRINTED BY: JY PATH: L:\21026\Sunrise\dwg\PLAN\CP\Phase 1\21026-CP1-Plan.dwg

MATCHLINE SEE SHEET CP-14

CONDITIONAL PLAT (9)

SUNRISE



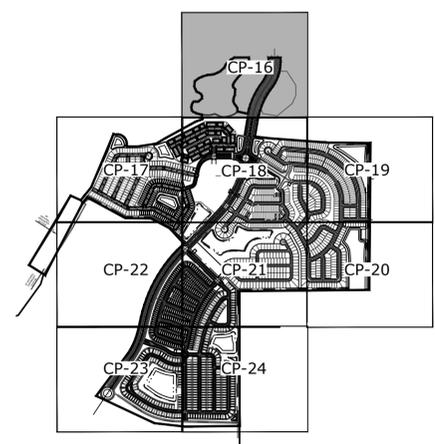
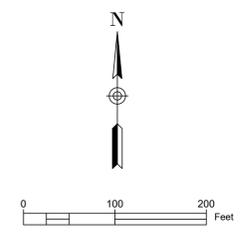
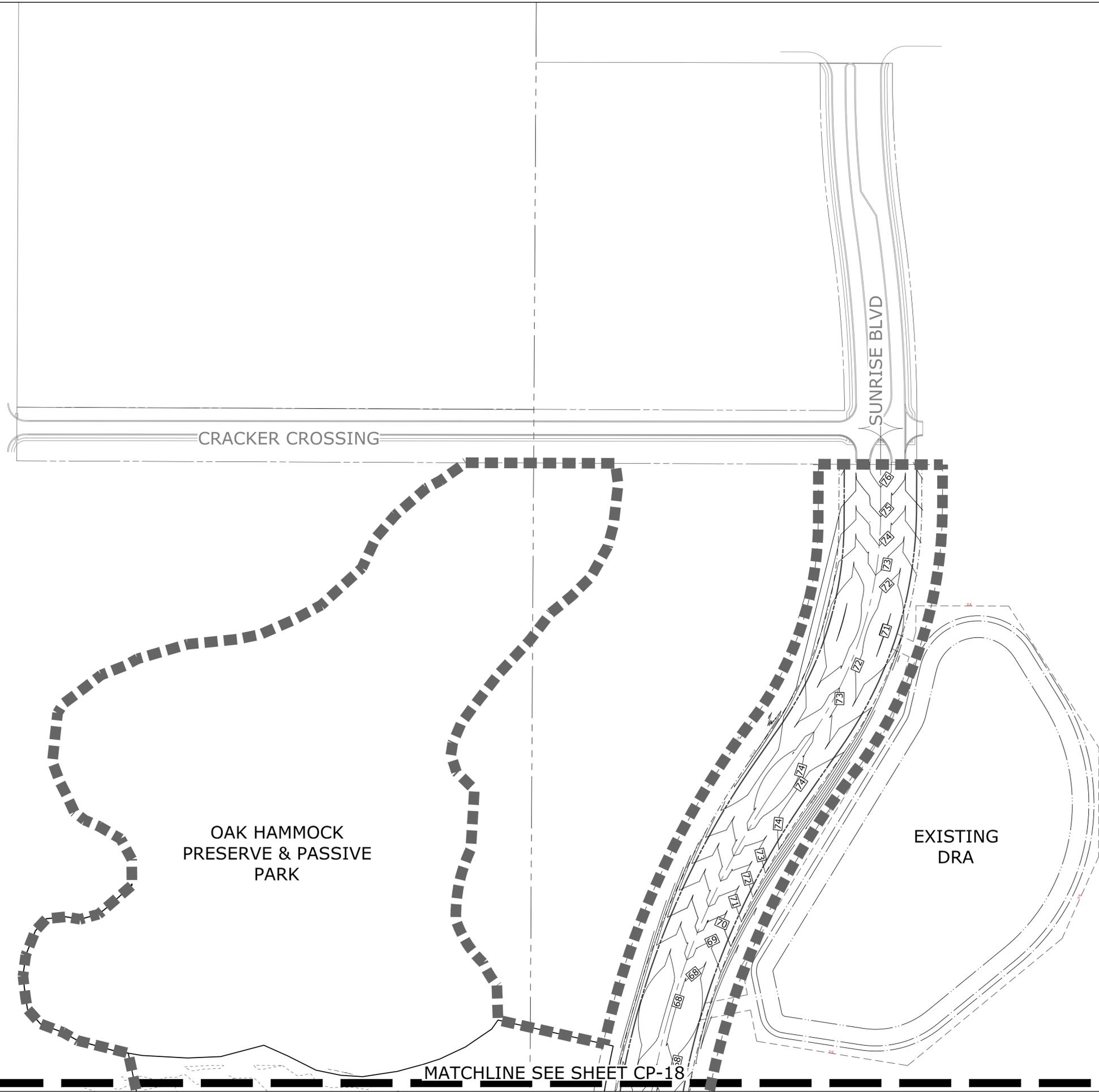
Engineering  
 Surveying  
 Environmental  
 Transportation  
 Construction Management  
**Coastal**  
 engineering associates, inc.  
 966 Candlelight Boulevard - Brooksville, Florida 34601  
 (352) 796-9423 - Fax (352) 799-8359  
 EB-0000142

REUSE OF DOCUMENT  
 THIS DOCUMENT COMPRISED OF THE  
 INDEPENDENT DESIGN OF THE  
 AS AN INSTRUMENT OF  
 PROFESSIONAL SERVICE IS THE  
 PROPERTY OF COASTAL  
 ASSOCIATES, INC. AND IS NOT TO BE  
 USED, IN WHOLE OR IN PART FOR  
 ANY OTHER PROJECT WITHOUT THE  
 WRITTEN AUTHORIZATION OF COASTAL  
 ENGINEERING ASSOCIATES, INC.  
 DRAWING INVALID UNLESS SIGNED, DATED  
 & SEALED BY REGISTERED PROFESSIONAL

DATE	REV. BY/REV. NO.	REVISION
6/17/2024	JY 1	REVISED PER COUNTY COMMENTS
8/23/2024	JY 2	REVISED PER COUNTY COMMENTS

SHEET  
**CP-15**  
JOB No.: 21026

PRINTED: 08/23/2024 - 11:54am PRINTED BY: JY PATH: L:\21026\Sunrise\dwg\PLAN\CP\Phase 1\21026-CP1-Grading.dwg



KEY MAP  
N.T.S.

LEGEND

-  FEMA 100 YR. FLOODPLAIN
-  PROJECT BOUNDARY
-  PHASE LINE
-  EXISTING CONTOUR LINE
-  PROPOSED CONTOUR LINE
-  PROPOSED 1' STEM WALL
-  PROPOSED 2' STEM WALL

CONCEPTUAL GRADING (1)



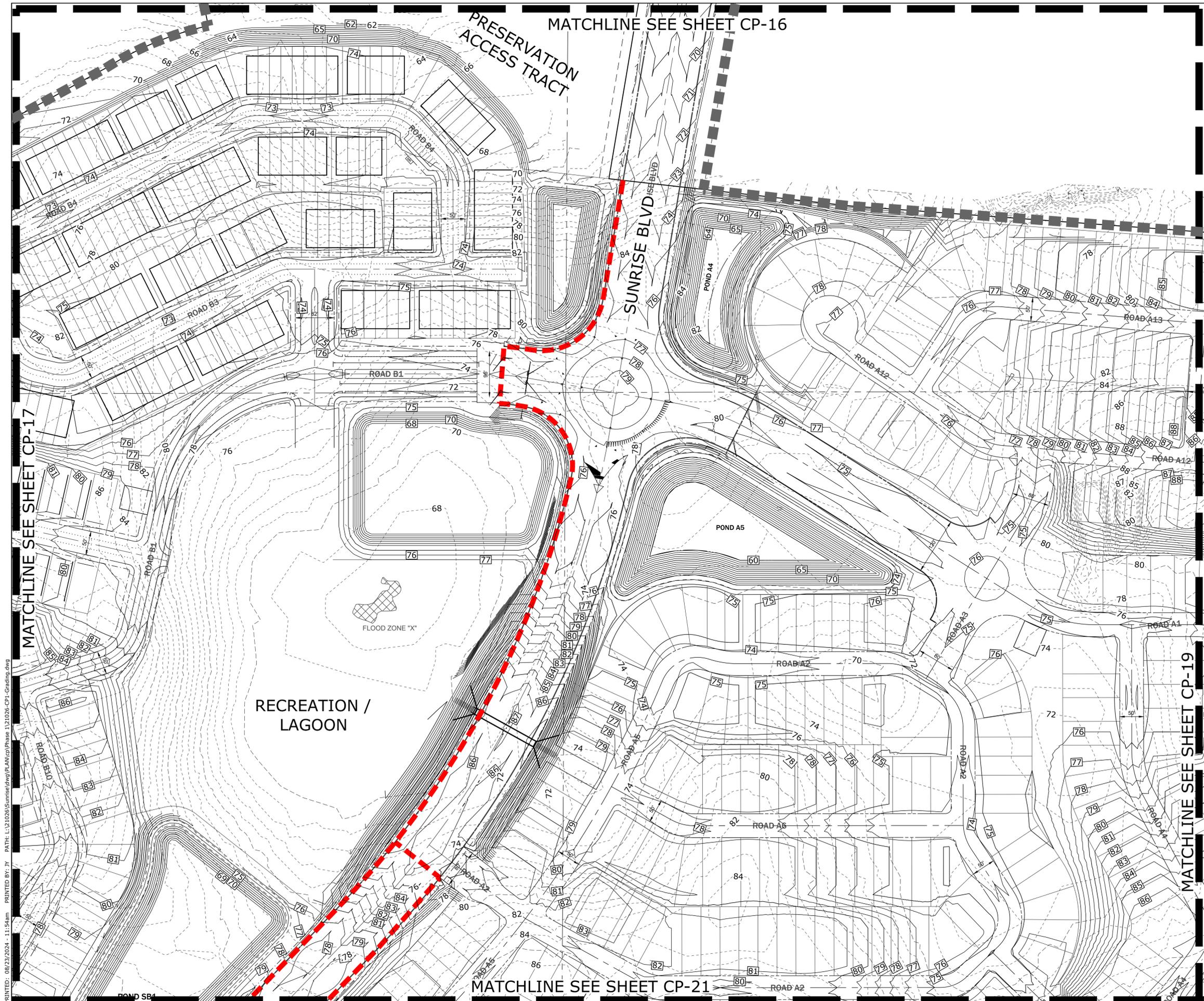
**Coastal**  
 engineering associates, inc.  
 966 Candlelight Boulevard - Brooksville, Florida 34601  
 (352) 796-9423 - Fax (352) 799-8359  
 EB-0000142

REUSE OF DOCUMENT  
 THIS DOCUMENT COMPRISED OF THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF COASTAL ENGINEERING ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN AUTHORIZATION OF COASTAL ENGINEERING ASSOCIATES, INC.  
 DRAWING INVALID UNLESS SIGNED, DATED & SEALED BY REGISTERED PROFESSIONAL

DATE	REV. BY/REV. NO.	REVISION
6/17/2024	JY 1	REVISED PER COUNTY COMMENTS
8/23/2024	JY 2	REVISED PER COUNTY COMMENTS

SHEET  
**CP-16**  
 JOB No.: 21026





MATCHLINE SEE SHEET CP-16

PRESERVATION ACCESS TRACT

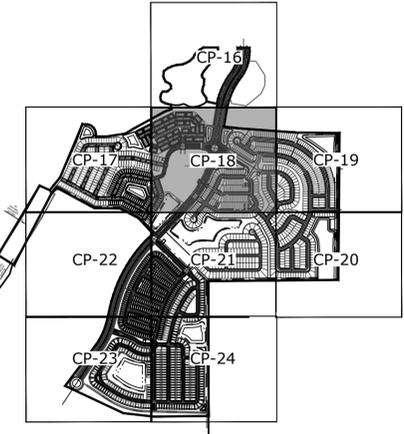
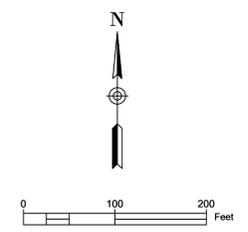
SUNRISE BLVD

RECREATION / LAGOON

MATCHLINE SEE SHEET CP-21

MATCHLINE SEE SHEET CP-17

MATCHLINE SEE SHEET CP-19



KEY MAP  
N.T.S.

LEGEND

- FEMA 100 YR. FLOODPLAIN
- PROJECT BOUNDARY
- PHASE LINE
- 70 EXISTING CONTOUR LINE
- 70 PROPOSED CONTOUR LINE
- PROPOSED 1' STEM WALL
- PROPOSED 2' STEM WALL

CONCEPTUAL GRADING (3)



**Coastal**  
 Engineering  
 Surveying  
 Environmental  
 Transportation  
 Construction Management

966 Candlelight Boulevard - Brooksville, Florida 34601  
 (352) 796-9423 - Fax (352) 799-8359  
 EB-0000142

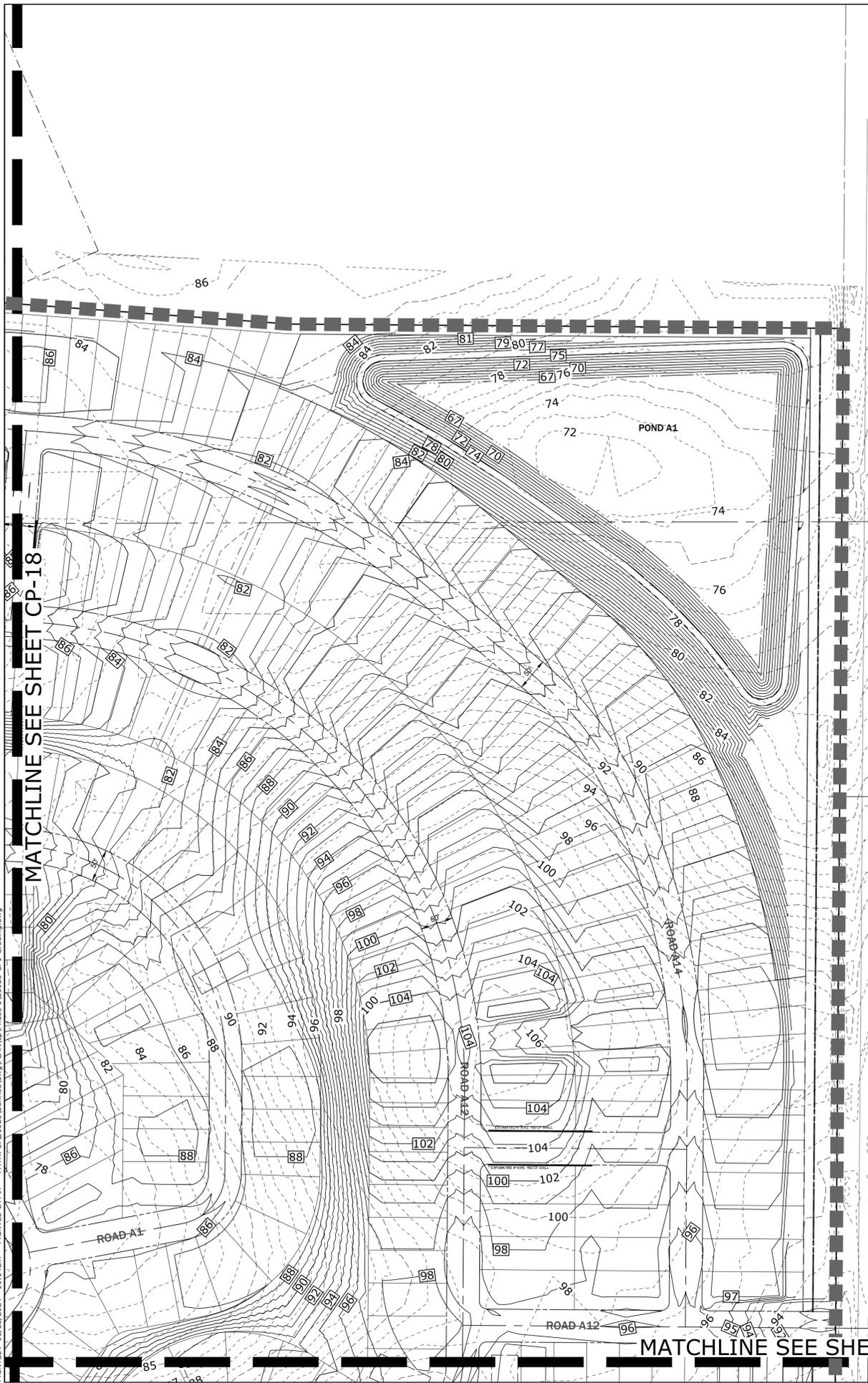
REUSE OF DOCUMENT  
 THIS DOCUMENT, COMPRISED OF THE  
 INDEPENDENT INSTRUMENT OF  
 PROFESSIONAL SERVICE, IS THE  
 PROPERTY OF COASTAL ENGINEERING  
 ASSOCIATES, INC. AND IS NOT TO BE  
 USED, IN WHOLE OR IN PART FOR  
 ANY OTHER PROJECT WITHOUT THE  
 WRITTEN AUTHORIZATION OF COASTAL  
 ENGINEERING ASSOCIATES, INC.  
 DRAWING INVALID UNLESS SIGNED, DATED  
 & SEALED BY REGISTERED PROFESSIONAL

DATE	REV. BY/REV. NO.	REVISION
6/17/2024	JY 1	REVISED PER COUNTY COMMENTS
8/23/2024	JY 2	REVISED PER COUNTY COMMENTS

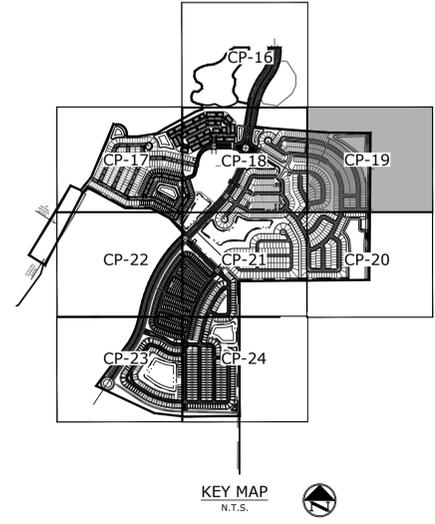
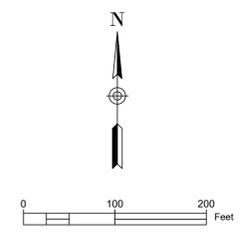
SHEET  
**CP-18**  
 JOB No.: 21026

PRINTED: 08/23/2024 - 11:54am PRINTED BY: JY PATH: L:\21026\Sunrise\dwg\PLAN\cp\Phase 1\21026-CP-1-Grading.dwg

PRINTED: 08/23/2024 - 11:54am PRINTED BY: JY PATH: L:\21026\Sunrise\dwg\PLAN\CP\Phase 1\21026-CP1-Grading.dwg



KETTERING ROAD



- LEGEND**
- FEMA 100 YR. FLOODPLAIN
  - PROJECT BOUNDARY
  - PHASE LINE
  - EXISTING CONTOUR LINE
  - PROPOSED CONTOUR LINE
  - PROPOSED 1' STEM WALL
  - PROPOSED 2' STEM WALL

CONCEPTUAL GRADING (4)

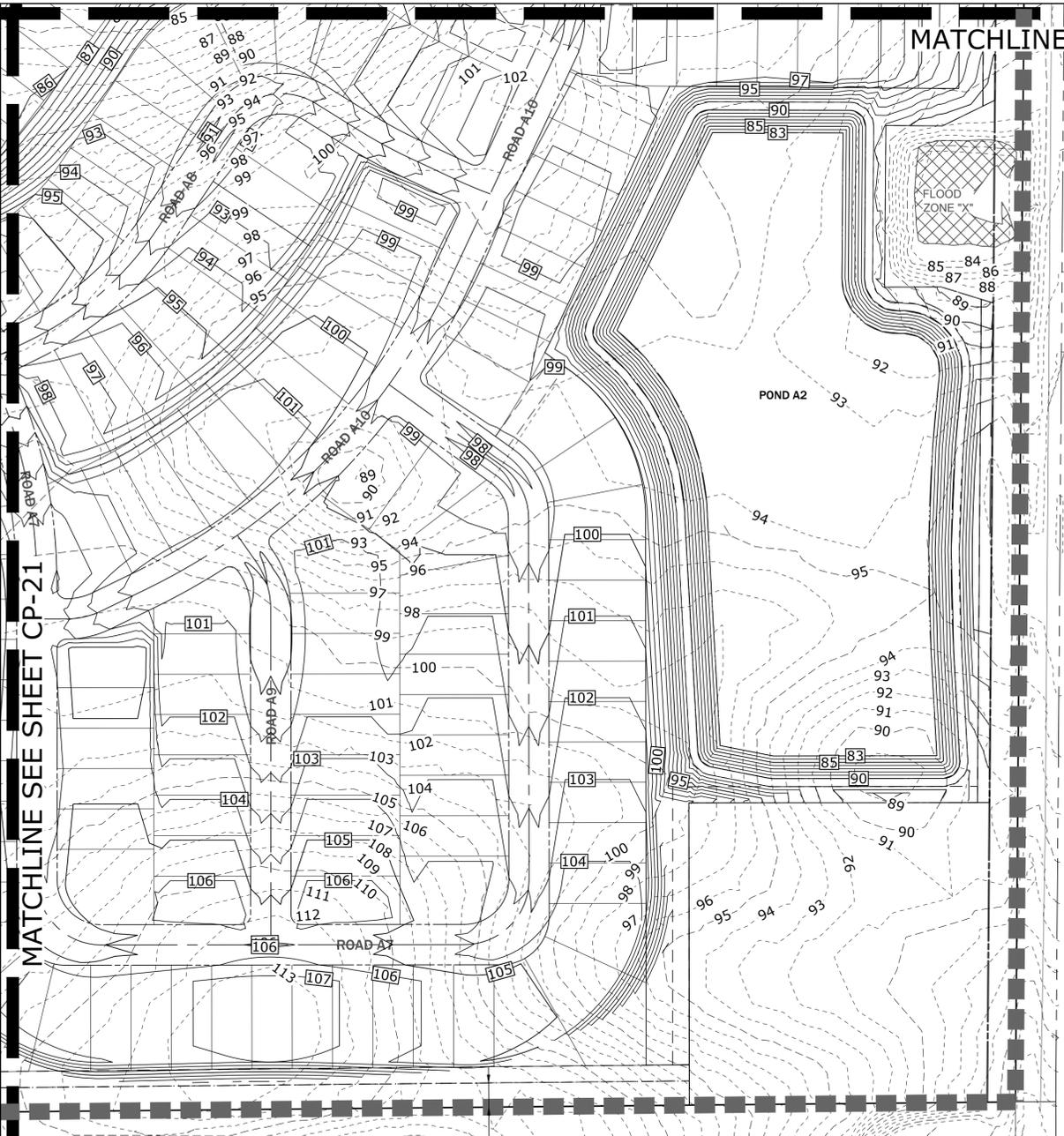


**Coastal**  
 Engineering  
 Surveying  
 Environmental  
 Transportation  
 Construction Management  
 engineering associates, inc. - Florida 34601  
 966 Candlelight Boulevard - Brooksville - Fax (352) 799-8359  
 (352) 796-9423 - EB-0000142

REUSE OF DOCUMENT  
 THIS DOCUMENT COMPRISED OF THE  
 INFORMATION CONTAINED HEREIN  
 IS AN INSTRUMENT OF  
 PROFESSIONAL SERVICE, IS THE  
 PROPERTY OF COASTAL  
 ASSOCIATES, INC. AND IS NOT TO BE  
 USED, IN WHOLE OR IN PART FOR  
 ANY OTHER PROJECT WITHOUT THE  
 WRITTEN AUTHORIZATION OF COASTAL  
 ENGINEERING ASSOCIATES, INC.  
 DRAWING INVALID UNLESS SIGNED, DATED  
 & SEALED BY REGISTERED PROFESSIONAL

DATE	REV. BY/REV. NO.	REVISION
6/17/2024	JY 1	REVISED PER COUNTY COMMENTS
8/23/2024	JY 2	REVISED PER COUNTY COMMENTS

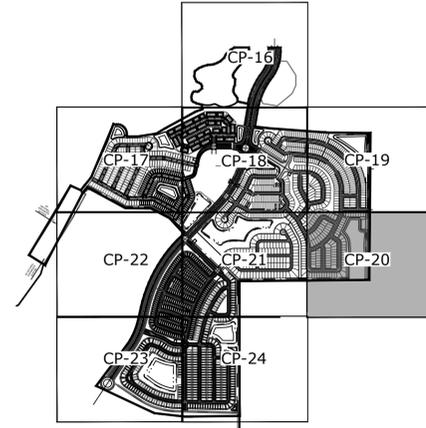
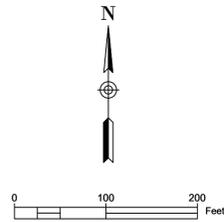
SHEET  
**CP-19**  
 JOB No.: 21026



MATCHLINE SEE SHEET CP-19

KETTERING ROAD

30' UTILITY EASEMENT



KEY MAP  
N.T.S.

LEGEND

- FEMA 100 YR. FLOODPLAIN
- PROJECT BOUNDARY
- PHASE LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PROPOSED 1' STEM WALL
- PROPOSED 2' STEM WALL

CONCEPTUAL GRADING (5)

SUNRISE



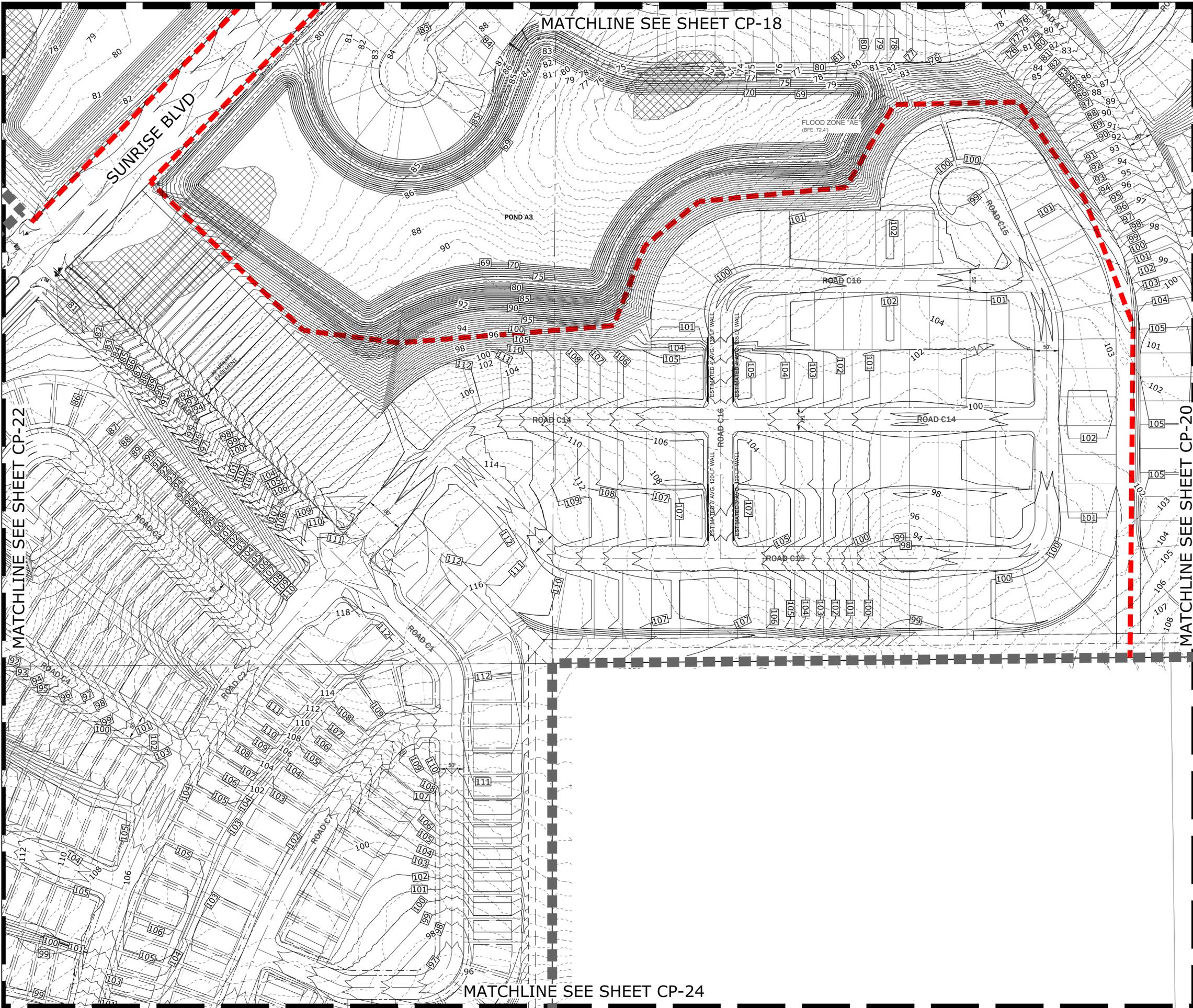
**Coastal**  
 Engineering  
 Surveying  
 Environmental  
 Transportation  
 Construction Management  
 engineering associates, inc.  
 966 Candlelight Boulevard - Brooksville, Florida 34601  
 (352) 796-9423 - Fax (352) 799-8359  
 EB-0000142

REUSE OF DOCUMENT  
 THIS DOCUMENT COMPRISED OF THE  
 INFORMATION OF THE INSTRUMENT OF  
 PROFESSIONAL SERVICE IS THE PROPERTY OF  
 ENGINEERING ASSOCIATES, INC. AND IS NOT TO BE  
 USED, IN WHOLE OR IN PART FOR  
 ANY OTHER PROJECT WITHOUT THE  
 WRITTEN AUTHORIZATION OF COASTAL  
 ENGINEERING ASSOCIATES, INC.  
 DRAWING INVALID UNLESS SIGNED, DATED  
 & SEALED BY REGISTERED PROFESSIONAL

DATE	REV. BY/REV. NO.	REVISION
6/17/2024	JY 1	REVISED PER COUNTY COMMENTS
8/23/2024	JY 2	REVISED PER COUNTY COMMENTS

WHEN PRINTED TO SCALE, DRAWING SIZE SHALL BE 22" X 34"

PRINTED: 08/23/2024 - 11:54am PRINTED BY: JY PATH: L:\21026\Sunrise\dwg\PLAN\CP\Phase 1\21026-CP-1-Grading.dwg

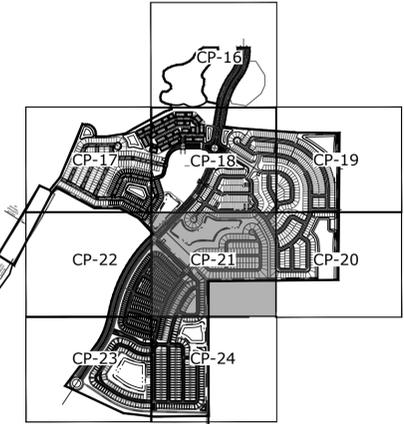
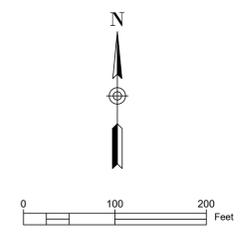


MATCHLINE SEE SHEET CP-18

MATCHLINE SEE SHEET CP-22

MATCHLINE SEE SHEET CP-20

MATCHLINE SEE SHEET CP-24



KEY MAP  
N.T.S.

LEGEND

- FEMA 100 YR. FLOODPLAIN
- PROJECT BOUNDARY
- PHASE LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PROPOSED 1' STEM WALL
- PROPOSED 2' STEM WALL

CONCEPTUAL GRADING (6)

SUNRISE



Engineering  
Surveying  
Environmental  
Transportation  
Communication Management

**Coastal**  
engineering associates, inc.

966 Candlelight Boulevard - Brooksville, Florida 34601  
(352) 796-9423 - Fax (352) 799-8359  
EB-0000142

REUSE OF DOCUMENT  
THIS DOCUMENT, COMPRISED OF THIS INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF COASTAL ENGINEERING ASSOCIATES, INC. AND IS NOT TO BE USED, IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF COASTAL ENGINEERING ASSOCIATES, INC.  
DRAWING INVALID UNLESS SIGNED, DATED & SEALED BY REGISTERED PROFESSIONAL

DATE	REV. BY/REV. NO.	REVISION
6/17/2024	JY 1	REVISED PER COUNTY COMMENTS
8/23/2024	JY 2	REVISED PER COUNTY COMMENTS

SHEET  
**CP-21**  
21026

PRINTED: 08/23/2024 - 11:55am PRINTED BY: JY PATH: L:\21026\Sunrise\dwg\PLAN\cp\Phase 1\21026-CP1-Grading.dwg

MATCHLINE SEE SHEET CP-17

FUTURE PHASE

MATCHLINE SEE SHEET CP-23

FLOOD ZONE "AE"  
(BFE: 77.1)

FLOOD ZONE "X"

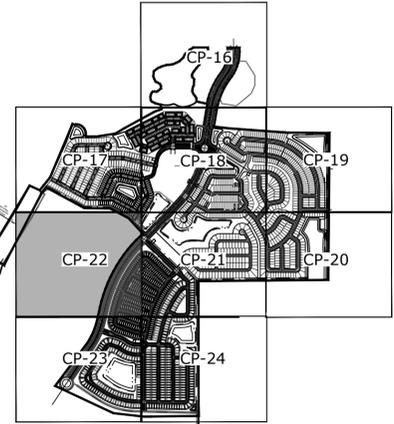
FLOOD ZONE "X"

SUNRISE BLVD

MATCHLINE SEE SHEET CP-21



0 100 200 Feet



KEY MAP  
N.T.S.

LEGEND

-  FEMA 100 YR. FLOODPLAIN
-  PROJECT BOUNDARY
-  PHASE LINE
-  EXISTING CONTOUR LINE
-  PROPOSED CONTOUR LINE
-  PROPOSED 1' STEM WALL
-  PROPOSED 2' STEM WALL

CONCEPTUAL GRADING (7)

SUNRISE



**Coastal**  
Engineering  
Surveying  
Environmental  
Transportation  
Construction Management  
engineering associates, inc.  
966 Candlelight Boulevard - Brooksville - Florida 34601  
(352) 796-9423 - Fax (352) 799-8359  
EB-0000142

REUSE OF DOCUMENT  
THIS DOCUMENT COMPRISED OF THE  
INDEPENDENT WORK OF THE  
AS AN INSTRUMENT OF  
PROFESSIONAL SERVICE, IS THE  
PROPERTY OF COASTAL  
ASSOCIATES, INC. AND IS NOT TO BE  
USED, IN WHOLE OR IN PART FOR  
ANY OTHER PROJECT WITHOUT THE  
WRITTEN AUTHORIZATION OF COASTAL  
ENGINEERING ASSOCIATES, INC.  
DRAWING INVALID UNLESS SIGNED, DATED  
& SEALED BY REGISTERED PROFESSIONAL

DATE	REV. BY/REV. NO.	REVISION
6/17/2024	JY 1	REVISED PER COUNTY COMMENTS
8/23/2024	JY 2	REVISED PER COUNTY COMMENTS

SHEET  
**CP-22**  
21026

PRINTED: 08/23/2024 - 11:55am PRINTED BY: JY PATH: L:\21026\Sunrise\dwg\PLAN\cp\Phase 1\21026-CP1-Grading.dwg

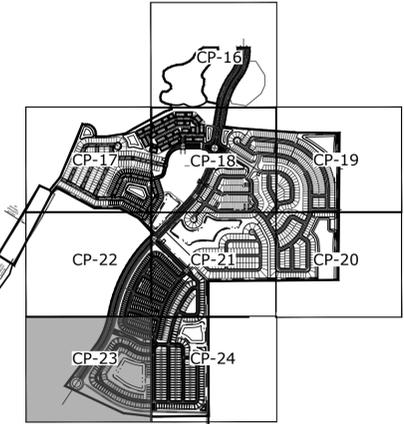
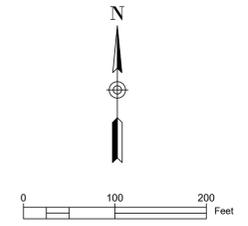
MATCHLINE SEE SHEET CP-22

FUTURE PHASE



MATCHLINE SEE SHEET CP-24

FUTURE PHASE



KEY MAP  
N.T.S.

LEGEND

-  FEMA 100 YR. FLOODPLAIN
-  PROJECT BOUNDARY
-  PHASE LINE
-  70 EXISTING CONTOUR LINE
-  70 PROPOSED CONTOUR LINE
-  PROPOSED 1' STEM WALL
-  PROPOSED 2' STEM WALL

CONCEPTUAL GRADING (8)



**Coastal**  
 Engineering  
 Surveying  
 Environmental  
 Transportation  
 Construction Management  
 engineering associates, inc.  
 966 Candlelight Boulevard - Brooksville, Florida 34601  
 (352) 796-9423 - Fax (352) 799-8359  
 EB-0000142

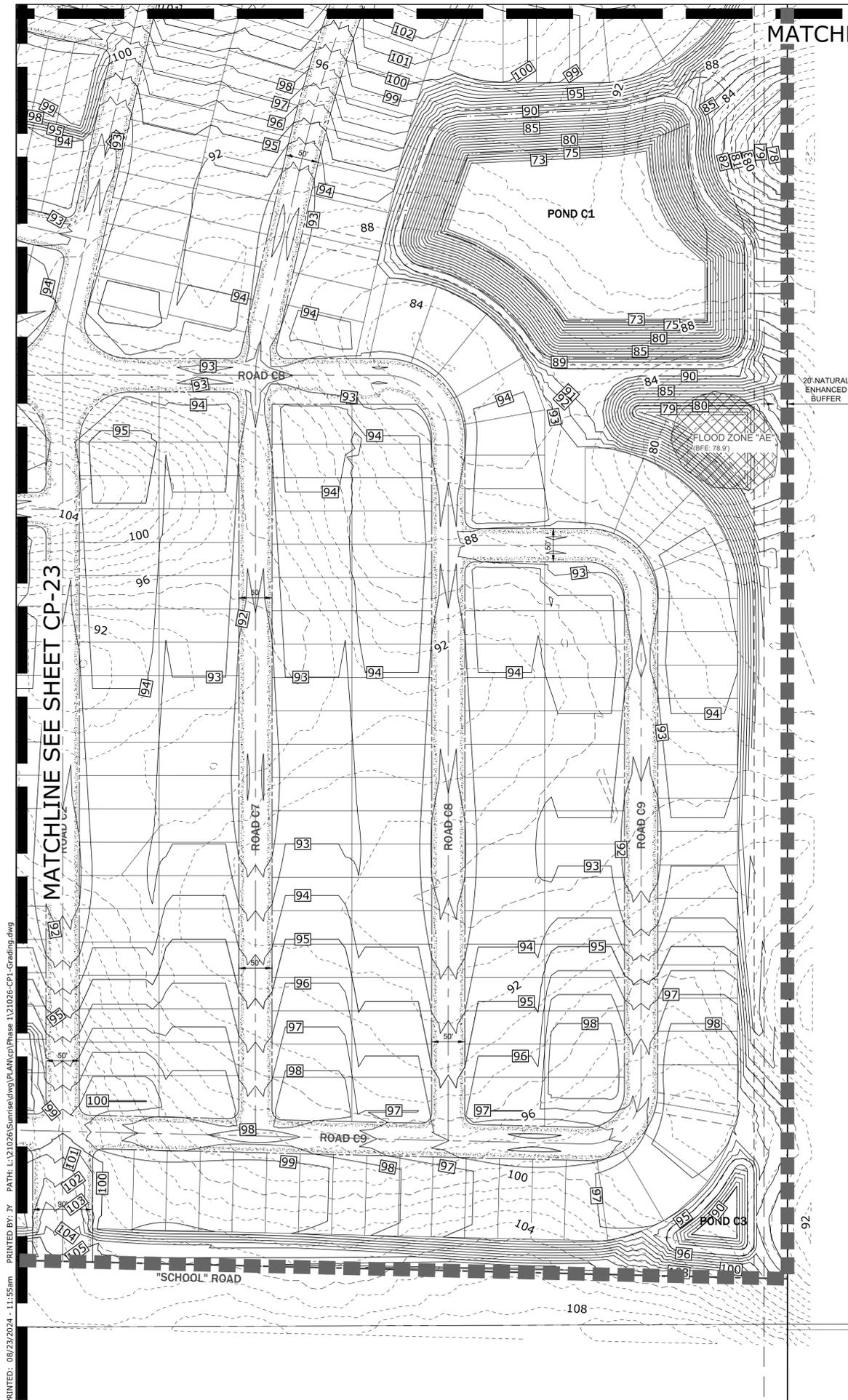
REUSE OF DOCUMENT  
 THIS DOCUMENT COMPRISED OF THE  
 INFORMATION IS THE PROPERTY OF  
 AS AN INSTRUMENT OF  
 PROFESSIONAL SERVICE, IS THE  
 PROPERTY OF COASTAL ENGINEERING  
 ASSOCIATES, INC. AND IS NOT TO BE  
 USED, IN WHOLE OR IN PART FOR  
 ANY OTHER PROJECT WITHOUT THE  
 WRITTEN AUTHORIZATION OF COASTAL  
 ENGINEERING ASSOCIATES, INC.  
 DRAWING INVALID UNLESS SIGNED, DATED  
 & SEALED BY REGISTERED PROFESSIONAL

DATE	REV. BY/REV. NO.	REVISION
6/17/2024	JY 1	REVISED PER COUNTY COMMENTS
8/23/2024	JY 2	REVISED PER COUNTY COMMENTS

WHEN PRINTED TO SCALE, DRAWING SIZE SHALL BE 22" X 34"

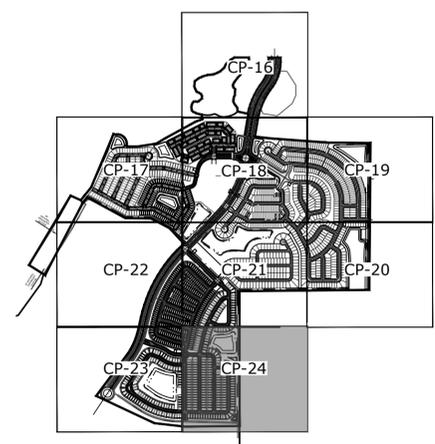
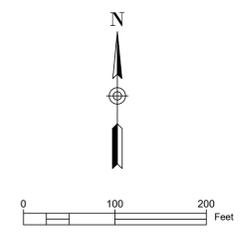
SHEET  
**CP-23**  
 21026

MATCHLINE SEE SHEET CP-21



MATCHLINE SEE SHEET CP-23

PRINTED: 08/23/2024 - 11:55am PATH: L:\21026\Sunrise\dwg\PLAN\CP\Phase 1\21026-CP1-Grading.dwg



KEY MAP  
N.T.S.

LEGEND

- FEMA 100 YR. FLOODPLAIN
- PROJECT BOUNDARY
- PHASE LINE
- 70 EXISTING CONTOUR LINE
- 70 PROPOSED CONTOUR LINE
- PROPOSED 1' STEM WALL
- PROPOSED 2' STEM WALL

CONCEPTUAL GRADING (9)

SUNRISE



Engineering  
Surveying  
Environmental  
Transportation  
Construction Management

**Coastal**  
engineering associates, inc.

966 Candlelight Boulevard - Brooksville - Florida 34601  
(352) 796-9423 - Fax (352) 799-8359  
EB-0000142

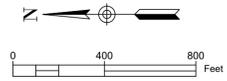
REUSE OF DOCUMENT  
THIS DOCUMENT COMPRISED OF THE  
INDEPENDENT WORK OF THE  
AS AN INSTRUMENT OF  
PROFESSIONAL SERVICE, IS THE  
PROPERTY OF COASTAL  
ASSOCIATES, INC. AND IS NOT TO BE  
USED, IN WHOLE OR IN PART FOR  
ANY OTHER PROJECT WITHOUT THE  
WRITTEN AUTHORIZATION OF COASTAL  
ENGINEERING ASSOCIATES, INC.  
DRAWING INVALID UNLESS SIGNED, DATED  
& SEALED BY REGISTERED PROFESSIONAL

DATE	REV. BY/REV. NO.	REVISION
6/17/2024	JY 1	REVISED PER COUNTY COMMENTS
8/23/2024	JY 2	REVISED PER COUNTY COMMENTS

WHEN PRINTED TO SCALE, DRAWING SIZE SHALL BE 22" X 34"

SHEET  
**CP-24**

21026



- LEGEND**
- MULTI-USE PATH
  - PERVIOUS TRAIL
  - ROAD

NOTE: ALL LOCAL ROADS TO CONTAIN SIDEWALKS, WHICH ULTIMATELY CONNECT TO PROVIDED MULTI-USE PATHS. SEE TYPICAL SECTIONS FOR ADDITIONAL DETAILS

**CONCEPTUAL CONNECTIVITY PLAN**

**SUNRISE**



**Coastal**  
 Engineering  
 Surveying  
 Environmental  
 Transportation  
 Management  
 engineering associates, inc.  
 966 Candlelight Boulevard - Brooksville - Florida 34601  
 (352) 796-9423 - Fax (352) 799-8359  
 EB-0000142

REUSE OF DOCUMENT  
 THIS DOCUMENT COMPRISED OF THE  
 INDEPENDENT DESIGN OF THE  
 AS AN INSTRUMENT OF  
 PROFESSIONAL SERVICE, IS THE  
 PROPERTY OF COASTAL  
 ASSOCIATES, INC. AND IS NOT TO BE  
 USED, IN WHOLE OR IN PART FOR  
 ANY OTHER PROJECT WITHOUT THE  
 WRITTEN AUTHORIZATION OF COASTAL  
 ENGINEERING ASSOCIATES, INC.  
 DRAWING INVALID UNLESS SIGNED, DATED  
 & SEALED BY REGISTERED PROFESSIONAL

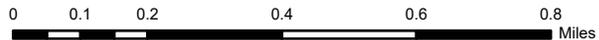
DATE	REV. BY/REV. NO.	REVISION
6/17/2024	JY 1	REVISED PER COUNTY COMMENTS
8/23/2024	JY 2	REVISED PER COUNTY COMMENTS

SHEET  
**CP-25**  
 JOB No.: 21026  
 WHEN PRINTED TO SCALE, DRAWING SIZE SHALL BE 22" X 34"

# CP 1479496

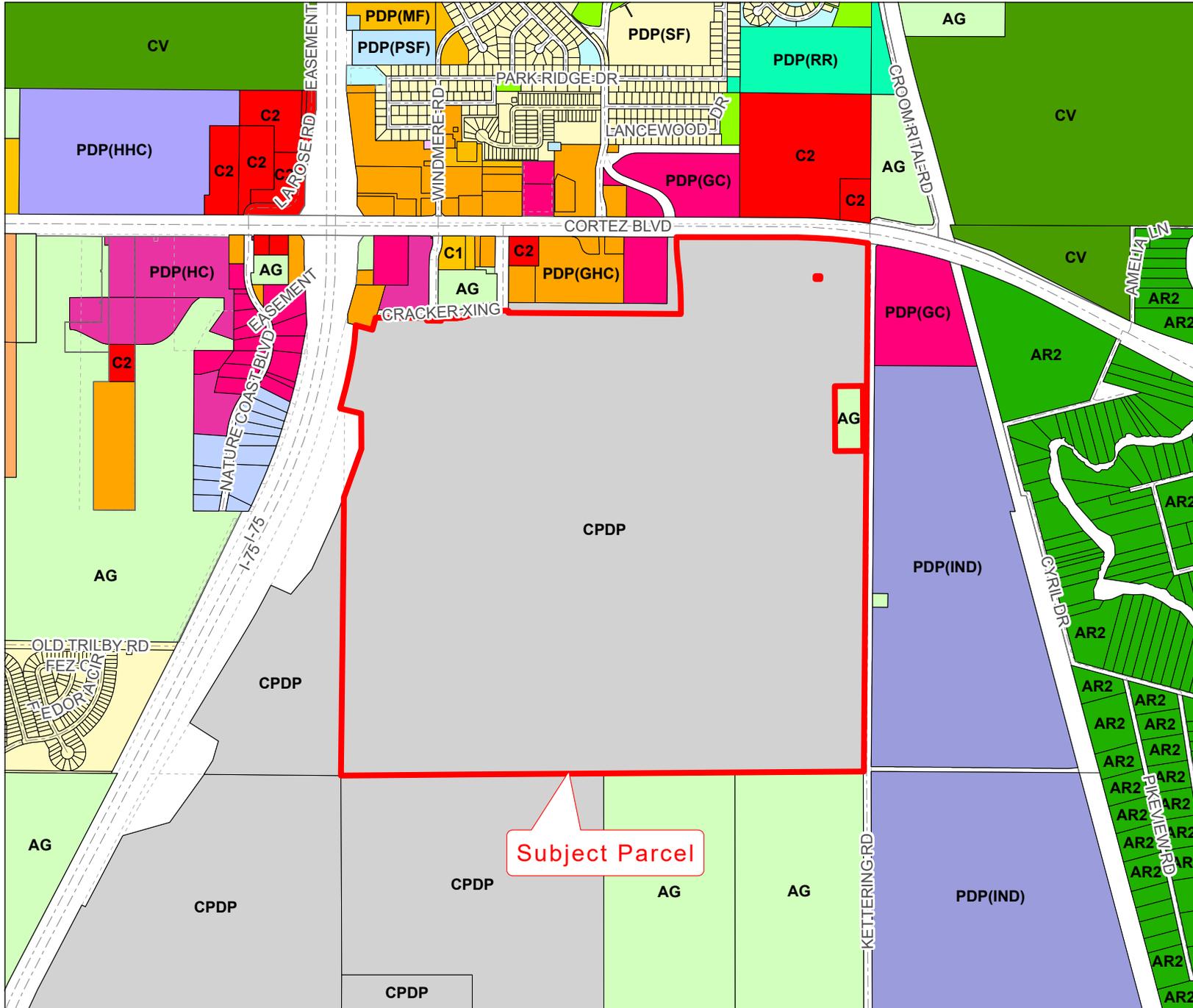
Photo date: 2023

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



# CP 1479496

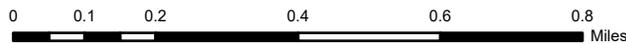
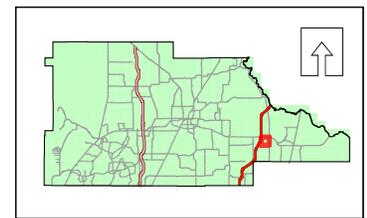
This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



**Zoning:**

AC	PDP(HC)
AG	PDP(HHC)
AR	PDP(HID)
AR1	PDP(IND)
AR2	PDP(LI)
C1	PDP(MF)
C2	PDP(MH)
C3	PDP(NC)
C4	PDP(OP)
CITY	PDP(PSF)
CM1	PDP(REC)
CM2	PDP(RR)
CPDP	PDP(RUR)
CV	PDP(SF)
I1	PDP(SU)
I2	R1A
M	R1B
OP	R1C
PDP(AF)	R1MH
PDP(CM)	R2
PDP(CP)	R2.5
PDP(GC)	R3
PDP(GHC)	RC
	RM

City Zoning Pending



## STAFF REPORT

---

**HEARINGS:** Planning & Zoning Commission: August 14, 2023  
Board of County Commissioners: September 12, 2023

**APPLICANT:** D.R. Horton, Inc.

**FILE NUMBER:** H2239

**REQUEST:** Master Plan Revision on property zoned CPDP/ (Combined Planned Development Project), including PDP(SF)/Planned Development Project (Single-Family), PDP(MF)/Planned Development Project (Multifamily), PDP(REC), Planned Development Project (Recreation) and PDP(HC)/Planned Development Project (Highway Commercial) with deviations

### GENERAL

**LOCATION:** East of I-75, south of Cortez Boulevard (SR 50) and west of Kettering Road

**PARCEL KEY:** 394442, 394594, 394530, 394601, 394610, 838231

---

### APPLICANT'S REQUEST:

On December 10, 2008, the subject site was approved for a Combined Planned Development Project (CPDP) with PDP(SF)/Planned Development Project (Single-Family), PDP(MF)/Planned Development Project (Multifamily), PDP(REC), Planned Development Project (Recreation) and PDP(HC)/Planned Development Project (Highway Commercial) uses. This zoning was approved in accordance with the Sunrise Development of Regional Impact.

The petitioner's current request is a Master Plan Revision on property zoned CPDP/ (Combined Planned Development Project), including PDP(SF)/Planned Development Project (Single-Family), PDP(MF)/Planned Development Project (Multifamily), PDP(REC), Planned Development Project (Recreation) and PDP(HC)/Planned Development Project (Highway Commercial) with deviations. This Master Plan Revision includes a companion application to abandon the DRI and establish an updated Development Agreement which will be scheduled for consideration by the Board of County Commissioners on September 12, 2023, in conjunction with the Master Plan Revision.

### ENVIRONMENTAL CRITERIA:

- If archaeological artifacts are discovered during site development construction, the applicable developer shall stop construction in that area and immediately notify the County, WRPC, DEO, and the Division of Historical Resources of the Florida Department of State.

- Invasive plant species shall be removed during the site development process as required by the associated permitting agencies, environmental reports, and development review processes.

**ENGINEERING CRITERIA:**

- With the submittal of construction plans for each phase, the applicable developer shall provide the following materials for review:
  - Soil borings shall be used to verify that a minimum of five (5) feet of suitable soil cover is maintained between each drainage retention area (DRA) bottom and any subsurface limestone rock strata, limestone pinnacles or potential karst connections. In the event another regulatory agency with jurisdiction requires a greater separation depth than 5', compliance with that agency's greater depth shall be required.
  - BMPs for wetland protection (if applicable); control of siltation and turbidity during construction; minimization of site disturbance and wind erosion.
  - Low Impact Development (LID) design techniques (where reasonably feasible) as part of the stormwater plan.
- A geotechnical report prepared by a qualified professional shall be used in the design and layout of the Project and shall be submitted to the County at time of and in connection with the conditional platting of each phase to ascertain that the applicable developer has used its best efforts to avoid adverse impacts to sensitive karst and subsurface features in the overall project design and layout of the project.
- All streets internal to the Project may be public or private except for Sunrise Parkway and Cracker Crossing Blvd., which shall be open to the public. Private roads within single family or multifamily tracts may be gated with provision for emergency vehicle access in accordance with the requirements of the Hernando County Fire and Emergency Services Department and the Hernando County Facility Design Guidelines. Private roads will be owned, operated, and maintained by the developer(s) designated CDD and/or Property Owners Association(s).
- The Mixed-Use Area along the SR 50 Frontage shall be allowed two (2) access points to SR 50 between Sunrise Parkway and Kettering Road, subject to FDOT driveway connection permits.
- Cracker Crossing Blvd. Extension shall be considered the Project's reverse frontage road and shall be deemed to meet all such requirements for the Mixed-Use Area. To ensure compatibility for the multi-family, retail and office uses within the Mixed-Use Area, through-truck traffic shall be prohibited on Cracker Crossing Blvd. Extension, other than local deliveries servicing the commercial/office uses within the Mixed-Use Area itself.

- MAK Boulevard will be an optional internal Project roadway; however, in the event the adjacent Kettering Road parcel is actually utilized by the County for the East Government Center Site and/or by the School district for the School Site (as referenced in the Development Agreement), then the master developer for the Residential Area shall construct MAK Boulevard from Sunrise Parkway to the east Project Boundary, for connection (by the County or School District, as applicable) to the East Government Center Site and/or School Site. In the interim, this access area and other direct access point(s) to Kettering Road may be utilized as a construction access/haul roads for the Project as approved by the County Engineer.
- The Residential Area master developer shall construct Sunrise Parkway as a 4-lane divided collector in accordance with the Development Agreement. As a divided boulevard, Sunrise Parkway will be considered to have met the “two entrance requirement” to a residential subdivision until such time as a second external connection is available for the Project.

**DEVELOPMENT ENTITLEMENTS:**

The developer has requested the following entitlements outlined in the Land Use Schedule below. All public facilities and other supporting or ancillary facilities are also approved as referenced herein or in the Development Agreement, as may be amended from time to time:

Land Use	Dwellings	Square Feet	Units
<b>MIXED USE AREA</b>			
Multi-Family Residential*	600		
Commercial **, Office, Mini-Warehouse		415,000	
Motel			75
<b>RESIDENTIAL AREA</b>			
Single Family Residential***	4,200		
Community Recreation (Lagoon)****			
Community Recreation (Golf)		18 Holes	Optional
<b>Total Project</b>	<b>4,800</b>	<b>415,000</b>	<b>75</b>

\* Multi-Family Residential uses may include fee simple units, build-to-rent apartment units and/or senior adult attached housing units, including independent living and/or assisted-living facilities,

\*\* Land uses allowed in the Mixed-Use areas denoted on the Master Plan will include Multi-Family Residential, all C-1 and C-2 Commercial uses, Office Uses and Mini-Warehouse Use. Any government center or other public services building constructed by the County, or any public or charter school(s) within the Project, shall not count against the CPDP entitlements approved for the Project, but shall be in addition thereto.

\*\*\* Single Family Residential may include single family detached homes, single family attached homes; senior adult homes, townhomes, and build-for-rent single-family housing under single ownership (i.e., not separately platted/owned lots).

\*\*\*\* The potential lagoon recreational complex is an optional amenity use at the election of the Residential Area developer; if the lagoon recreational complex is constructed, it may include up to 25,000 sf of supportive commercial retail uses (which are separate and apart from the 415,000 sf of Commercial/Office/Mini-Warehouse uses approved for the Mixed-Use Area on the Master Plan).

Note: Certain land uses may be exchanged on a trip-equivalent basis in accordance with the Land Use Equivalency Matrix (LUEM) approved as Exhibit C to the Development Agreement; provided, however, that as set forth in the LUEM, exchanges from/to residential entitlements and non-residential entitlements shall not be allowed, unless separately approved by the Planning Department at such time.

**BUFFERS, SETBACKS, AND INTERCONNECTIVITY**

- Perimeter buffers may be used for interconnectivity; however, any Pedestrian paths within perimeter buffers shall consist of natural, permeable materials (no concrete or asphalt).

The applicable developer(s) shall maintain the following perimeter building setbacks for the following Project boundaries:

- From I-75 Interstate ROW 75’ residential; 35’ non-residential
- From I-75 FDOT DRAs 35’
- From SR 50 75’ residential; 35’ non-residential
- From Kettering Road 50’ residential; 35 non-residential
- From Remaining Eastern Boundary 35’
- From Southern Boundary/Dashbach ROW 35’
- From Cracker Crossing Blvd: 35’

The developer(s) shall maintain the following minimum internal lot building setbacks and dimensional criteria:

**Non-Residential:**

- Front (Structure to Parking): 5’
- Front (Structure to Public right-of-way): 0’
- Side (Structure to Structure): 5’
- Side (Structure to Parking): 5’
- Side (Structure to Public right of way): 0’
- Rear (Structure to Parking): 5’
- Rear (Structure to public right of way): 0’
- Maximum lot coverage: 100%

When non-residential lots are adjacent to the project perimeter, the perimeter setbacks shall govern setbacks for individual development areas as appropriate.

**Residential (single-family detached lots):**

- Front (Primary Structure): 10' (Deviation from 25')
- Front (Garage Door): 20'
- Side: 5'
- Rear (Primary Structure): 15' (Deviation from 20')
- Rear (Accessory Structure): 5'
- Minimum lot size: 4,000 sq. ft. (Deviation from 6,000 sq. ft)
- Minimum lot width: 40' (deviation from 60') \*
- Maximum lot coverage (primary structure): 75%
- Maximum lot coverage (accessory structure): 15%

\* Implementation of 40' wide lots within the single-family detached pods shall be limited by, and subject to, satisfaction of the following criteria for such 40' wide lots:

- (i) Monotony Control: Single-family detached homes built-for-sale on 40' lots shall be required to address the following requirements to avoid architectural monotony:
  - (1) A proposed home shall have two different architectural features (as defined below) from the two houses on either side of it that face the same street.
  - (2) A proposed home shall differ in architectural features (as defined below) from the house(s) directly across the street (i.e., the house directly across the street, but not diagonal or those on either side of the house directly across the street).
- (ii) Architectural Features: To establish a difference in architectural features between homes of the same model type facing a street or mews, a minimum of two (2) architectural features shall differ on such same models built-for-sale on 40-foot lots. These features may include different: colors, materials (e.g., stucco, siding, brick, stone, etc.), elevations, arrangement of openings such as windows and doors, gables and eaves, dentils, cornices, trim, division of lights within windows, variation of building elevation (i.e., height, recessed planes etc.), porches, porticos, dormers, location of garage (left, right, or rear), ornamental or decorative garage doors, ornaments such as medallions, shutters, etc., and color or material of rooftops (e.g., shingles, tiles, etc.). If different models of homes are adjacent to or across from each other, monotony is avoided. In addition:
  - (1) For the rear of homes that back-up to or face a street, the differing appearance shall be accomplished, at a minimum, by the reversal of floor plans or changes in material colors.

- (2) No more than 20% of garages shall protrude more than 8 feet beyond the roof line of each single family detached unit built-for-sale, and each such garage (protruding more than 8 feet beyond the roof line) shall contain decorative garage fronts.
- (iii) Streetscape Tree Requirements: Each single family detached home built-for-sale on a 40' lot shall have at least one (1) of its required lot trees on or in front of the lot, which tree(s) may either be a street tree (in the front of the lot) or a lot tree (in the lot front yard).

### **Residential (Townhomes)**

- Front: 10' (deviation from 25')
- Side (primary structure-Internal): 0' (deviation from 10')
- Side (primary structure-external): 10'
- Side (Accessory structure): 5'
- Building separation: 10'
- Rear (primary structure): 15' (deviation from 20')
- Rear (accessory Structure): 5'
- Minimum lot size: 3500 sq. ft. (deviation from 6,000 sq. ft.)
- Minimum lot width: 35' (deviation from 60)
- Maximum lot coverage (primary structure): 75%
- Maximum lot coverage (accessory structure): 15%

### **Residential (single-family attached):**

- Front (primary structure): 0' (deviation from 25')
- Front (garage door): 20'
- Side (primary structure): 0' (deviation from 10')
- Building separation: 10'
- Rear: 0' (deviation from 20')
- Minimum lot size: 900 sq. ft. (deviation from 6,000 sq. ft.)

### **Residential (multi-family building with common parking):**

- Front (primary structure): 0' (deviation from 25')
- Side: 0' (deviation from 15')
- Rear: 0' (deviation from 20')
- Garage door: 20'
- Maximum lot coverage: 100% (primary structure)

**Maximum building heights:**

- Non-residential height: 65' (deviation from 45')
- Multi-family height: 65' (deviation from 45')
- Single family attached height: 45' (deviation from 35')
- Single family detached height: 35'

**Minimum lot frontage on a curve or cul-de-sac will be as follows:**

- 40' wide SF Lot 25'
- 50' wide SF Lot 35'
- 60' wide SF Lot 35'
- 70' wide Villa Lot 50'
- 60' wide townhome cluster (4 units) 45'

The applicable developer(s) shall provide the following perimeter buffers in the following designated areas of the Project:

- Northern -SR 50 Frontage Only 20' landscape buffer -dev from 35'
- East - Kettering Road Frontage Only 20' landscape buffer-dev from 35'
- East – Ridge manor WWTP 20' natural/enhanced
- East – Remaining Boundary no buffer required
- West - I-75 Interstate ROW 40' natural/enhanced
- West – Adjacent to FDOT or Project DRA's 20' natural/enhanced
- Southern Boundary – North of Dashbach Road 15' natural/enhanced

Buffer petitioner must submit cross section showing planting materials by type (trees, shrubs, and ground cover) at every conditional plat.

At the developer's option, fencing along the perimeter and interior of Sunrise can be added to proposed buffer areas; where possible fencing will blend into the natural landscape of the area but will be supplemented with natural vegetation/screening as necessary. The developer(s)' fencing options may include materials such as PVC (non-white), decorative black aluminum (wrought iron style), mason/Symtec, stone and/or brick wall(s) consistent with project identification and entry monumentation features.

**PARKS AND OPEN SPACE**

The Oak Hammock Preserve/Passive Park area identified within the northern Mixed-Use Area on the Master Plan, and the Water Preserve/Passive Park area identified in the southern Residential Area on the Master Plan, will be interconnected with the project trails, and shall count toward required open space and neighborhood park acreage. Any other perimeter buffer areas or preservation areas identified on the Master Plan will count as open space but will not count toward required neighborhood park acreage.

Open space and connectivity plan shall be submitted at the first conditional plat and revised every conditional plat thereafter. By way of clarification, the initial master open space and connectivity plan will provide for a primary, central trail along Sunrise Parkway through the entirety of the project, with future connection to the internal trails within each development pod. However, the details of the internal trail system within each development pod and the open spaces within each development pod, will only be delineated and added to the master open space and connectivity plan, as each proposed conditional plat is provided for such development pod.

## **ENTITLEMENT TRACKING**

- Pending the commencement of site development for each respective development phase of the Project, any, or all the undeveloped portions of the Property shall be allowed to continue interim agriculture and/or silviculture uses on such undeveloped portions of the Property, pending full and complete development of the Project.
- At each conditional plat, the applicable developer shall be required to provide the number and type of residential units and square feet of non-residential (on an aggregated basis to such date) versus total allowed for each of the Residential Area and Mixed-Use Area), as applicable.
- The master developer for the Residential Area shall generate a project absorption schedule, differentiating age-restricted and non-age-restricted dwelling units. This schedule shall be updated on an annual basis based upon actual home occupancy and shall be provided to the Hernando County School District and the Hernando County Planning Department, for long-term planning purposes.
- Beginning five years after approval of this Master Plan, and continuing every 600th residential unit thereafter until buildout, the Residential Area master developer shall complete and submit the traffic monitoring reports specified in the companion Development Agreement.

## **LIGHTING**

Enhanced lighting beyond minimum standards shall be required as follows:

- Lighting throughout the Project shall be designed to shield the night sky. Shielding means a fixture, either directly from the lamp or indirectly from a fixture, are projected below a horizontal plane running through the lowest point on the fixture where light is emitted.
- Internal residential area lighting shall not exceed 18 feet in height with full cut-off fixtures.

- Street and parking lot lighting shall be oriented downward with full electrical cut-off fixtures. Fifty percent of all lighting fixtures within parking lots shall be turned off within one hour after closing or between 11:00 pm and sunrise, whichever occurs first.
- Solar streetlighting shall be allowed within public or private road rights-of way areas. All street lighting shall be privately owned by the developer or its designee, and/or operated by the HOA, CDD or the Developer, at the Developer's sole election.

**FINDINGS OF FACT:**

The petitioner's request for a Master Plan Revision on the subject Property previously zoned CPDP/(Combined Planned Development Project), including PDP(SF)/Planned Development Project (Single-Family), PDP(MF)/Planned Development Project (Multifamily), PDP(MU)/Planned Development Project (Mixed Use), PDP(REC), Planned Development Project (Recreation) and PDP(HC)/Planned Development Project (Highway Commercial) with deviations is appropriate as it is consistent with the Comprehensive Plan, specifically the I-75/S.R. 50 Planned Development District and the previously approved Development of Regional Impact and will not cause any adverse impact to the surrounding community.

**NOTICE OF APPLICANT RESPONSIBILITY:**

*The rezoning process is a land use determination and does not constitute a permit for either construction on, or use of, the property, or a Certificate of Concurrency. Prior to use of, or construction on, the property, the petitioner must receive approval from the appropriate County department(s) for the proposed use.*

*The granting of this land use determination does not protect the owner from civil liability for recorded deed restrictions which may exceed any county land use ordinances. Homeowner's associations or architectural review committees require submission of plans for review and approval. The applicant for this land use request should contact the local association or the Public Records for all restrictions applicable to this property.*

**STAFF RECOMMENDATION:**

It is recommended that the Planning and Zoning Commission recommend the Board of County Commissioners adopt a resolution approving the Petitioner's request for a Master Plan Revision on the subject Property previously zoned CPDP/(Combined Planned Development Project), including PDP(SF)/Planned Development Project (Single-Family), PDP(MF)/Planned Development Project (Multifamily), PDP(MU)/Planned Development Project (Mixed Use), PDP(REC), Planned Development Project (Recreation) and PDP(HC)/Planned Development Project (Highway Commercial) with deviations (the "Project"), subject to the following performance conditions:

1. The applicable developer(s) must obtain all permits from Hernando County and other applicable agencies and meet all applicable land development regulations (unless provided otherwise herein or in the companion Development Agreement approved on even date herewith), for either construction or use of the property, and complete all applicable development review processes, for each phase or portion of the Project, as applicable:
2. The Project is approved for the entitlements outlined in the Land Use Schedule below. All public facilities and other supporting or ancillary facilities are also approved as referenced herein or in the Development Agreement, as may be amended from time to time:

Land Use	Dwellings	Square Feet	Units
<b>MIXED USE AREA</b>			
Multi-Family Residential*	600		
Commercial **, Office, Mini-Warehouse		415,000	
Motel			75
<b>RESIDENTIAL AREA</b>			
Single Family Residential***	4,200		
Community Recreation (Lagoon)****			
Community Recreation (Golf)		18 Holes	Optional
<b>Total Project</b>	<b>4,800</b>	<b>415,000</b>	<b>75</b>

\* Multi-Family Residential uses may include fee simple units, build-to-rent apartment units and/or senior adult attached housing units, including independent living and/or assisted-living facilities,

\*\* Land uses allowed in the Mixed-Use areas denoted on the Master Plan will include Multi-Family Residential, all C-1 and C-2 Commercial uses, Office Uses and Mini-Warehouse Use. Any government center or other public services building constructed by the County, or any public or charter school(s) within the Project, shall not count against the CPDP entitlements approved for the Project, but shall be in addition thereto.

\*\*\* Single Family Residential may include single family detached homes, single family attached homes; senior adult homes, townhomes, and build-for-rent single-family housing under single ownership (i.e., not separately platted/owned lots).

\*\*\*\* The potential lagoon recreational complex is an optional amenity use at the election of the Residential Area developer; if the lagoon recreational complex is constructed, it may include up to 25,000 sf of supportive commercial retail uses (which are separate and apart from the 415,000 sf of Commercial/Office/Mini-Warehouse uses approved for the Mixed-Use Area on the Master Plan).

Note: Certain land uses may be exchanged on a trip-equivalent basis in accordance with the Land Use Equivalency Matrix (LUEM) approved as Exhibit C to the Development Agreement; provided, however, that as set forth in the LUEM,

exchanges from/to residential entitlements and non-residential entitlements shall not be allowed, unless separately approved by the Planning Department at such time.

3. Perimeter buffers may be used for interconnectivity; however, any pedestrian paths within perimeter buffers shall consist of natural, permeable materials (no concrete or asphalt).
4. At each conditional plat, the applicable developer shall be required to provide the following land use entitlement tracking:
  - Number and type of residential units and square feet of non-residential (on an aggregated basis to such date) versus total allowed for each of the Residential Area and Mixed-Use Area), as applicable.
5. The master developer for the Residential Area shall generate a project absorption schedule, differentiating age-restricted and non-age-restricted dwelling units. This schedule shall be updated on an annual basis based upon actual home occupancy and shall be provided to the Hernando County School District and the Hernando County Planning Department, for long-term planning purposes.
6. The applicable developer(s) shall maintain the following perimeter building setbacks for the following Project boundaries:
  - From I-75 Interstate ROW 75' residential; 35' non-residential
  - From I-75 FDOT DRAs 35'
  - From SR 50 75' residential; 35' non-residential
  - From Kettering Road 50' residential; 35 non-residential
  - From Remaining Eastern Boundary 35'
  - From Southern Boundary/Dashbach ROW 35'
  - From Cracker Crossing Blvd: 35'
7. The developer(s) shall maintain the following minimum internal lot building setbacks and dimensional criteria:
 

**Non-Residential:**

  - Front (Structure to Parking): 5'
  - Front (Structure to Public right-of-way): 0'
  - Side (Structure to Structure): 5'
  - Side (Structure to Parking): 5'
  - Side (Structure to Public right of way): 0'
  - Rear (Structure to Parking): 5'
  - Rear (Structure to public right of way): 0'
  - Maximum lot coverage: 100%

When non-residential lots are adjacent to the project perimeter, the perimeter setbacks shall govern setbacks for individual development areas as appropriate.

**Residential (single-family detached lots):**

- Front (Primary Structure): 10' (Deviation from 25')
- Front (Garage Door): 20'
- Side: 5'
- Rear (Primary Structure): 15' (Deviation from 20')
- Rear (Accessory Structure): 5'
- Minimum lot size: 4,000 sq. ft. (Deviation from 6,000 sq. ft)
- Minimum lot width: 40' (deviation from 60') \*
- Maximum lot coverage (primary structure): 75%
- Maximum lot coverage (accessory structure): 15%

\* Implementation of 40' wide lots within the single-family detached pods shall be limited by, and subject to, satisfaction of the following criteria for such 40' wide lots:

- (ii) Monotony Control: Single-family detached homes built-for-sale on 40' lots shall be required to address the following requirements to avoid architectural monotony:
  - (iii)
    - (1) A proposed home shall have two different architectural features (as defined below) from the two houses on either side of it that face the same street.
    - (2) A proposed home shall differ in architectural features (as defined below) from the house(s) directly across the street (i.e., the house directly across the street, but not diagonal or those on either side of the house directly across the street).
- (ii) Architectural Features: To establish a difference in architectural features between homes of the same model type facing a street or mews, a minimum of two (2) architectural features shall differ on such same models built-for-sale on 40-foot lots. These features may include different: colors, materials (e.g., stucco, siding, brick, stone, etc.), elevations, arrangement of openings such as windows and doors, gables and eaves, dentils, cornices, trim, division of lights within windows, variation of building elevation (i.e., height, recessed planes etc.), porches, porticos, dormers, location of garage (left, right, or rear), ornamental or decorative garage doors, ornaments such as medallions, shutters, etc., and color or material of rooftops (e.g., shingles, tiles, etc.). If different models of homes are adjacent to or across from each other, monotony is avoided. In addition:

- (1) For the rear of homes that back-up to or face a street, the differing appearance shall be accomplished, at a minimum, by the reversal of floor plans or changes in material colors.
  - (2) No more than 20% of garages shall protrude more than 8 feet beyond the roof line of each single family detached unit built-for-sale, and each such garage (protruding more than 8 feet beyond the roof line) shall contain decorative garage fronts.
- (iii) Streetscape Tree Requirements: Each single family detached home built-for-sale on a 40' lot shall have at least one (1) of its required lot trees on or in front of the lot, which tree(s) may either be a street tree (in the front of the lot) or a lot tree (in the lot front yard).

### Residential (Townhomes)

- Front: 10' (deviation from 25')
- Side (primary structure-Internal): 0' (deviation from 10')
- Side (primary structure-external): 10'
- Side (Accessory structure): 5'
- Building separation: 10'
- Rear (primary structure): 15' (deviation from 20')
- Rear (accessory Structure): 5'
- Minimum lot size: 3500 sq. ft. (deviation from 6,000 sq. ft.)
- Minimum lot width: 35' (deviation from 60')
- Maximum lot coverage (primary structure): 75%
- Maximum lot coverage (accessory structure): 15%

### Residential (single-family attached):

- Front (primary structure): 0' (deviation from 25')
- Front (garage door): 20'
- Side (primary structure): 0' (deviation from 10')
- Building separation: 10'
- Rear: 0' (deviation from 20')
- Minimum lot size: 900 sq. ft. (deviation from 6,000 sq. ft.)

### Residential (multi-family building with common parking):

- Front (primary structure): 0' (deviation from 25')
- Side: 0' (deviation from 15')
- Rear: 0' (deviation from 20')
- Garage door: 20'
- Maximum lot coverage: 100% (primary structure)

**Maximum building heights:**

- Non-residential height: 65' (deviation from 45')
- Multi-family height: 65' (deviation from 45')
- Single family attached height: 45' (deviation from 35')
- Single family detached height: 35'

**Minimum lot frontage on a curve or cul-de-sac will be as follows:**

- 40' wide SF Lot 25'
- 50' wide SF Lot 35'
- 60' wide SF Lot 35'
- 70' wide Villa Lot 50'
- 60' wide townhome cluster (4 units) 45'

8. The applicable developer(s) shall provide the following perimeter buffers in the following designated areas of the Project:

- Northern -SR 50 Frontage Only 20' landscape buffer -dev from 35'
- East - Kettering Road Frontage Only 20' landscape buffer-dev from 35'
- East – Ridge manor WWTP 20' natural/enhanced
- East – Remaining Boundary no buffer required
- West - I-75 Interstate ROW 40' natural/enhanced
- West – Adjacent to FDOT or Project DRA's 20' natural/enhanced
- Southern Boundary – North of Dashbach Road 15' natural/enhanced

\*Buffer petitioner must submit cross section showing planting materials by type (trees, shrubs, and ground cover) at every conditional pat

9. The Oak Hammock Preserve/Passive Park area identified within the northern Mixed-Use Area on the Master Plan, and the Water Preserve/Passive Park area identified in the southern Residential Area on the Master Plan, will be interconnected with the project trails, and shall count toward required open space and neighborhood park acreage. Any other perimeter buffer areas or preservation areas identified on the Master Plan will count as open space but will not count toward required neighborhood park acreage.

10. All streets internal to the Project may be public or private except for Sunrise Parkway and Cracker Crossing Blvd., which shall be open to the public. Private roads within single family or multifamily tracts may be gated with provision for emergency vehicle access in accordance with the requirements of the Hernando County Fire and Emergency Services Department and the Hernando County Facility Design Guidelines. Private roads will be owned, operated, and maintained by the developer(s) designated CDD and/or Property Owners Association(s).

11. The Mixed-Use Area along the SR 50 Frontage shall be allowed two (2) access points to SR 50 between Sunrise Parkway and Kettering Road, subject to FDOT driveway connection permits.
12. Cracker Crossing Blvd. Extension shall be considered the Project's reverse frontage road and shall be deemed to meet all such requirements for the Mixed-Use Area. To ensure compatibility for the multi-family, retail and office uses within the Mixed-Use Area, through-truck traffic shall be prohibited on Cracker Crossing Blvd. Extension, other than local deliveries servicing the commercial/office uses within the Mixed-Use Area itself.
13. MAK Boulevard will be an optional internal Project roadway; however, in the event the adjacent Kettering Road parcel is actually utilized by the County for the East Government Center Site and/or by the School district for the School Site (as referenced in the Development Agreement), then the master developer for the Residential Area shall construct MAK Boulevard from Sunrise Parkway to the east Project Boundary, for connection (by the County or School District, as applicable) to the East Government Center Site and/or School Site. In the interim, this access area and other direct access point(s) to Kettering Road may be utilized as a construction access/haul roads for the Project as approved by the County Engineer.
14. The Residential Area master developer shall construct Sunrise Parkway as a 4-lane divided collector in accordance with the Development Agreement. As a divided boulevard, Sunrise Parkway will be considered to have met the "two entrance requirement" to a residential subdivision until such time as a second external connection is available for the Project.
15. Covenant, Conditions and Restrictions (CC&Rs) will be established to govern development within the C/PDP. The CC&Rs shall implement the applicable requirements of the zoning and Development Agreement and provide for enforcement by the developer(s) designated CDD(s) and/or Property Owners Association(s). The CC&Rs will be submitted to Hernando County for review and comment prior to final plat approval for each phase. The CC&Rs shall be recorded against those portions of the Development subject to such plat.
16. A geotechnical report prepared by a qualified professional shall be used in the design and layout of the Project and shall be submitted to the County at time of and in connection with the conditional platting of each phase to ascertain that the applicable developer has used its best efforts to avoid adverse impacts to sensitive karst and subsurface features in the overall project design and layout of the project.

17. At the developer's option, fencing along the perimeter and interior of Sunrise can be added to proposed buffer areas; where possible fencing will blend into the natural landscape of the area but will be supplemented with natural vegetation/screening as necessary. The developer(s)' fencing options may include materials such as PVC (non-white), decorative black aluminum (wrought iron style), mason/Symtec, stone and/or brick wall(s) consistent with project identification and entry monumentation features.
18. Beginning five years after approval of this Master Plan, and continuing every 600th residential unit thereafter until buildout, the Residential Area master developer shall complete and submit the traffic monitoring reports specified in the companion Development Agreement.
19. With the submittal of construction plans for each phase, the applicable developer shall provide the following materials for review:
  - Soil borings shall be used to verify that a minimum of five (5) feet of suitable soil cover is maintained between each drainage retention area (DRA) bottom and any subsurface limestone rock strata, limestone pinnacles or potential karst connections. In the event another regulatory agency with jurisdiction requires a greater separation depth than 5', compliance with that agency's greater depth shall be required.
  - BMPs for wetland protection (if applicable); control of siltation and turbidity during construction; minimization of site disturbance and wind erosion.
  - Low Impact Development (LID) design techniques (where reasonably feasible) as part of the stormwater plan.
20. If archaeological artifacts are discovered during site development construction, the applicable developer shall stop construction in that area and immediately notify the County, WRPC, DEO, and the Division of Historical Resources of the Florida Department of State.
21. Invasive plant species shall be removed during the site development process as required by the associated permitting agencies, environmental reports, and development review processes.
22. The C-PDP Zoning and Master Plan shall remain valid as long as the development proceeds in accordance with the terms of the Development Agreement, for the duration of the Development Agreement.
23. All the foregoing performance conditions are intended to conform to the companion Development Agreement for Sunrise, and not to alter any requirement or condition of

the Development Agreement. In the event of a conflict between the Development Agreement, these performance conditions, and any County land use regulations or ordinances, the Development Agreement shall supersede and control. This notwithstanding, any applicable County Ordinance containing additional details or regulations, which do not conflict with the provisions of the Development Agreement, shall govern the actions of the developer(s).

24. The location and design of the optional lagoon complex amenity will not require a Master Plan Revision.
25. Pending the commencement of site development for each respective development phase of the Project, any, or all the undeveloped portions of the Property shall be allowed to continue interim agriculture and/or silviculture uses on such undeveloped portions of the Property, pending full and complete development of the Project.
26. Enhanced lighting beyond minimum standards shall be required as follows:
  - Lighting throughout the Project shall be designed to shield the night sky. Shielding means a fixture, either directly from the lamp or indirectly from a fixture, are projected below a horizontal plane running through the lowest point on the fixture where light is emitted.
  - Internal residential area lighting shall not exceed 18 feet in height with full cut-off fixtures.
  - Street and parking lot lighting shall be oriented downward with full electrical cut-off fixtures. Fifty percent of all lighting fixtures within parking lots shall be turned off within one hour after closing or between 11:00 pm and sunrise, whichever occurs first.
  - Solar streetlighting shall be allowed within public or private road rights-of way areas. All street lighting shall be privately owned by the developer or its designee, and/or operated by the HOA, CDD or the Developer, at the Developer's sole election.
27. Open space and connectivity plan shall be submitted at the first conditional plat and revised every conditional plat thereafter. By way of clarification, the initial master open space and connectivity plan will provide for a primary, central trail along Sunrise Parkway through the entirety of the project, with future connection to the internal trails within each development pod. However, the details of the internal trail system within each development pod and the open spaces within each development pod, will only be delineated and added to the master open space and connectivity plan, as each proposed conditional plat is provided for such development pod.

28. The petitioner shall provide a revised Master Plan in compliance with all the performance conditions within 30 calendar days of BCC approval. Failure to submit the revised plan will result in no further development permits being issued.

**P&Z RECOMMENDATION:**

On August 14, 2023, the Planning and Zoning Commission voted 5-0 to recommend the Board of County Commissioners adopt a resolution approving the Petitioner’s request for a Master Plan Revision on the subject Property previously zoned CPDP/(Combined Planned Development Project), including PDP(SF)/Planned Development Project (Single-Family), PDP(MF)/Planned Development Project (Multifamily), PDP(MU)/Planned Development Project (Mixed Use), PDP(REC), Planned Development Project (Recreation) and PDP(HC)/Planned Development Project (Highway Commercial) with deviations (the “Project”), subject to the following unmodified performance conditions:

1. The applicable developer(s) must obtain all permits from Hernando County and other applicable agencies and meet all applicable land development regulations (unless provided otherwise herein or in the companion Development Agreement approved on even date herewith), for either construction or use of the property, and complete all applicable development review processes, for each phase or portion of the Project, as applicable:
  
2. The Project is approved for the entitlements outlined in the Land Use Schedule below. All public facilities and other supporting or ancillary facilities are also approved as referenced herein or in the Development Agreement, as may be amended from time to time:

Land Use	Dwellings	Square Feet	Units
<b>MIXED USE AREA</b>			
Multi-Family Residential*	600		
Commercial **, Office, Mini-Warehouse		415,000	
Motel			75
<b>RESIDENTIAL AREA</b>			
Single Family Residential***	4,200		
Community Recreation (Lagoon)****			
Community Recreation (Golf)		18 Holes	Optional
<b>Total Project</b>	<b>4,800</b>	<b>415,000</b>	<b>75</b>

\* Multi-Family Residential uses may include fee simple units, build-to-rent apartment units and/or senior adult attached housing units, including independent living and/or assisted-living facilities,

\*\* Land uses allowed in the Mixed-Use areas denoted on the Master Plan will include Multi-Family Residential, all C-1 and C-2 Commercial uses, Office Uses and Mini-Warehouse Use. Any government center or other public services building

constructed by the County, or any public or charter school(s) within the Project, shall not count against the CPDP entitlements approved for the Project, but shall be in addition thereto.

\*\*\* Single Family Residential may include single family detached homes, single family attached homes; senior adult homes, townhomes, and build-for-rent single-family housing under single ownership (i.e., not separately platted/owned lots).

\*\*\*\* The potential lagoon recreational complex is an optional amenity use at the election of the Residential Area developer; if the lagoon recreational complex is constructed, it may include up to 25,000 sf of supportive commercial retail uses (which are separate and apart from the 415,000 sf of Commercial/Office/Mini-Warehouse uses approved for the Mixed-Use Area on the Master Plan).

Note: Certain land uses may be exchanged on a trip-equivalent basis in accordance with the Land Use Equivalency Matrix (LUEM) approved as Exhibit C to the Development Agreement; provided, however, that as set forth in the LUEM, exchanges from/to residential entitlements and non-residential entitlements shall not be allowed, unless separately approved by the Planning Department at such time.

3. Perimeter buffers may be used for interconnectivity; however, any pedestrian paths within perimeter buffers shall consist of natural, permeable materials (no concrete or asphalt).
4. At each conditional plat, the applicable developer shall be required to provide the following land use entitlement tracking:
  - Number and type of residential units and square feet of non-residential (on an aggregated basis to such date) versus total allowed for each of the Residential Area and Mixed-Use Area), as applicable.
5. The master developer for the Residential Area shall generate a project absorption schedule, differentiating age-restricted and non-age-restricted dwelling units. This schedule shall be updated on an annual basis based upon actual home occupancy and shall be provided to the Hernando County School District and the Hernando County Planning Department, for long-term planning purposes.
6. The applicable developer(s) shall maintain the following perimeter building setbacks for the following Project boundaries:
  - From I-75 Interstate ROW 75' residential; 35' non-residential
  - From I-75 FDOT DRAs 35'
  - From SR 50 75' residential; 35' non-residential
  - From Kettering Road 50' residential; 35 non-residential
  - From Remaining Eastern Boundary 35'
  - From Southern Boundary/Dashbach ROW 35'
  - From Cracker Crossing Blvd: 35'
7. The developer(s) shall maintain the following minimum internal lot building setbacks and dimensional criteria:

**Non-Residential:**

- Front (Structure to Parking): 5'
- Front (Structure to Public right-of-way): 0'
- Side (Structure to Structure): 5'
- Side (Structure to Parking): 5'

- Side (Structure to Public right of way): 0'
- Rear (Structure to Parking): 5'
- Rear (Structure to public right of way): 0'
- Maximum lot coverage: 100%

When non-residential lots are adjacent to the project perimeter, the perimeter setbacks shall govern setbacks for individual development areas as appropriate.

**Residential (single-family detached lots):**

- Front (Primary Structure): 10' (Deviation from 25')
- Front (Garage Door): 20'
- Side: 5'
- Rear (Primary Structure): 15' (Deviation from 20')
- Rear (Accessory Structure): 5'
- Minimum lot size: 4,000 sq. ft. (Deviation from 6,000 sq. ft)
- Minimum lot width: 40' (deviation from 60') \*
- Maximum lot coverage (primary structure): 75%
- Maximum lot coverage (accessory structure): 15%

\* Implementation of 40' wide lots within the single-family detached pods shall be limited by, and subject to, satisfaction of the following criteria for such 40' wide lots:

- (i) Monotony Control: Single-family detached homes built-for-sale on 40' lots shall be required to address the following requirements to avoid architectural monotony:
- (1) A proposed home shall have two different architectural features (as defined below) from the two houses on either side of it that face the same street.
  - (2) A proposed home shall differ in architectural features (as defined below) from the house(s) directly across the street (i.e., the house directly across the street, but not diagonal or those on either side of the house directly across the street).
    - a) Architectural Features: To establish a difference in architectural features between homes of the same model type facing a street or mews, a minimum of two (2) architectural features shall differ on such same models built-for-sale on 40-foot lots. These features may include different: colors, materials (e.g., stucco, siding, brick, stone, etc.), elevations, arrangement of openings such as windows and doors, gables and eaves, dentils, cornices, trim, division of lights within windows, variation of building elevation (i.e., height, recessed planes etc.), porches, porticos, dormers, location of garage (left, right, or rear), ornamental or decorative garage doors, ornaments such as medallions, shutters, etc., and color or material of rooftops (e.g., shingles, tiles, etc.). If different models of homes are adjacent to or across from each other, monotony is avoided. In addition:

- b) For the rear of homes that back-up to or face a street, the differing appearance shall be accomplished, at a minimum, by the reversal of floor plans or changes in material colors.
- c) No more than 20% of garages shall protrude more than 8 feet beyond the roof line of each single family detached unit built-for-sale, and each such garage (protruding more than 8 feet beyond the roof line) shall contain decorative garage fronts.
- (ii) Streetscape Tree Requirements: Each single family detached home built-for-sale on a 40' lot shall have at least one (1) of its required lot trees on or in front of the lot, which tree(s) may either be a street tree (in the front of the lot) or a lot tree (in the lot front yard).

#### Residential (Townhomes)

- Front: 10' (deviation from 25')
- Side (primary structure-Internal): 0' (deviation from 10')
- Side (primary structure-external): 10'
- Side (Accessory structure): 5'
- Building separation: 10'
- Rear (primary structure): 15' (deviation from 20')
- Rear (accessory Structure): 5'
- Minimum lot size: 3500 sq. ft. (deviation from 6,000 sq. ft.)
- Minimum lot width: 35' (deviation from 60')
- Maximum lot coverage (primary structure): 75%
- Maximum lot coverage (accessory structure): 15%

#### Residential (single-family attached):

- Front (primary structure): 0' (deviation from 25')
- Front (garage door): 20'
- Side (primary structure): 0' (deviation from 10')
- Building separation: 10'
- Rear: 0' (deviation from 20')
- Minimum lot size: 900 sq. ft. (deviation from 6,000 sq. ft.)

#### Residential (multi-family building with common parking):

- Front (primary structure): 0' (deviation from 25')
- Side: 0' (deviation from 15')
- Rear: 0' (deviation from 20')
- Garage door: 20'
- Maximum lot coverage: 100% (primary structure)

#### Maximum building heights:

- Non-residential height: 65' (deviation from 45')
- Multi-family height: 65' (deviation from 45')
- Single family attached height: 45' (deviation from 35')

- Single family detached height: 35'

**Minimum lot frontage on a curve or cul-de-sac will be as follows:**

- 40' wide SF Lot 25'
- 50' wide SF Lot 35'
- 60' wide SF Lot 35'
- 70' wide Villa Lot 50'
- 60' wide townhome cluster (4 units) 45'

8. The applicable developer(s) shall provide the following perimeter buffers in the following designated areas of the Project:

- Northern -SR 50 Frontage Only 20' landscape buffer-dev from 35'
- East - Kettering Road Frontage Only 20' landscape buffer-dev from 35'
- East – Ridge manor WWTP 20' natural/enhanced
- East – Remaining Boundary no buffer required
- West - I-75 Interstate ROW 40' natural/enhanced
- West – Adjacent to FDOT or Project DRA's 20' natural/enhanced
- Southern Boundary – North of Dashbach Road 15' natural/enhanced

\*Buffer petitioner must submit cross section showing planting materials by type (trees, shrubs, and ground cover) at every conditional pat

9. The Oak Hammock Preserve/Passive Park area identified within the northern Mixed-Use Area on the Master Plan, and the Water Preserve/Passive Park area identified in the southern Residential Area on the Master Plan, will be interconnected with the project trails, and shall count toward required open space and neighborhood park acreage. Any other perimeter buffer areas or preservation areas identified on the Master Plan will count as open space but will not count toward required neighborhood park acreage.
10. All streets internal to the Project may be public or private except for Sunrise Parkway and Cracker Crossing Blvd., which shall be open to the public. Private roads within single family or multifamily tracts may be gated with provision for emergency vehicle access in accordance with the requirements of the Hernando County Fire and Emergency Services Department and the Hernando County Facility Design Guidelines. Private roads will be owned, operated, and maintained by the developer(s) designated CDD and/or Property Owners Association(s).
11. The Mixed-Use Area along the SR 50 Frontage shall be allowed two (2) access points to SR 50 between Sunrise Parkway and Kettering Road, subject to FDOT driveway connection permits.
12. Cracker Crossing Blvd. Extension shall be considered the Project's reverse frontage road and shall be deemed to meet all such requirements for the Mixed-

Use Area. To ensure compatibility for the multi-family, retail and office uses within the Mixed-Use Area, through-truck traffic shall be prohibited on Cracker Crossing Blvd. Extension, other than local deliveries servicing the commercial/office uses within the Mixed-Use Area itself.

13. MAK Boulevard will be an optional internal Project roadway; however, in the event the adjacent Kettering Road parcel is actually utilized by the County for the East Government Center Site and/or by the School district for the School Site (as referenced in the Development Agreement), then the master developer for the Residential Area shall construct MAK Boulevard from Sunrise Parkway to the east Project Boundary, for connection (by the County or School District, as applicable) to the East Government Center Site and/or School Site. In the interim, this access area and other direct access point(s) to Kettering Road may be utilized as a construction access/haul roads for the Project as approved by the County Engineer.
14. The Residential Area master developer shall construct Sunrise Parkway as a 4-lane divided collector in accordance with the Development Agreement. As a divided boulevard, Sunrise Parkway will be considered to have met the “two entrance requirement” to a residential subdivision until such time as a second external connection is available for the Project.
15. Covenant, Conditions and Restrictions (CC&Rs) will be established to govern development within the C/PDP. The CC&Rs shall implement the applicable requirements of the zoning and Development Agreement and provide for enforcement by the developer(s) designated CDD(s) and/or Property Owners Association(s). The CC&Rs will be submitted to Hernando County for review and comment prior to final plat approval for each phase. The CC&Rs shall be recorded against those portions of the Development subject to such plat.
16. A geotechnical report prepared by a qualified professional shall be used in the design and layout of the Project and shall be submitted to the County at time of and in connection with the conditional platting of each phase to ascertain that the applicable developer has used its best efforts to avoid adverse impacts to sensitive karst and subsurface features in the overall project design and layout of the project.
17. At the developer’s option, fencing along the perimeter and interior of Sunrise can be added to proposed buffer areas; where possible fencing will blend into the natural landscape of the area but will be supplemented with natural vegetation/screening as necessary. The developer(s)’ fencing options may include materials such as PVC (non-white), decorative black aluminum (wrought iron style), mason/Symtec, stone and/or brick wall(s) consistent with project identification and entry monumentation features.

18. Beginning five years after approval of this Master Plan, and continuing every 600th residential unit thereafter until buildout, the Residential Area master developer shall complete and submit the traffic monitoring reports specified in the companion Development Agreement.
19. With the submittal of construction plans for each phase, the applicable developer shall provide the following materials for review:
  - Soil borings shall be used to verify that a minimum of five (5) feet of suitable soil cover is maintained between each drainage retention area (DRA) bottom and any subsurface limestone rock strata, limestone pinnacles or potential karst connections. In the event another regulatory agency with jurisdiction requires a greater separation depth than 5', compliance with that agency's greater depth shall be required.
  - BMPs for wetland protection (if applicable); control of siltation and turbidity during construction; minimization of site disturbance and wind erosion.
  - Low Impact Development (LID) design techniques (where reasonably feasible) as part of the stormwater plan.
20. If archaeological artifacts are discovered during site development construction, the applicable developer shall stop construction in that area and immediately notify the County, WRPC, DEO, and the Division of Historical Resources of the Florida Department of State.
21. Invasive plant species shall be removed during the site development process as required by the associated permitting agencies, environmental reports, and development review processes.
22. The C-PDP Zoning and Master Plan shall remain valid as long as the development proceeds in accordance with the terms of the Development Agreement, for the duration of the Development Agreement.
23. All the foregoing performance conditions are intended to conform to the companion Development Agreement for Sunrise, and not to alter any requirement or condition of the Development Agreement. In the event of a conflict between the Development Agreement, these performance conditions, and any County land use regulations or ordinances, the Development Agreement shall supersede and control. This notwithstanding, any applicable County Ordinance containing additional details or regulations, which do not conflict with the provisions of the Development Agreement, shall govern the actions of the developer(s).
24. The location and design of the optional lagoon complex amenity will not require a Master Plan Revision.

25. Pending the commencement of site development for each respective development phase of the Project, any, or all the undeveloped portions of the Property shall be allowed to continue interim agriculture and/or silviculture uses on such undeveloped portions of the Property, pending full and complete development of the Project.
26. Enhanced lighting beyond minimum standards shall be required as follows:
- Lighting throughout the Project shall be designed to shield the night sky. Shielding means a fixture, either directly from the lamp or indirectly from a fixture, are projected below a horizontal plane running through the lowest point on the fixture where light is emitted.
  - Internal residential area lighting shall not exceed 18 feet in height with full cut-off fixtures.
  - Street and parking lot lighting shall be oriented downward with full electrical cut-off fixtures. Fifty percent of all lighting fixtures within parking lots shall be turned off within one hour after closing or between 11:00 pm and sunrise, whichever occurs first.
  - Solar streetlighting shall be allowed within public or private road rights-of way areas. All street lighting shall be privately owned by the developer or its designee, and/or operated by the HOA, CDD or the Developer, at the Developer's sole election.
27. Open space and connectivity plan shall be submitted at the first conditional plat and revised every conditional plat thereafter. By way of clarification, the initial master open space and connectivity plan will provide for a primary, central trail along Sunrise Parkway through the entirety of the project, with future connection to the internal trails within each development pod. However, the details of the internal trail system within each development pod and the open spaces within each development pod, will only be delineated and added to the master open space and connectivity plan, as each proposed conditional plat is provided for such development pod.
28. The petitioner shall provide a revised Master Plan in compliance with all the performance conditions within 30 calendar days of BCC approval. Failure to submit the revised plan will result in no further development permits being issued.



Planning & Zoning Commission

Meeting: 11/04/2024
Department: Planning
Prepared By: Danielle Nigro
Initiator: Omar DePablo
DOC ID: 14771
Legal Request Number:
Bid/Contract Number:

AGENDA ITEM

TITLE

Rezoning Petition Submitted by Karly Quedens and Barrett Rivera (H-24-45)

BRIEF OVERVIEW

Request:

Rezoning from AG (Agricultural) to PDP(HHC)/Planned Development Project (Heavy Highway Commercial)

General Location:

East side of Cobb Road, approximately 450' Southeast of Ponce De Leon Boulevard

FINANCIAL IMPACT

A matter of policy. There is no financial impact.

LEGAL NOTE

The Planning and Zoning Commission has jurisdiction to make a recommendation on the subject application. The Applicable Criteria for a Zoning District Amendment are contained in Appendix A, (Zoning Code) Article VI. The Applicable Criteria for Planned Development Projects are contained in Appendix A, (Zoning Code) Article VIII. The Zoning District Amendment to the Planned Development District and applicable PDP master plan must be consistent with the Comprehensive Plan.

The notice requirements of Appx. A, Art. VI, Sec. 7 of the Hernando County Code have been complied with.

RECOMMENDATION

It is recommended that the Planning and Zoning Commission recommend the Board of County Commissioners adopt a resolution approving a rezoning from AG (Agricultural) to PDP(HHC)/Planned Development Project (Heavy Highway Commercial) with performance conditions.

REVIEW PROCESS

Table with 4 columns: Name, Status, Date, Time. Rows include Omar DePablo, Toni Brady, Pamela Hare, Melissa Tartaglia, and Danielle Nigro, all with 'Approved' status.

RESULT: ADOPTED
MOVER: Kathryn Birren
SECONDER: W. Steven Hickey

<b>AYES:</b>	Holmes, Hickey, Birren and Morgan
<b>NAYES:</b>	McDonald
<b>NON VOTING:</b>	Noe

HERNANDO COUNTY ZONING AMENDMENT PETITION



Application to Change a Zoning Classification

Application request (check one):
Rezoning [X] Standard [ ] PDP
Master Plan [ ] New [ ] Revised
PSFOD [ ] Communication Tower [ ] Other
PRINT OR TYPE ALL INFORMATION

File No. \_\_\_\_\_ Official Date Stamp:
H-24-45
Received
JUL 18 2024
Planning Department
Hernando County, Florida

Date: 7/3/2024

APPLICANT NAME: KARLY QUEDENS/BARRETT RIVERA (OWNER)
Address: 19239 CORTEZ BLVD.
City: BROOKSVILLE State: FL Zip: 34601
Phone: (352)410-1040 Email: riveras.permits@gmail.com
Property owner's name: (if not the applicant) BARRETT RIVERA

REPRESENTATIVE/CONTACT NAME:
Company Name: RIVERAS FLOORING, KITCHENS, AND MORE
Address: 19235 CORTEZ BLVD.
City: BROOKSVILLE State: FL Zip: 34601
Phone: (352)410-1040 Email: riveras.permits@gmail.com

HOME OWNERS ASSOCIATION: [ ] Yes [X] No (if applicable provide name)
Contact Name:
Address: City: State: Zip:

PROPERTY INFORMATION:
1. PARCEL(S) KEY NUMBER(S): 00335676
2. SECTION \_\_\_\_\_, TOWNSHIP \_\_\_\_\_, RANGE \_\_\_\_\_
3. Current zoning classification: AGRICULTURE
4. Desired zoning classification: PDPHC / CH
5. Size of area covered by application:
6. Highway and street boundaries:
7. Has a public hearing been held on this property within the past twelve months? [ ] Yes [X] No
8. Will expert witness(es) be utilized during the public hearings? [ ] Yes [X] No (If yes, identify on an attached list.)
9. Will additional time be required during the public hearing(s) and how much? [ ] Yes [X] No (Time needed: \_\_\_\_\_)

PROPERTY OWNER AFFIDAVIT

I, BARRETT RIVERA, have thoroughly examined the instructions for filing this application and state and affirm that all information submitted within this petition are true and correct to the best of my knowledge and belief and are a matter of public record, and that (check one):
[ ] I am the owner of the property and am making this application OR
[X] I am the owner of the property and am authorizing (applicant): KARLY QUEDENS
and (representative, if applicable):
to submit an application for the described property.

Signature of Property Owner

STATE OF FLORIDA
COUNTY OF HERNANDO
The foregoing instrument was acknowledged before me this 3rd day of July, 2024, by Barrett Rivera who is personally known to me or produced as identification.

Signature of Notary Public



Effective Date: 11/8/16 Last Revision: 11/8/16

# **RIVERA'S**

## **Flooring, Kitchens & More...**

19239 Cortez Blvd, Brooksville, FL 34601

PH 352-848-3636 - FAX 352-848-3620

<http://www.riverasflooring.com>

<http://www.riverasonlinestore.com>

Dear Hernando County,

Rivera's plan is to rezone the property located at the intersection of Campground and Cobb Road to be used for commercial purposes, so that we may build a metal structure containing a new showroom for the community and space for our day-to-day operations.

If you do not know already, our business operations include, but are not limited to: Cabinet installations, complete remodels, additions, flooring, etc.

In addition to that, over the past few years we have opened separate divisions for Plumbing and Electric, otherwise known as Rivera's Electric Inc. and Rivera's Plumbing Source Inc.

Most of our materials need to be stored inside, the only items we have that may be stored outside are vehicles, trailers, and one Kubota/Forklift, which will find a home in the parking lot.

Our normal business hours are Monday through Friday 8a to 5p. We do have about 40 employees, most of which are field employees, the remaining 10 spend most of their time in the office. Customer foot traffic can range from 1-10 people a day, along with short visits from our vendors.

The building itself will be metal in structure, 50'Wx100'Lx14'H, with lean-to metal structures on either side, 25'Wx100'Lx13'H, the lean-to structure in the front of the building will be enclosed to provide a bigger space for the showroom and offices, the back half of the main building will be designated for material, and a loading/drop off zone for incoming and outgoing material/shipments.

The building will be located dead-center in the middle of the property, setback measurements are:

- 160.5' from the back of the property
- 100' from the front of the property
- 190.5' from the left side of the property
- 170' from the right side of the property

We will have two driveways to eliminate some traffic coming from Cobb Road, and it will make it easier for big trucks to enter from Campground Rd. and drive around the back of the building and exit from the front driveway at Cobb Rd., or vice versa.

We plan to use lime rock gravel around the building to alleviate any issues with trucks getting stuck on the property, the parking areas will be concrete, spanning the front and right side of the building.

We appreciate everything Hernando County has done for our company and hope that we get your blessing for this important project.

2. Approximately one week before the meeting, the agenda and agenda packet can be viewed on the County's website at [www.hernandocounty.us](http://www.hernandocounty.us) – follow the Board Agendas and Minutes link to the specified public hearing.

**C. Duration of a Master Plan**

The failure of the applicant to initiate substantial performance within two (2) years from date of approval by the governing body shall render the master plan null and void. If a planned development project (PDP) requires subsequent conditional plat approval, then "substantial performance" shall mean that the applicant has obtained conditional plat approval during this two year period. If a planned development project does not require plat approval, then "substantial performance" shall mean that the applicant has obtained a building permit(s) for vertical construction relating to the primary or principal building for non-residential projects or has obtained building permits for the first phase of dwelling units for residential projects during this two year period.

**D. Conversion of Euclidean (conventional) Zoning to a Planned Development Project Zoning District**

The commission or the governing body, as a condition to the reviewing of any proposed zoning change, may require the submission of a site plan for the purpose of converting a proposed zoning amendment to a planned development project (PDP). Such approval shall be in accordance with the terms and conditions of Article VIII for Planned Development Projects.

**E. Disclosure to Applicant**

The rezoning process is a land use determination and does not constitute a permit for either construction on, or use of, the property, or a Certificate of Concurrency. Prior to use of, or construction on, the property, the petitioner must receive approval from the appropriate County department(s) for the proposed use.

The granting of a land use determination does not protect the owner from civil liability for recorded deed restrictions which may exceed any county land use ordinances.

Homeowner's associations or architectural review committees require submission of plans for review and approval. The applicant for this land use request should contact the local association or the Public Records for all restrictions applicable to this property.

**RIVERA'S**  
Flooring, Kitchens & More...

19239 Cortez Blvd, Brooksville, FL 34601  
PH 352-848-3636 - FAX 352-848-3620  
<http://www.riverasflooring.com>  
<http://www.riverasonlinestore.com>

Hernando County Zoning Division

To whom it may concern,

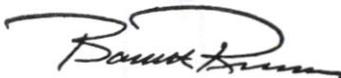
Rivera's Flooring Inc./Barrett Rivera (owner) would like to rezone the property on Cobb Road to commercial, so that we may use the property for storage and other business-related activities.

We are currently going through growing pains, and desperately need a warehouse for incoming/outgoing orders. We may consider adding a storefront but aren't in the position to do that quite yet. Our priority is the warehouse.

Thank you,

Owner/Contractor

Barrett Rivera,





## 50×100 Delivered & Installed Florida Metal Building Kit

Building ID#: FS-5010014-2

### Building Specs

- ▶ 50'W x 100'L x 14'H
- ▶ Vertical Roof
- ▶ Vertical Walls
- ▶ 2 - 12'x12' Roll Up Doors
- ▶ 1 - Walk Door

### Building Includes:

- ▶ Eversafe price includes doors - others don't
- ▶ FREE Delivery to your building site
- ▶ FREE Installation on your pad
- ▶ FREE 20 year warranty
- ▶ FREE Concrete Design
- ▶ FREE Florida Approval
- ▶ FREE upgrade to heavy duty 26 gauge steel
- ▶ We can pull permits (service available)
- ▶ Engineer certified for up to 150MPH - Can be upgraded to 170MPH

## Local Florida Offices

Description

Design

Options

Reviews

Eversafe provides exceptional **Metal Building Kits** at a great price! Spanning an impressive 50×100 and designed using a vertical roof & wall style! This building comes with two 12'x12' roll up doors in the front of the building and one 36"x80" walk door on the side. If you're looking to insulate your building, you have plenty of choices, whether you use spray on foam, fiberglass batt, styrofoam or a vapor barrier. Eversafe's prices include FREE delivery and FREE installation to your location! Each structure is designed for local building codes and may be certified and stamped for Florida wind load requirements in your area. The price listed above is not inclusive of site preparation or concrete installation. These optional services may be offered in numerous areas.

**REQUEST A FREE QUOTE WITH UP TO 25% DISCOUNT**

NOTE: Building features can be customized including dimensions, doors sizes and their locations.

**FROM ONLY \$83,245**

Prices shown are for Florida hurricane codes, other states may have significant reduction. Inquire for lower prices. Call now and ask our building specialists about other discounts that may be available for Florida residents, veterans and houses of worship.

**ADD TO CART**

**CALL NOW FOR DISCOUNTS & LOWER PRICES**

## STAFF REPORT

---

**HEARINGS:** Planning & Zoning Commission: November 4, 2024  
Board of County Commissioners: December 17, 2024

**APPLICANT:** Barrett Rivera

**FILE NUMBER:** H-24-45

**REQUEST:** Rezoning from AG (Agricultural) to PDP(HHC)/Planned Development Project (Heavy Highway Commercial)

### GENERAL

**LOCATION:** East side of Cobb Road, approximately 450' Southeast of Ponce De Leon Boulevard

**PARCEL KEY:** 335676

---

### APPLICANT'S REQUEST:

The petitioner is requesting a rezoning from AG (Agricultural) to PDP(HHC)/Planned Development Project (Heavy Highway Commercial). The petitioner is proposing a 5,000 square foot metal building with 2,500 square feet of Office and Showroom space and 2,500 square feet of Light Manufacturing, Warehouse and Construction storage. No deviations to the zoning district regulations are included in this petition.

### SITE CHARACTERISTICS:

**Site Size:** 1.80 acres

#### Surrounding Zoning & Land Uses:

North: ROW (Campground Road)

South: AG; Agricultural

East: PDP(I-1); Light Industrial

West: AG; Agricultural

**Current Zoning:** AG(Agricultural)

#### Future Land Use

**Map Designation:** Industrial

**ENVIRONMENTAL REVIEW:**

**Soil Type:** Nobleton Fine Sand

**Comments:** A comprehensive wildlife/gopher tortoise survey, prepared by a qualified professional shall be conducted prior to any development occurring on the property. The petitioner is required to comply with all applicable FWC regulations.

**Hydrologic  
Features:**

The property does not contain wetlands or Wellhead Protection Areas (WHPA) according to County data resources.

**Protection  
Features:**

The property contains no Special Protection Area (SPA) according to County data resources.

**Comments:** The petitioner shall meet the minimum recommendations of the Florida Yards & Neighborhoods (FYN) Program for design techniques and principles for all required landscaping.

**UTILITIES REVIEW:**

Hernando County Utilities Department (HCUD) does not currently supply water or sewer service to this parcel. This parcel is located within the City of Brooksville Utility Department's (CBUD) first right to serve district; contact CBUD for any utility related comments.

**Comments:** The petitioner shall contact the City of Brooksville for utilities systems at time of vertical construction.

**ENGINEERING REVIEW:**

The subject site is located east side of Cobb Road, approximately 450' southeast of Ponce De Leon Boulevard. The Petitioner is proposing access of Campground Road and Cobb Road.

- The Subject site is located in the Blue Sink Watershed. FEMA Flood Insurance Rate map number 12053C0181D, effective on 2/2/2012 identifies the entire property within a floodplain at elevation 79.3.
- Campground Road from Cobb Road to west of the driveway will need to be brought up to a Major Local/Commercial Roadway.
- Campground Road will require a sidewalk from Cobb Road to the western property line.
- The petitioner shall be required to install a sidewalk on Cobb Road (Collector Roadway) for the entire property frontage.

- A sidewalk will be required to go from the buildings to Campground Road and Cobb Road.
- The driveway connection, parking spaces and lot layout will need to meet Hernando County standards.
- A Traffic Access Analysis may be required at the time of development and when the storefront is considered. Any improvements identified in the Traffic Access Analysis will be the responsibility of the developer to install.
- Project design and Traffic Access Analysis must accommodate the expected delivery trucks Land Use Review:

**LAND USE REVIEW:**

**Minimum Building setbacks**

Campground Road:	35'
Cobb Road:	125
Side:	20'
Rear:	35'

**Parking**

County LDRs requires four (4) parking spaces for every 1,000 square feet for the proposed Office/Showroom (2,500 square foot) use and 1.5 per employee for the manufacturing/warehouse/construction (2,500 square foot). The petitioner has advised that there are 10 office/show room employees and 30 field staff.

**Comments:** The petitioner shall provide eleven (11) parking spaces for the Office/Showroom space and one (1) space per employee at a peak shift for manufacturing/construction. If approved, the petitioner must meet the minimum parking requirements of the County's LDRs.

**Landscaping:**

The petitioner must meet the minimum requirements of Florida Friendly Landscaping™ publications for design techniques, principles, materials, and plantings for required landscaping.

**Buffers**

The minimum commercial buffer shall consist of a 5' landscaped separation distance. the petitioner shall be required to preserve or enhance existing vegetation to reach a minimum opacity of 80% around the entire perimeter of the development. Such screening shall have a minimum height of five (5) [feet] and a maximum height of eight (8) feet, or an evergreen hedge with a minimum height of five (5) feet at the time of planting.

**Comments:** The petitioner has indicated a 5' vegetative buffer will be provided along the perimeter of the property. If approved, the petitioner shall meet the minimum requirements of the County LDRs.

**Lighting:**

County LDRs require lighting that enhances the visual impact of the project on the community and specifically addresses lighting intensity levels and glare accordingly. Commercial buildings and projects shall be designed to provide safe, convenient and efficient lighting for pedestrians and vehicles.

**Comments:** The petitioner has not indicated any provisions for lighting of the subject property. If approved, the petitioner should be required to provide full cutoff fixtures and retain all light on-site and prevent any light spillage onto neighboring uses.

**COMPREHENSIVE PLAN REVIEW:**

The subject site is located within an Industrial Land Use designation on the County's adopted Comprehensive Plan. The petitioner is requesting a Flex Space concept which will allow for office/showroom along the front of the proposed building and light manufacturing along the rear.

**Industrial Category**

**Objective 1.04H:** The Industrial Category provides primarily for industrial uses with an overall average gross floor area ratio of 0.50 but also includes limited ancillary commercial uses.

**Strategy 1.04H(1):** Review of areas proposed for an industrial use designation shall include consideration of transportation and needs access, availability of sewer/water and technology infrastructure, proximity to rail or air carriers, proximity to major roadways, proximity to the employment base, potential for environmental impact and potential for land use conflicts.

**Specialty Commercial**

**Strategy 1.04G(11):** Specialty Commercial areas are recognized but generally not depicted on the Future Land Use Map due to their small size and specialized function. The County will provide for land use regulations that recognize and encourage specialty commercial uses important to the traditional economic base, including Agricultural Commercial, Marine Commercial and Heavy Commercial uses.

**Strategy 1.04G(14):** Heavy Commercial uses may be established to accommodate those uses that have potential impacts too significant for a

standard commercial district and shall meet the following criteria:

- a. not to be located proximate to residential housing;
- b. be accessible to arterial or major collector roadways without requiring the use of residential roads;
- c. provide for adequate buffers, screening and transition;
- d. minimize negative impacts to adjoining properties.
- e. minimize the visual impacts of outdoor storage

**Comments:** The subject site is located within an Industrial Land Use Designation on the County’s adopted Comprehensive Plan. The proposed use is compatible with the surrounding area and consistent with the Comprehensive Plan

**FINDING OF FACTS:**

A rezoning from AG (Agricultural) to PDP(HHC)/Planned Development Project (Heavy Highway Commercial) is appropriate and is compatible with the surrounding area and consistent with the Comprehensive Plan.

**NOTICE OF APPLICANT RESPONSIBILITY:**

*The rezoning process is a land use determination and does not constitute a permit for either construction on, or use of, the property, or a Certificate of Concurrency. Prior to use of, or construction on, the property, the petitioner must receive approval from the appropriate County department(s) for the proposed use.*

*The granting of this land use determination does not protect the owner from civil liability for recorded deed restrictions which may exceed any county land use ordinances. Homeowner’s associations or architectural review committees require submission of plans for review and approval. The applicant for this land use request should contact the local association or the Public Records for all restrictions applicable to this property.*

**STAFF RECOMMENDATION:**

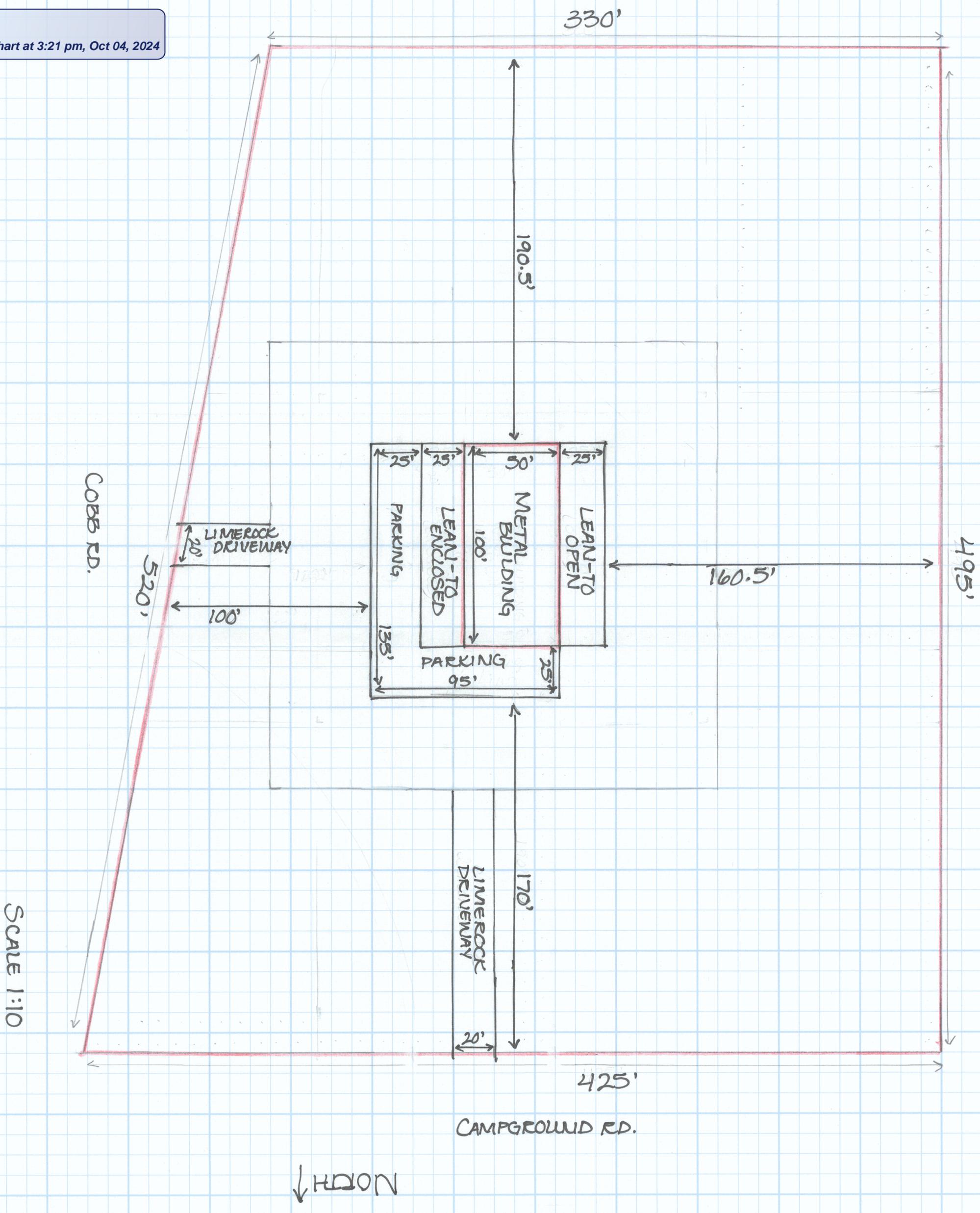
It is recommended that the Planning and Zoning Commission recommend the Board of County Commissioners adopt a resolution approving a rezoning from AG (Agricultural) to PDP(HHC)/Planned Development Project (Heavy Highway Commercial) with the following performance conditions:

1. The petitioner must obtain all permits from Hernando County and other applicable agencies and meet all applicable land development regulations, for either construction or use of the property, and complete all applicable development review processes.

2. The petitioner shall provide a minimum 5' vegetative buffer between parcels, and of the County's LDRs for remaining buffers.
3. The petitioner must meet the minimum requirements of Florida Friendly Landscaping™ publications and the Florida Yards and Neighborhoods Program for design techniques, principles, materials, and plantings for required landscaping
4. Minimum Building Setbacks:
  - Campground Road: 35'
  - Cobb Road 125
  - Side: 20'
  - Rear: 35'
5. The petitioner shall be required to provide full cutoff fixtures and retain all light on-site and prevent any light spillage.
6. The petitioner shall be required to bring the driveway west of Campground Road from Cobb Road up to the Major Local/Commercial Roadway standards.
7. The petitioner shall be required to install a sidewalk along Campground Road from Cobb Road to the western property line and install sidewalks on Cobb Road (Collector Roadway) for the entire property frontage.
8. The petitioner shall install sidewalks from the buildings to Campground Road and Cobb Road.
9. The petitioner shall provide driveway connection, parking spaces and lot layout that will meet Hernando County standards.
10. A Traffic analysis shall be required at the time of development. Any improvements identified by the Traffic Access Analysis shall be the responsibility of the developer.
11. The petitioner shall incorporate the expected delivery truck into the project design and Traffic Access Analysis for Land Use Review:
12. The petitioner shall coordinate with the City of Brooksville for utilities systems at time of vertical construction.
14. The petitioner shall provide a master plan in compliance with all of the performance conditions within 30 calendar days of BCC approval. Failure to submit the revised plan will result in no further development permits being issued.

RECEIVED

By Robin Reinhart at 3:21 pm, Oct 04, 2024



SCALE 1:10

↑ NORTH

# H-24-45

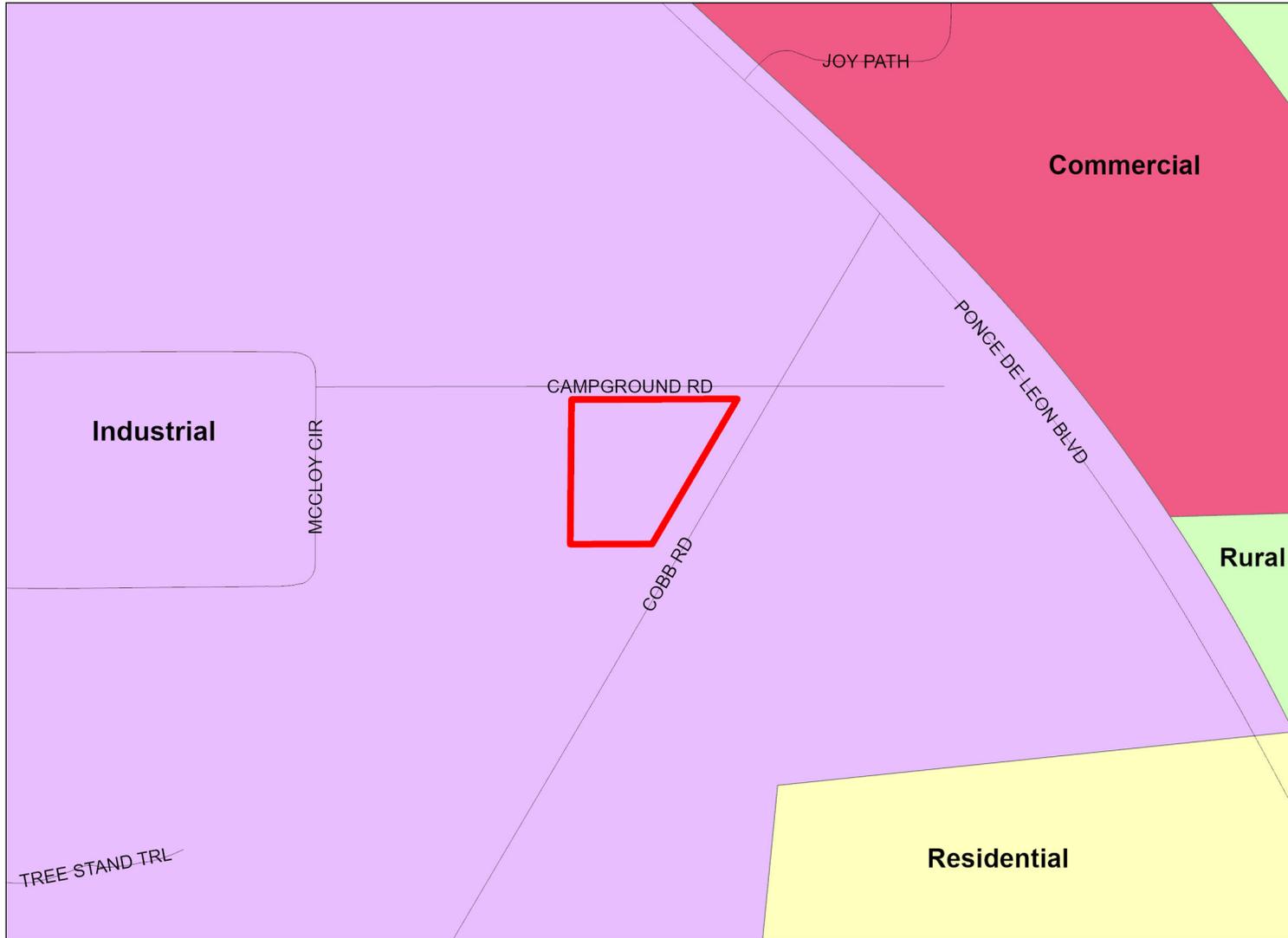
Photo date: 2023

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



# Hernando County Comprehensive Plan Map

Existing Future Land Use: H-24-45  
Version Date: 12/09/2022



	H-24-45
	FLU Riverine District
	Regional Commercial
<b>FLU</b>	
	CITY
	COMMERCIAL
	CONSERVATION
	EDUCATION
	INDUSTRIAL
	MINING
	PLANNED DEVELOPMENT
	PUBLIC FACILITIES
	RECREATION
	RESIDENTIAL
	RURAL

**Future Land Use Map**

PLEASE REFER TO THE TEXT PORTION OF THE COMPREHENSIVE PLAN IN CONJUNCTION WITH THE USE OF THE FUTURE LAND USE MAP SERIES.

NOTE: THE RIVERINE DISTRICT IS SHOWN AS A LINE SETBACK PARALLEL TO THE WEEKI WACHEE, MUD AND WITHLACOOCHEE RIVERS.

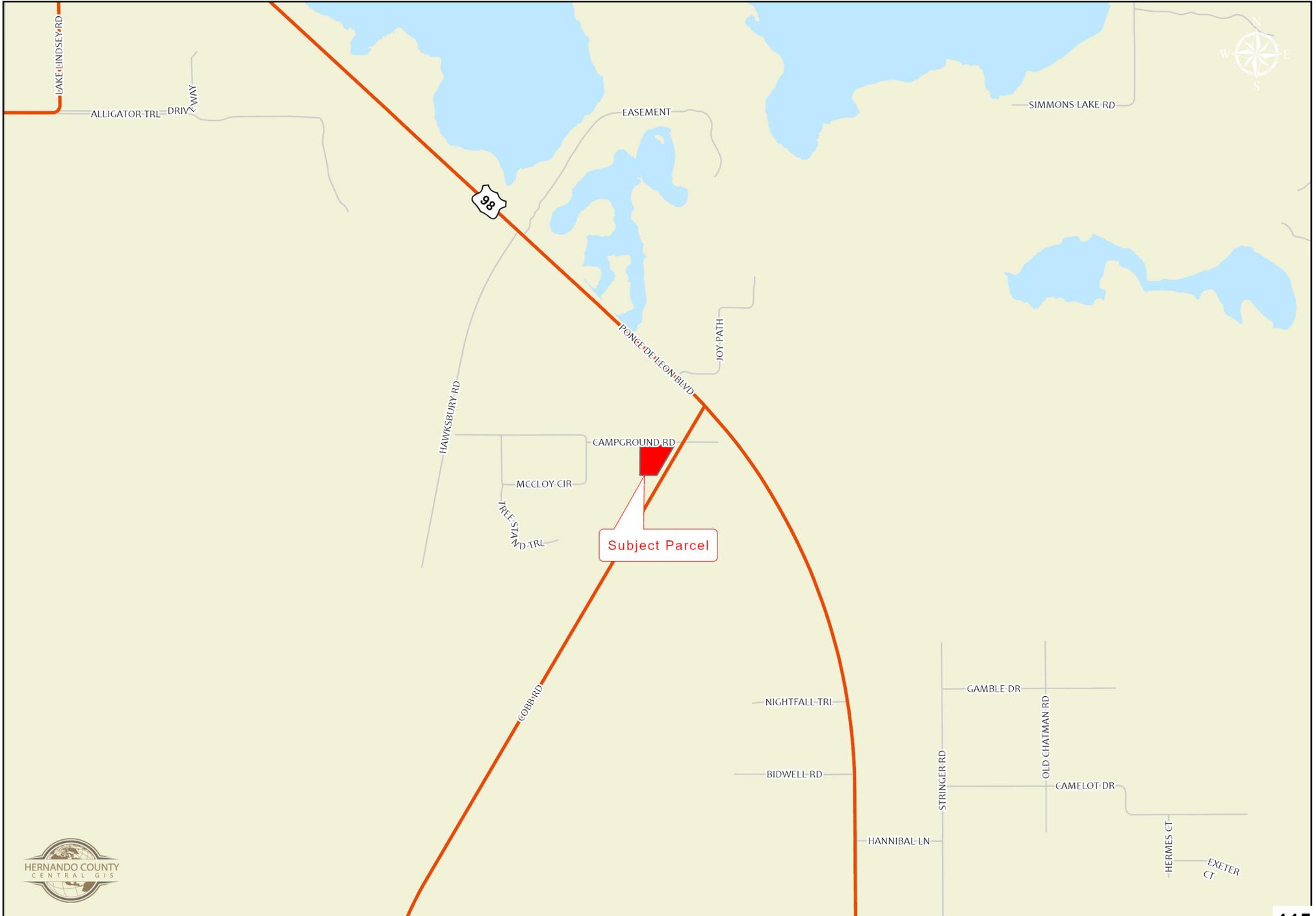


Date of mapping: 09/05/2024



# H-24-45 AREA MAP

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



# H-24-45

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



**Zoning:**

AC	PDP(HC)
AG	PDP(HHC)
AR	PDP(HID)
AR1	PDP(IND)
AR2	PDP(LI)
C1	PDP(MF)
C2	PDP(MH)
C3	PDP(NC)
C4	PDP(OP)
CITY	PDP(PSF)
CM1	PDP(REC)
CM2	PDP(RR)
CPDP	PDP(RUR)
CV	PDP(SF)
I1	PDP(SU)
I2	R1A
M	R1B
OP	R1C
PDP(AF)	R1MH
PDP(CM)	R2
PDP(CP)	R2.5
PDP(GC)	R3
PDP(GHC)	RC
	RM

City Zoning Pending





## AGENDA ITEM

### TITLE

Rezoning Petition Submitted by Teresa Ballard (H-24-51)

### BRIEF OVERVIEW

**Request:**

Rezoning from R-1C (Residential) to AR (Agricultural/Residential)

**General Location:**

South of Albany Road, north of Barnevelde Road and east of Celeste Avenue

### FINANCIAL IMPACT

A matter of policy. There is no financial impact.

### LEGAL NOTE

The Planning and Zoning Commission has jurisdiction to make a recommendation on the subject application. The Applicable Criteria for a Zoning District Amendment are contained in Appendix A, (Zoning Code) Article VI. The Zoning District Amendment must be consistent with the Comprehensive Plan.

The notice requirements of Appx. A, Art. VI, Sec. 7 of the Hernando County Code have been complied with.

### RECOMMENDATION

It is recommended that the Planning and Zoning Commission recommend the Board of County Commissioners adopt a resolution approving the petitioner’s request for a rezoning from R-1C (Residential) to AR (Agricultural/Residential).

### REVIEW PROCESS

Omar DePablo	Approved	10/31/2024	6:50 AM
Toni Brady	Approved	10/31/2024	9:13 AM
Pamela Hare	Approved	10/31/2024	9:49 AM
Melissa Tartaglia	Approved	10/31/2024	12:41 PM
Danielle Nigro	Approved	10/31/2024	1:22 PM

<b>RESULT:</b>	<b>ADOPTED</b>
<b>MOVER:</b>	W. Steven Hickey
<b>SECONDER:</b>	Robert Morgan
<b>AYES:</b>	Holmes, Hickey, Birren, McDonald and Morgan
<b>NON VOTING:</b>	Noe

HERNANDO COUNTY ZONING AMENDMENT PETITION



Application to Change a Zoning Classification

Application request (check one):

- Rezoning [ ] Standard [ ] PDP
Master Plan [ ] New [ ] Revised
PSFOD [ ] Communication Tower [ ] Other
PRINT OR TYPE ALL INFORMATION

File No. \_\_\_\_\_ Official Date Stamp:
H-24-51
Received
AUG 12 2024
Planning Department
Hernando County, Florida

Date: \_\_\_\_\_

APPLICANT NAME: TERESA RENEE BALLARD

Address: 13316 SENECA ROAD
City: BROOKSVILLE State: FLORIDA Zip: 34614
Phone: 352 777-8277 Email: tballard133@gmail.com
Property owner's name: (if not the applicant) \_\_\_\_\_

REPRESENTATIVE/CONTACT NAME: NO

Company Name: \_\_\_\_\_
Address: \_\_\_\_\_
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_
Phone: \_\_\_\_\_ Email: \_\_\_\_\_

HOME OWNERS ASSOCIATION: [ ] Yes [X] No (if applicable provide name) \_\_\_\_\_

Contact Name: \_\_\_\_\_
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

PROPERTY INFORMATION: R21 221 18 1590 0000 0380 00073690

- 1. PARCEL(S) KEY NUMBER(S): R21 221 18 1590 0000 0400 00073716
2. SECTION 21, TOWNSHIP 21, RANGE 18
3. Current zoning classification: RESIDENTIAL
4. Desired zoning classification: AGRICULTURAL/RESIDENTIAL
5. Size of area covered by application: 100,773.06, 100,773.00 100,773 SQ FT
6. Highway and street boundaries: CELESTE AVE + SENECA RD.
7. Has a public hearing been held on this property within the past twelve months? [ ] Yes [X] No
8. Will expert witness(es) be utilized during the public hearings? [ ] Yes [X] No (If yes, identify on an attached list.)
9. Will additional time be required during the public hearing(s) and how much? [ ] Yes [X] No (Time needed: \_\_\_\_\_)

PROPERTY OWNER AFFIDIVAT

TERESA R. Ballard (BALLARD) have thoroughly examined the instructions for filing this application and state and affirm that all information submitted within this petition are true and correct to the best of my knowledge and belief and are a matter of public record, and that (check one):

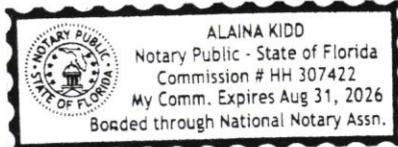
- [X] I am the owner of the property and am making this application OR
[ ] I am the owner of the property and am authorizing (applicant): \_\_\_\_\_
and (representative, if applicable): \_\_\_\_\_
to submit an application for the described property.

Signature of Property Owner

STATE OF FLORIDA
COUNTY OF HERNANDO

The foregoing instrument was acknowledged before me this 12th day of August, 2024, by Teresa Ballard who is personally known to me or produced \_\_\_\_\_ as identification.

Signature of Notary Public



Effective Date: 11/8/16 Last Revision: 11/8/16

Notary Seal/Stamp

08/11/2024

TO Whom IT may CONCERN.

I TERESA R BALLARD

WANT AR ON MY PROPERTY  
FOR ANIMALS AND TO HAVE IT  
FOR ANY MORE REASONINGS.



Received

AUG 12 2024

Planning Department  
Hernando County, Florida

## STAFF REPORT

---

**HEARINGS:** Planning & Zoning Commission: November 4, 2024  
Board of County Commissioners: December 17, 2024

**APPLICANT:** Teresa Renee Ballard

**FILE NUMBER:** H-24-51

**REQUEST:** Rezoning from R-1C (Residential) to AR (Agricultural/Residential)

**GENERAL LOCATION:** South of Albany Road, north of Barnevelde Road and east of Celeste Avenue

**PARCEL KEY NUMBER:** 73690, 73716

---

### APPLICANT'S REQUEST

The petitioner is requesting to rezone their 4.60 acre parcels from R-1C (Residential) to AR (Agricultural/Residential). The petitioner has indicated a desire to utilize their properties for livestock and for other agricultural benefits. The subject site is part of Country Estates subdivision which is located in the Royal Highlands area where several other properties have been rezoned to AR (Agricultural/Residential). One parcel has an existing single family home.

### SITE CHARACTERISTICS

**Site Size:** 4.60 acres

**Surrounding Zoning & Land Uses:** North: AR; Single-family  
South: R-1C; Single-family  
East: AR; Single-family  
West: R-1C; Single-family

**Current Zoning:** R-1C (Residential)

**Future Land Use Map Designation:** Rural

## UTILITIES REVIEW

The Hernando County Utilities Department (HCUD) has indicated they currently do not supply water or sewer service to these parcels. Water and sewer service is not available to these parcels. HCUD has no objection to the requested zoning change.

## ENGINEERING REVIEW

The subject site is located on the south of Albany Road, north of Barnevelde Road and east of Celeste Avenue. The County Engineering Department has reviewed the request and indicated no traffic concerns.

## LAND USE REVIEW

Minimum AR (Agricultural/Residential) Building Setbacks:

- Front: 50'
- Side: 10'
- Rear: 35'

The AR district is designed to allow the continued development of low-density, single-family housing. The Hernando County Code of Ordinances, Appendix A, Article IV, Section 13 identifies the permitted uses within the AR zoning district as follows:

A. The following regulations apply to agricultural/residential districts as indicated:

(1) Permitted uses:

(a) All agricultural/residential districts:

- i. Aquaculture
- ii. Grazing livestock at the rate of one mature animal and offspring less than one year of age, per acre.
- iii. Poultry and swine for home consumption maintained at least seventy-five (75) feet from adjacent property.
- iv. Horticultural specialty farms, including the cultivation of crops.
- v. Accessory structures related to the principal use of the land.
- vi. Pigeon aviaries with a maximum of 1,500 square feet of area devoted to housing pigeons per acre.
- vii. Sales on the premises of permitted agricultural products produced on the premises: provided that where such products are sold from roadside stands, such stand shall be set back a safe distance from any public street right-of-way and shall provide for automobile access and off-street parking space in such a manner so as to not create an undue traffic hazard on the street on which such roadside stand is located.

- (b) Agricultural/residential:
  - i. Single-family dwellings

## COMPREHENSIVE PLAN REVIEW

The subject is located within the Rural Land Use designation on the County's adopted Comprehensive Plan. The petitioner's parcel is located near the Royal Highlands area which is currently in transition with many parcels in close proximity requesting rezoning from R-1C (Residential) to AR (Agricultural/Residential) due to the rural nature of the area.

### Future Land Use, Rural Category

Objective 1.04C: The Rural Category allows agriculture, agricultural commercial, agri-industrial, recreation, agritourism and residential land uses of a rural character. Certain neighborhood commercial uses may be allowed subject to locational criteria and performance standards. Residential density is 0.1 dwelling units per gross acre (1 unit per ten gross acres) except where otherwise indicated by the strategies listed herein and incorporated into the land development regulations.

**Comments:** The parcel is within the Rural land use classification and is surrounded by residential parcels 1.0 acre in size. The proposed rezoning is consistent with the strategies for rural density and the pattern of land development on the surrounding parcels.

## FINDINGS OF FACT

A rezoning from R-1C (Residential) to AR (Agricultural/Residential) is appropriate based on consistency with the County's adopted Comprehensive Plan and the development patterns within the Country Estates Subdivision.

## NOTICE OF APPLICANT RESPONSIBILITY

*The rezoning process is a land use determination and does not constitute a permit for either construction on, or use of, the property, or a Certificate of Concurrency. Prior to use of, or construction on, the property, the petitioner must receive approval from the appropriate County department(s) for the proposed use.*

*The granting of this land use determination does not protect the owner from civil liability for recorded deed restrictions which may exceed any county land use ordinances. Homeowner associations or architectural review committees require submission of plans for review and approval. The applicant for this land use request should contact the local association or the Public Records for all restrictions applicable to this property.*

**STAFF RECOMMENDATION**

It is recommended that the Planning and Zoning Commission recommend the Board of County Commissioners adopt a resolution approving the petitioner's request for a rezoning from R-1C (Residential) to AR (Agricultural/Residential).

**DENNIS V. MOYLAN, P.S.M.**  
 LAND SURVEYS  
 5342 Birchwood Road  
 Spring Hill, FL 34608  
 (352) 684-5450 FAX (352) 684-9955

Party Chief: D. MOYLAN W.O. 24-128  
 Drawn By: dvm DATE: 07/23/2024  
 Checked By: D. MOYLAN F.B. 134 PG. 46

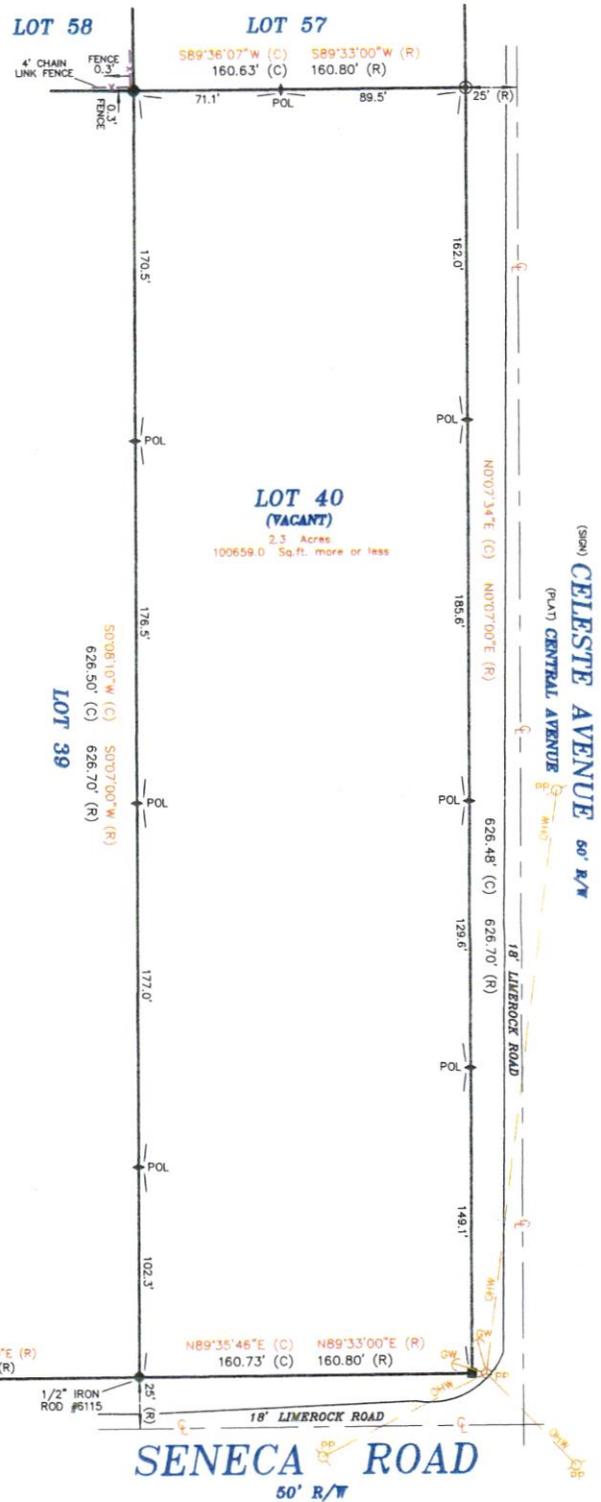
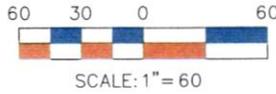
CERTIFIED TO THE FOLLOWING ONLY:  
 TERESA BALLARD

DESCRIPTION:  
 LOT 40, COUNTRY ESTATES, ACCORDING TO THE  
 PLAT THEREOF, AS RECORDED IN PLAT BOOK 5,  
 PAGE 83, INCLUSIVE OF THE PUBLIC RECORDS  
 OF HERNANDO COUNTY, FLORIDA.

SECTION: 21 TOWNSHIP: 21 S, RANGE: 18 E

**MAP OF SURVEY - BOUNDARY SURVEY**

PROPERTY ADDRESS: SENECA ROAD



**\*\*S89°33'00"W\*\***  
**\*\*BASIS OF BEARINGS ALONG NORTH LINE SEC. 21-21-18\*\***  
**\*\*K.A. NORTH BOUNDARY OF PLAT\*\***

COPYRIGHT © 2024

**SURVEYOR NOTES**

- Survey based on the description furnished by the client and without benefit of a title search.
- The Bearings shown hereon are based on the State of Florida State Plane Coordinates, West Zone, North American 1983 Adjustment of 1980. The Bearings shown hereon are grid Bearings are depicted by "BASES FOR BEARINGS".
- Underground utilities and improvements not located or shown.
- There are no visible encroachments unless shown hereon.
- The ownership of fences, if any, which exist on or near property lines is not known by this Surveyor and Mapper.
- Fences located near the property line are not to scale. The distances shown as ties to said fences are correct.
- The distances shown hereon as ties to existing occupation are at right angles to subject property lines.
- Outlets, overhangs, underground foundations and irrigation systems are not located unless shown hereon otherwise.
- The property shown hereon may be subject to the Rules, Regulations, Ordinances and/or Jurisdictions of Local, State, and/or Federal Agencies. The requirements of said Rules, Regulations, Ordinances and/or the limits of said Jurisdictions are not shown hereon, unless stated.
- All easements shown hereon are for drainage and/or utilities unless shown otherwise.
- The property shown hereon is subject to Reservations, Restrictions, and Easements of Record and not of Record.
- The Ties to Property Lines are Calculated from Field Measurement unless otherwise shown and are Perpendicular Ties.

THIS CERTIFIES THAT A SURVEY OF THE PROPERTY DESCRIBED HEREON, WAS MADE UNDER MY SUPERVISION AND THAT THE SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17 (FORMERLY 61G17-6) FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT THE MAP HEREON IS A TRUE AND ACCURATE REPRESENTATION THEREOF TO THE BEST OF MY KNOWLEDGE AND BELIEF SUBJECT TO NOTES AND NOTATIONS SHOWN HEREON.

Digitally signed by DENNIS V. MOYLAN  
 MOYLAN  
 Date: 2024.07.30 17:38:35 -0400

**DENNIS V MOYLAN**  
 Professional Surveyor & Mapper  
 Florida Registration # 6115

6115  
 07/23/2024  
 DATE OF LAST FIELD WORK

STATE OF FLORIDA

UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RED INK SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER, THIS DRAWING, SKETCH, PLAT, OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND NOT VALID.

**ABBREVIATIONS LEGEND**

AC Air Conditioner	FCM Found Concrete Monument	PPF Pool Pump & Filter
ASNS Aluminum Shed No Slab	FH Fire Hydrant	PVMT Pavement
BM Benchmark	FG Fence	R Record Plat or Deed
BWF Barbed Wire Fence	GP Guy Pole	RCB Reinforced Concrete Pipe
C Calculated	GW Guy Wire	RNG Range
C1 Curve #1	INV Invert	R/W Right of Way
CATV Cable Television Box	LB Land Surveyor Business	SEC Section
CB Catch Basin	LP Light Pole	SEC Screened Enclosed Entry
CE Covered Entry	LS Land Surveyor	SEC Screened Enclosed Slab
CS Concrete slab	MES Mitered End Section	SP Set Iron Rod
CM Concrete Monument	NAVD North American Vertical Datum	SP Screen Patch
D Dead	NOVD National Geodetic Vertical Datum	TBM Temporary Bench Mark
DI Drop Inlet	OE Overhead Electric Wire	TRANS Transformer
DRA Drainage Retention Area	OR Official Record	TWP Township
DROW Drainage Right-of-way	PC Point of Curvature	TYP Typical
EB Electric Box	POC Point of Commencement	WM Water Meter
EL Elevation	PP Power Pole	WV Water Valve

**CONTROL & CORNER LEGEND**

● Found 1/2" Iron Rod	PLAIN
○ Found 5/8" Iron Rod	PLAIN
○ Set 1/2" Iron Rod # 6115	
● Found Iron Pipe	
■ Found 4"x4" C.M.	PLAIN
▲ Found Nail	
□ Set 4" x 4" C.M. # 6115	
△ Set Nail in Red	

COMMUNITY PANEL: 1205300440 DATE: 2/2/2012 FLOOD ZONE: "X" BASE FLOOD ELEVATION:  
 Elevations Shown Refer to:  NAVD 1988  Assumed Datum.

REVISIONS	DATE

Received  
 AUG 12 2024  
 Planning Department  
 Hernando County, Florida

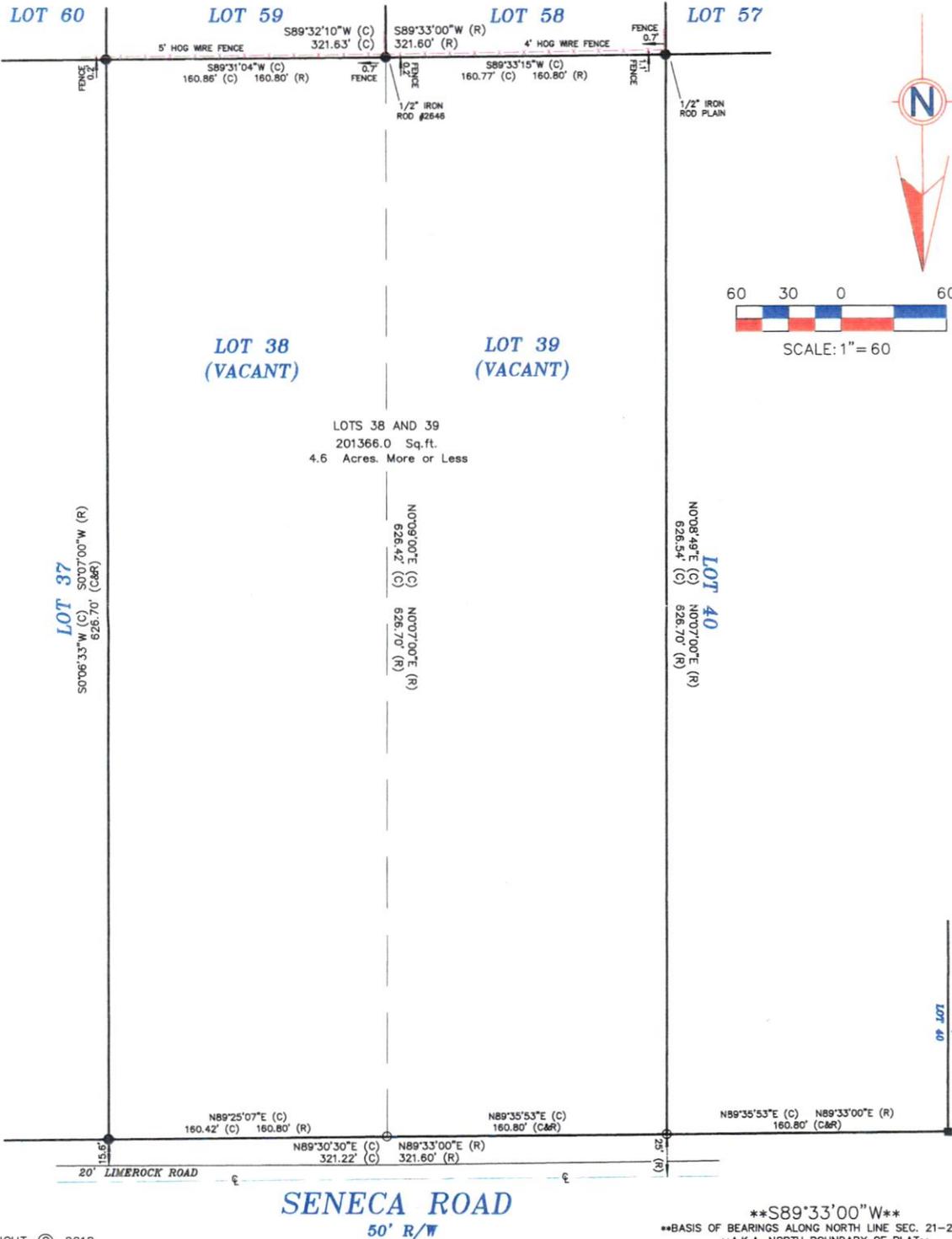
**DENNIS V. MOYLAN, P.S.M.**  
 LAND SURVEYS  
 5342 Birchwood Road  
 Spring Hill, FL 34608  
 (352) 684-5450 FAX (352) 684-9955

CERTIFIED TO THE FOLLOWING ONLY:  
 TERESA R BALLARD

DESCRIPTION:  
 LOTS 38 AND 39, COUNTRY ESTATES, AS PER PLAT THEREOF,  
 RECORDED IN PLAT BOOK 5, PAGE 83, INCLUSIVE, OF THE PUBLIC  
 RECORDS OF HERNANDO COUNTY, FLORIDA.

Party Chief: S. OSBOURNE W.O. 18-045  
 Drawn By: J. CALLERI DATE: 02/26/18  
 Checked By: D. MOYLAN F.B. 103 PG. 35

SECTION: 21 TOWNSHIP: 21 S, RANGE: 18 E #



MAP OF SURVEY - BOUNDARY SURVEY

Received  
 AUG 12 2024  
 Planning Department  
 Hernando County, Florida

COPYRIGHT © 2018

Community Panel: 12053C-0044D Dated: 02/02/12 Flood Zone: "X" Base Flood Elevation:

Elevations Show Refer to:  NAVD or  Assumed Datum.

I, THE UNDERSIGNED PROFESSIONAL SURVEYOR AND MAPPER, HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED UNDER MY DIRECT SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF IS A TRUE AND ACCURATE PRESENTATION OF THE INFORMATION SHOWN HEREON.

LEGEND: A complete list of abbreviations used in this survey are shown on the back of this page.

*Dennis V. Moylan*  
**DENNIS V. MOYLAN,**  
 Florida Registration # 6115  
 Professional Surveyor & Mapper

02/26/18  
 DATE OF  
 LAST FIELD WORK

- Found 1/2" Iron Rod #4686
- Found Iron Rod
- Set 1/2" Iron Rod # 6115
- Found Iron Pipe
- Found 4"x4" C.M. PLAIN
- ▲ Found Nail
- Set 4" x 4" C.M. # 6115
- △ Set Nail & Disk

REVISIONS	DATE

UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS DRAWING, SKETCH, PLAT, OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND NOT VALID.

# H-24-51

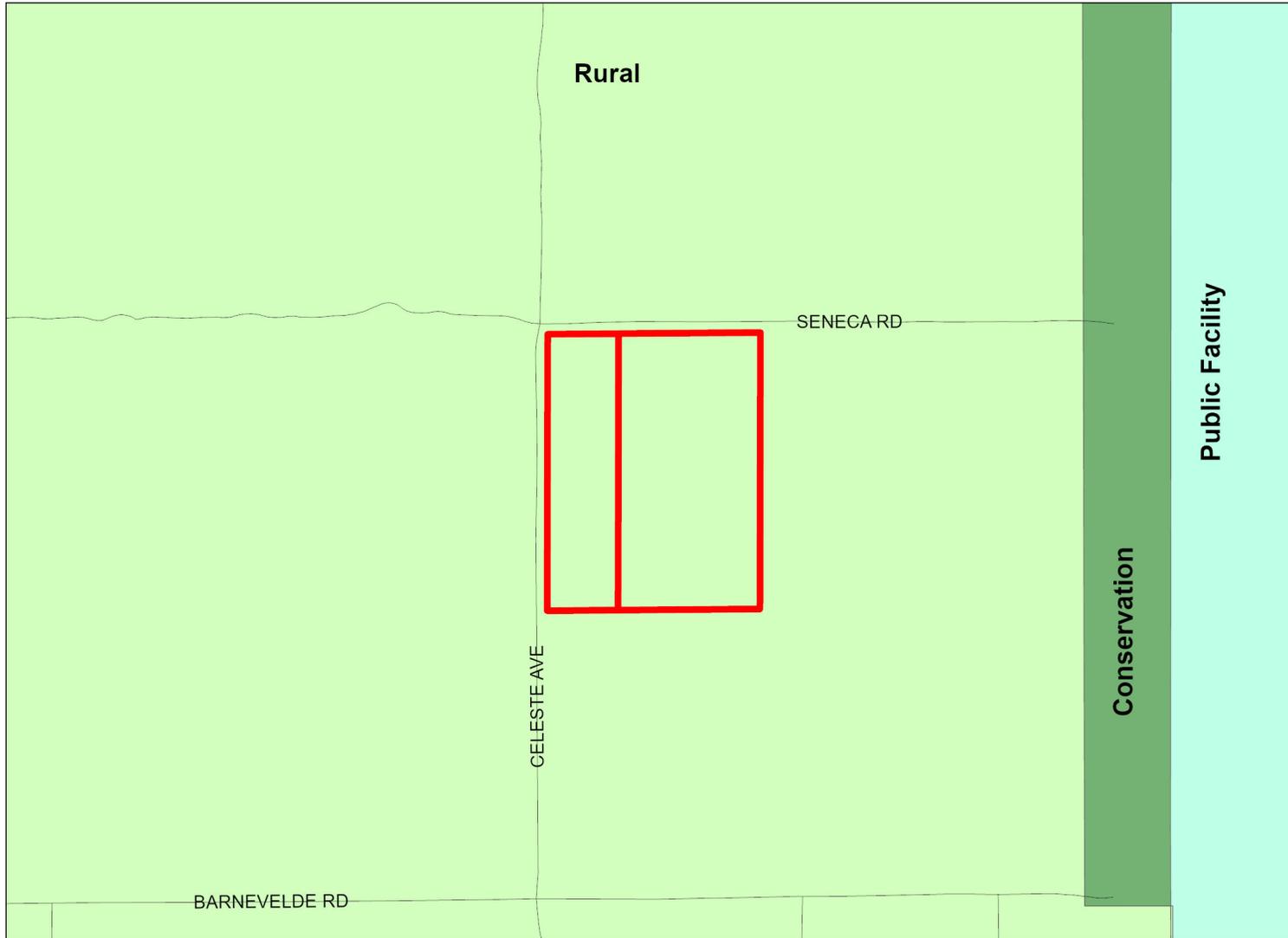
Photo date: 2023

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



# Hernando County Comprehensive Plan Map

Existing Future Land Use: H-24-51  
Version Date: 12/09/2022



**H-24-51**

FLU Riverine District

Regional Commercial

**FLU**

- CITY
- COMMERCIAL
- CONSERVATION
- EDUCATION
- INDUSTRIAL
- MINING
- PLANNED DEVELOPMENT
- PUBLIC FACILITIES
- RECREATION
- RESIDENTIAL
- RURAL

**Future Land Use Map**

PLEASE REFER TO THE TEXT PORTION OF THE COMPREHENSIVE PLAN IN CONJUNCTION WITH THE USE OF THE FUTURE LAND USE MAP SERIES.

NOTE: THE RIVERINE DISTRICT IS SHOWN AS A LINE SETBACK PARALLEL TO THE WEEKI WACHEE, MUD AND WITHLACOOCHEE RIVERS.

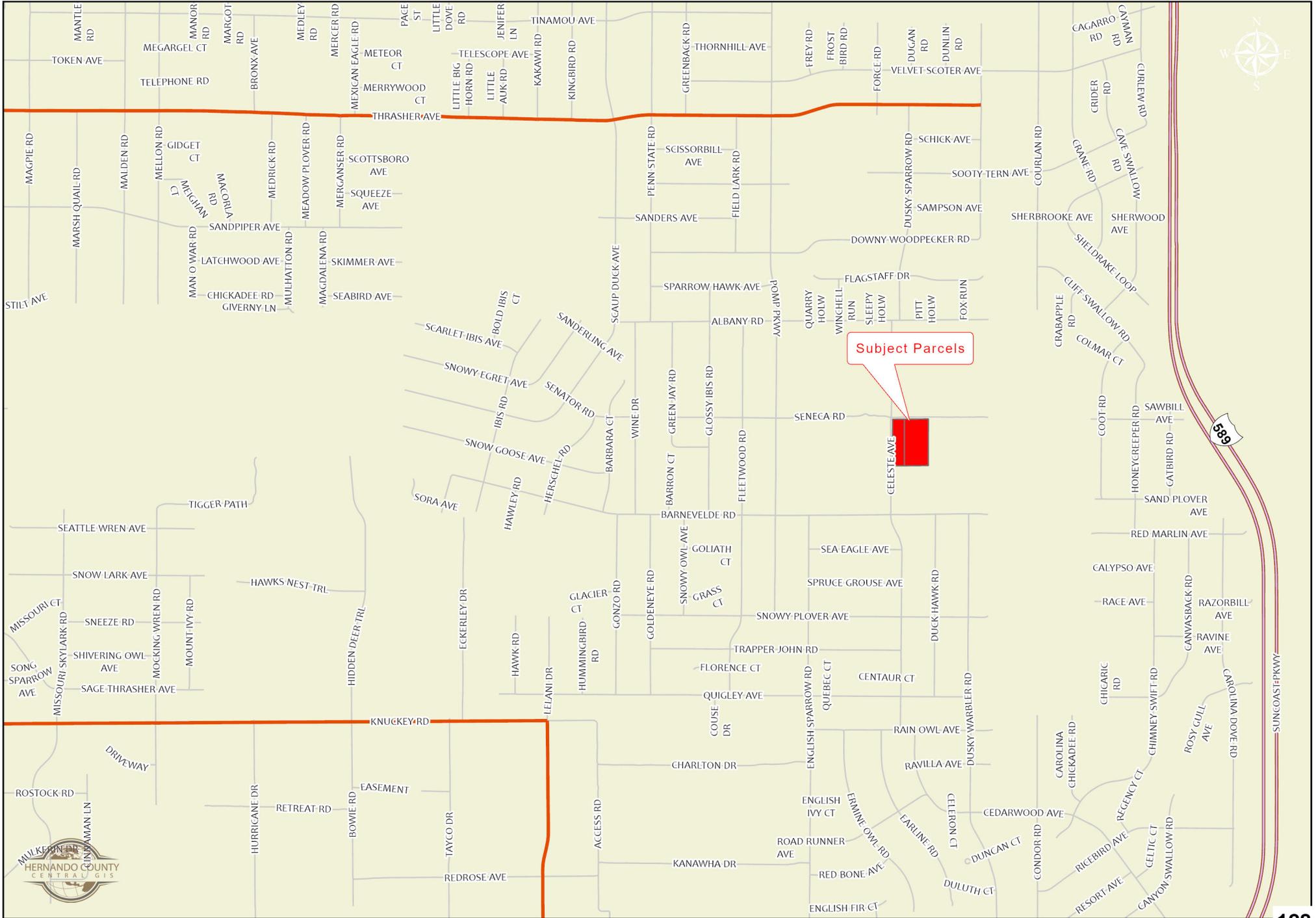


Date of mapping: 09/17/2024



# H-24-51 AREA MAP

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



Subject Parcels



# H-24-51

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.

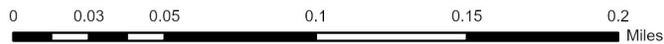


Subject Parcels

**Zoning:**

AC	PDP(HC)
AG	PDP(HHC)
AR	PDP(HID)
AR1	PDP(IND)
AR2	PDP(LI)
C1	PDP(MF)
C2	PDP(MH)
C3	PDP(NC)
C4	PDP(OP)
CITY	PDP(PSF)
CM1	PDP(REC)
CM2	PDP(RR)
CPDP	PDP(RUR)
CV	PDP(SF)
I1	PDP(SU)
I2	R1A
M	R1B
OP	R1C
PDP(AF)	R1MH
PDP(CM)	R2
PDP(CP)	R2.5
PDP(GC)	R3
PDP(GHC)	RC
	RM

City Zoning Pending





## AGENDA ITEM

### TITLE

Rezoning Petition Submitted by William Fout and Vanessa Fox (H-24-52)

### BRIEF OVERVIEW

**Request:**

Rezoning from R-1C (Residential) to AR (Agricultural/Residential)

**General Location:**

West side of Mountain Mockingbird Road, approximately 370' north of Hexam Road

### FINANCIAL IMPACT

A matter of policy. There is no financial impact.

### LEGAL NOTE

The Planning and Zoning Commission has jurisdiction to make a recommendation on the subject application. The Applicable Criteria for a Zoning District Amendment are contained in Appendix A, (Zoning Code) Article VI. The Zoning District Amendment must be consistent with the Comprehensive Plan.

The notice requirements of Appx. A, Art. VI, Sec. 7 of the Hernando County Code have been complied with.

### RECOMMENDATION

It is recommended that the Planning and Zoning Commission recommend the Board of County Commissioners adopt a Resolution approving the petitioner's request for rezoning from R-1C (Residential) to AR (Agricultural/Residential).

### REVIEW PROCESS

Omar DePablo	Approved	10/31/2024	6:49 AM
Toni Brady	Approved	10/31/2024	9:11 AM
Pamela Hare	Approved	10/31/2024	9:48 AM
Melissa Tartaglia	Approved	10/31/2024	12:41 PM
Danielle Nigro	Approved	10/31/2024	1:22 PM

<b>RESULT:</b>	<b>ADOPTED</b>
<b>MOVER:</b>	Jonathan McDonald
<b>SECONDER:</b>	Kathryn Birren
<b>AYES:</b>	Hickey, Birren, McDonald and Morgan
<b>NAYES:</b>	Holmes
<b>NON VOTING:</b>	Noe



HERNANDO COUNTY ZONING AMENDMENT PETITION



Application to Change a Zoning Classification

Application request (check one):

- Rezoning [ ] Standard [ ] PDP
Master Plan [ ] New [ ] Revised
PSFOD [ ] Communication Tower [ ] Other
PRINT OR TYPE ALL INFORMATION

File No. \_\_\_\_\_ Official Date Stamp:
H-24-52
Received
AUG 2 2024
Planning Department
Hernando County, Florida

Date: 8/1/24

APPLICANT NAME: William Zachary Fout and Vanessa Fox
Address: 11130 Mountain Mockingbird Rd
City: Weeki Wachee State: FL Zip: 34614
Phone: 727 644 9968 Email: wfout@pasco.k12.fl.us and vmfox@pasco.k12.fl.us
Property owner's name: (if not the applicant)

REPRESENTATIVE/CONTACT NAME:
Company Name:
Address:
City: State: Zip:
Phone: Email:

HOME OWNERS ASSOCIATION: [ ] Yes [X] No (if applicable provide name)
Contact Name:
Address: City: State: Zip:

PROPERTY INFORMATION:
1. PARCEL(S) KEY NUMBER(S): R01221173340 032 10110, 00719574
2. SECTION 22, TOWNSHIP 18, RANGE 1
3. Current zoning classification: RIC
4. Desired zoning classification: AR
5. Size of area covered by application: 2.39 acres
6. Highway and street boundaries: Hexam / Mountain Mockingbird
7. Has a public hearing been held on this property within the past twelve months? [ ] Yes [X] No
8. Will expert witness(es) be utilized during the public hearings? [ ] Yes [X] No (If yes, identify on an attached list.)
9. Will additional time be required during the public hearing(s) and how much? [ ] Yes [X] No (Time needed: none)

PROPERTY OWNER AFFIDIVAT

I, William Z. Fout and Vanessa M. Fox, have thoroughly examined the instructions for filing this application and state and affirm that all information submitted within this petition are true and correct to the best of my knowledge and belief and are a matter of public record, and that (check one):

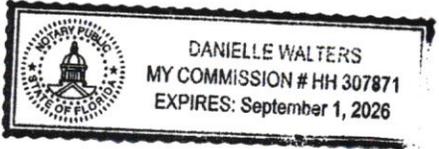
- [X] I am the owner of the property and am making this application OR
[ ] I am the owner of the property and am authorizing (applicant):
and (representative, if applicable):
to submit an application for the described property.

Signature of Property Owner

STATE OF FLORIDA
COUNTY OF HERNANDO

The foregoing instrument was acknowledged before me by means of [X] physical presence or [ ] online notarization, this August 24, 2024, by William Zachary Fout & Vanessa Fox who is [ ] personally known to me or [X] produced fid as identification.

Signature of Notary Public



Effective Date: 05/15/20 Last Revision: 05/15/20

Notary Seal/Stamp

**Narrative/Description of Request/Project**

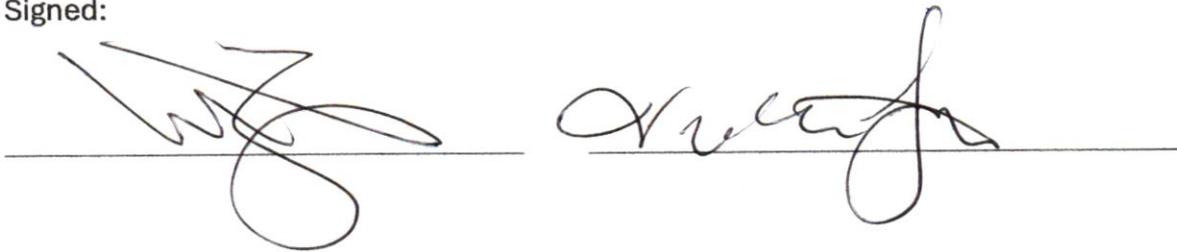
Regarding: 11130 Mountain Mockingbird Rd, Weeki Wachee, 34614

Owners Names: William Z. Fout and Vanessa M. Fox

Date: 8/1/24

We are requesting our property zone to be changed from R1C to AR because we would like to have a horse live on our property.

Signed:

Two handwritten signatures are written over a horizontal line. The signature on the left is for William Z. Fout, and the signature on the right is for Vanessa M. Fox.

Received

AUG 02 2024

Planning Department  
Hernando County, Florida

## STAFF REPORT

---

**HEARINGS:** Planning & Zoning Commission: November 4, 2024  
Board of County Commissioners: December 17, 2024

**APPLICANT:** William Z. Fout and Vanessa Fox

**FILE NUMBER:** H-24-52

**REQUEST:** Rezoning from R-1C (Residential) to AR (Agricultural/Residential)

**GENERAL LOCATION:** West side of Mountain Mockingbird Road, approximately 370' north of Hexam Road

**PARCEL KEY NUMBER:** 719574

---

### APPLICANT'S REQUEST

The petitioner is requesting a rezoning of the subject site from R-1C (Residential) to AR (Agricultural/Residential) for the purpose of having a horse on their 2.40 acre parcel. The property has an existing 1,566 square foot home. No other changes are proposed for the parcel.

### SITE CHARACTERISTICS

**Site Size:** 2.40 acres

**Surrounding Zoning;  
Land Uses:** North:R-1C; Residential  
South:R-1C; Residential  
East:R-1C; Residential  
West:R-1C; Residential

**Current Zoning:** R-1C (Residential)

**Future Land Use  
Map Designation:** Residential

### UTILITIES REVIEW

Hernando County Utilities Department (HCUD) does not currently supply water or sewer service to this parcel and water and sewer services are not available. HCUD has no objection to the requested zoning change.

---

## ENGINEERING REVIEW

The property is located on west side of Mountain Mockingbird Road, approximately 370' north of Hexam Road. The parcel has an existing home and driveway. No changes are being proposed. The County Engineer has reviewed the petitioners' request and indicated no stormwater or traffic concerns.

## LAND USE REVIEW

Minimum AR (Agricultural/Residential) Building Setbacks:

- Front: 50'
- Side: 10'
- Rear: 35'

The AR district is designed to allow the continued development of low-density, single-family housing. The Hernando County Code of Ordinances, Appendix A, Article IV, Section 13 identifies the permitted uses within the AR zoning district as follows:

A. The following regulations apply to agricultural/residential districts as indicated:

(1) Permitted uses:

(a) All agricultural/residential districts:

- i. Aquaculture
- ii. Grazing livestock at the rate of one mature animal and offspring less than one year of age, per acre.
- iii. Poultry and swine for home consumption maintained at least seventy-five (75) feet from adjacent property.
- iv. Horticultural specialty farms, including the cultivation of crops.
- v. Accessory structures related to the principal use of the land.
- vi. Pigeon aviaries with a maximum of 1,500 square feet of area devoted to housing pigeons per acre.
- vii. Sales on the premises of permitted agricultural products produced on the premises: provided that where such products are sold from roadside stands, such stand shall be set back a safe distance from any public street right-of-way and shall provide for automobile access and off-street parking space in such a manner so as to not create an undue traffic hazard on the street on which such roadside stand is located.

(b) Agricultural/Residential:

- i. Single-family dwellings

---

**COMPREHENSIVE PLAN REVIEW****Residential Mapping Criteria**

The Residential Category is designed to accommodate a variety of residential and support uses at varying densities and types located in areas primarily clustered in and around the Adjusted Urbanized Area and those areas that maximize the efficient use of existing and planned infrastructure.

**Residential Category**

Objective 1.04B: The Residential Category allows primarily single family, duplex, resort and multi-family housing and associated ancillary uses such as recreational and institutional. Office and certain commercial uses may be allowed subject to the locational criteria and performance standards of this Plan. Residential density shall not exceed 22 dwelling units per gross acre.

**Comments:** The parcel is within the Residential Land Use classification and is surrounded by residential parcels that are 1.25 acres or larger. The AR (Agricultural Residential) district is a low density (1 DU/AC) transitional district that provides for quasi agricultural uses.

The area is predominately R-1C (Residential) which limits development to site built homes. The petitioner is requesting AR (Agricultural Residential) which also limits structures to site built homes. The change in zoning would not affect the character of the surrounding area but would allow one (1) hooved animal per acre. The petitioner's parcel is 2.40 acres. The parcel acreage would afford the petitioner two (2) hooved animals. The petitioner has proposed a single horse.

**FINDINGS OF FACT**

The request for a rezoning from R-1C (Residential) to AR (Agricultural/Residential) is appropriate based on consistency with the County's adopted Comprehensive Plan and the surrounding area.

**NOTICE OF APPLICANT RESPONSIBILITY**

*The rezoning process is a land use determination and does not constitute a permit for either construction on, or use of, the property, or a Certificate of Concurrence. Prior to use of, or construction on, the property, the petitioner must receive approval from the appropriate County department(s) for the proposed use.*

*The granting of this land use determination does not protect the owner from civil liability for recorded deed restrictions which may exceed any county land use ordinances. Homeowner associations or architectural review committees require submission of plans for review and*

*approval. The applicant for this land use request should contact the local association or the Public Records for all restrictions applicable to this property.*

**STAFF RECOMMENDATION**

It is recommended that the Planning and Zoning Commission recommend the Board of County Commissioners adopt a Resolution approving the petitioner's request for rezoning from R-1C (Residential) to AR (Agricultural/Residential)



# H-24-52

Photo date: 2023

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



# Hernando County Comprehensive Plan Map

Existing Future Land Use: H-24-52  
Version Date: 12/09/2022



**H-24-52**

FLU Riverine District

Regional Commercial

**FLU**

- CITY
- COMMERCIAL
- CONSERVATION
- EDUCATION
- INDUSTRIAL
- MINING
- PLANNED DEVELOPMENT
- PUBLIC FACILITIES
- RECREATION
- RESIDENTIAL
- RURAL

**Future Land Use Map**

PLEASE REFER TO THE TEXT PORTION OF THE COMPREHENSIVE PLAN IN CONJUNCTION WITH THE USE OF THE FUTURE LAND USE MAP SERIES.

NOTE: THE RIVERINE DISTRICT IS SHOWN AS A LINE SETBACK PARALLEL TO THE WEEKI WACHEE, MUD AND WITHLACOOCHEE RIVERS.

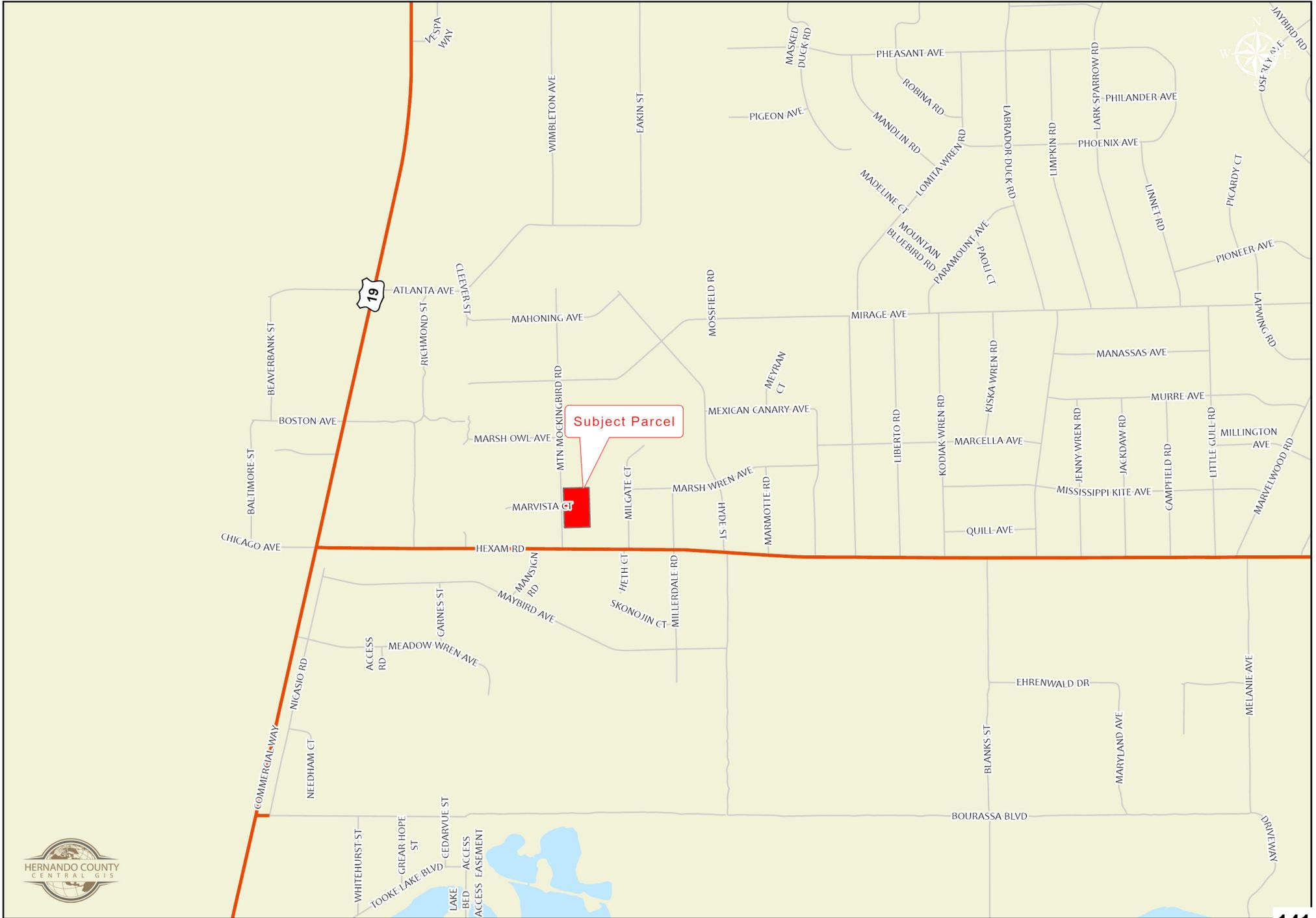


Date of mapping: 09/17/2024



# H-24-52 AREA MAP

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



# H-24-52

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



**Zoning:**

AC	PDP(HC)
AG	PDP(HHC)
AR	PDP(HID)
AR1	PDP(IND)
AR2	PDP(LI)
C1	PDP(MF)
C2	PDP(MH)
C3	PDP(NC)
C4	PDP(OP)
CITY	PDP(PSF)
CM1	PDP(REC)
CM2	PDP(RR)
CPDP	PDP(RUR)
CV	PDP(SF)
I1	PDP(SU)
I2	R1A
M	R1B
OP	R1C
PDP(AF)	R1MH
PDP(CM)	R2
PDP(CP)	R2.5
PDP(GC)	R3
PDP(GHC)	RC
	RM

City Zoning Pending





## Planning & Zoning Commission

### AGENDA ITEM

Meeting: 11/04/2024  
Department: Planning  
Prepared By: Danielle Nigro  
Initiator: Omar DePablo  
DOC ID: 14759  
Legal Request Number:  
Bid/Contract Number:

#### TITLE

Rezoning Petition Submitted by A.R.E. Investment Ventures, Inc. (H-24-46)

#### BRIEF OVERVIEW

##### Request:

Rezoning from R-1B (Residential) and C-1 (General Commercial) to PDP(GHC)/Planned Development Project (General Highway Commercial) with a Specific Use of Alcohol Dispensation and Outdoor Entertainment with deviations

##### General Location:

West side of Broad Street, approximately 152' South of Chatfield Drive and half a mile north of Croom Road.

#### FINANCIAL IMPACT

A matter of policy. There is no financial impact.

#### LEGAL NOTE

The Planning and Zoning Commission has jurisdiction to make a recommendation on the subject application. The Applicable Criteria for a Zoning District Amendment are contained in Appendix A, (Zoning Code) Article VI. The Applicable Criteria for Planned Development Projects are contained in Appendix A, (Zoning Code) Article VIII. The Zoning District Amendment to the Planned Development District and applicable PDP master plan must be consistent with the Comprehensive Plan.

The notice requirements of Appx. A, Art. VI, Sec. 7 of the Hernando County Code have been complied with.

#### RECOMMENDATION

It is recommended that the Planning and Zoning Commission recommend the Board of County Commissioners adopt a resolution approving the petitioner's request for a rezoning from R-1B (Residential) and C-1 (General Commercial) to PDP(GHC)/Planned Development Project (General Highway Commercial) with a Specific Use of Alcohol Dispensation and Outdoor Entertainment with deviations.

#### REVIEW PROCESS

Omar DePablo	Approved	10/31/2024	8:46 AM
Toni Brady	Approved	10/31/2024	9:03 AM
Pamela Hare	Approved	10/31/2024	9:33 AM
Melissa Tartaglia	Approved	10/31/2024	12:37 PM
Danielle Nigro	Approved	10/31/2024	1:24 PM

**RESULT:**     **ADOPTED**  
**MOVER:**     W. Steven Hickey  
**SECONDER:** Jonathan McDonald  
**AYES:**     Holmes, Hickey, Birren, McDonald and Morgan  
**ABSENT:**    Noe

HERNANDO COUNTY ZONING AMENDMENT PETITION



Application to Change a Zoning Classification

Application request (check one):

- Rezoning [ ] Standard [x] PDP
Master Plan [ ] New [ ] Revised
PSFOD [ ] Communication Tower [ ] Other
PRINT OR TYPE ALL INFORMATION

File No. \_\_\_\_\_ Official Date Stamp:
H-24-46
Received
AUG 7 2024
Planning Department
Hernando County, Florida

Date: 08/07/2024

APPLICANT NAME: A.R.E. Investment Ventures, Inc.

Address: 12 S. Main Street
City: Brooksville State: FL Zip: 34601
Phone: 352-593-4255 Email: permitting@procivil260.com
Property owner's name: (if not the applicant) A.R.E. Investment Ventures, Inc.

REPRESENTATIVE/CONTACT NAME: Alan Garman

Company Name: A.R.E. Investment Ventures, Inc.
Address: 12 S. Main Street
City: Brooksville State: FL Zip: 34601
Phone: 352-593-4255 Email: permitting@procivil360.com

HOME OWNERS ASSOCIATION: [ ] Yes [x] No (if applicable provide name)

Contact Name:
Address: City: State: Zip:

PROPERTY INFORMATION:

- 1. PARCEL(S) KEY NUMBER(S): 350710, 350621
2. SECTION 14 TOWNSHIP 22 RANGE 19
3. Current zoning classification: R1B, C-1
4. Desired zoning classification: PDP(GHC) with Specific Use of Alcoholic Dispensation & Outside Entertainment
5. Size of area covered by application: 1.6 Acres
6. Highway and street boundaries: Broad Street North
7. Has a public hearing been held on this property within the past twelve months? [ ] Yes [x] No
8. Will expert witness(es) be utilized during the public hearings? [ ] Yes [x] No (If yes, identify on an attached list.)
9. Will additional time be required during the public hearing(s) and how much? [ ] Yes [x] No (Time needed: )

PROPERTY OWNER AFFIDIVAT

I, ALAN GARMAN, have thoroughly examined the instructions for filing this application and state and affirm that all information submitted within this petition are true and correct to the best of my knowledge and belief and are a matter of public record, and that (check one):

- [x] I am the owner of the property and am making this application OR
[ ] I am the owner of the property and am authorizing (applicant):
and (representative, if applicable):
to submit an application for the described property.

Alan R. Garman
Signature of Property Owner

STATE OF FLORIDA
COUNTY OF HERNANDO

The foregoing instrument was acknowledged before me this 7th day of August, 2024, by Alan Garman who is personally known to me or produced as identification.

Signature of Notary Public



Effective Date: 11/8/16 Last Revision: 11/8/16

Notary Seal/Stamp



12 S. MAIN STREET, BROOKSVILLE, FL 34601  
 352-593-4255  
[www.procivil360.com](http://www.procivil360.com)

## ENGINEER'S NARRATIVE FOR THE WHEEL-IN, LLC.

**History:** This is an existing tavern which has been in existence since the 50's. The address is 10123 Broad Street. The tavern has had multiple owners throughout the years. Most recently it was known as the Rebar. It has been renamed back to the Wheel however, for sentimental reasons. The original building appears to have been constructed in 1950. The Site contains a home, with driveways on Comerwood and Ainsworth. The lots are part of the Spring Hill Unit 13 plat

**Location:** This Site is located on the west side of US 41 (Broad Street) at 10123 Broad Street. It is about 0.5 miles north of Croom Road. To the south is a mobile home / RV Park. To the north is an abandoned home. To the west are homes, some livable, some not. To the east is US 41 and a new residential planned community.

3/4/24, 12:10 PM <https://www.hernandocountyfl.us/Propertysearch/printmap.htm?visiblayers=1,4,5,6,7,8,9,14,36&extent=535191,0085670596,1541031,1345109>



Milk -A- Way Farms  
Approved Development

PROJECT

<b>Hernando County Property Appraiser</b>	
John C. Emerson, CFA, Brooksville, Florida - 352-754-4190	
PARCEL: R14 422 19 0000 0290 0000	KEY: 358621
A LOT 300X718FT MOJ IN SW 1/4 OF NE 1/4 & SE 1/4 OF NW 1/4 DES IN ORD 1601 P/L 1874	
Name:	A R F INVESTMENT VENTURES INC
Site:	0 BROAD ST
Mail:	14498 PONCE DE LEON BLVD BROOKSVILLE FL 34601-4402
Last Sale:	06/20/2003 \$50,200.00 (HM)
Levy Code:	unde/ined

<https://www.hernandocountyfl.us/Propertysearch/printmap.htm?visiblayers=1,4,5,6,7,8,9,14,36&extent=535191,0085670596,1541031,1345109157,536...> 1/1

**Present Zoning:** This north parcel is currently zoned R1-B and contains a small home which has been used in the past for the Manager / Caretaker. The south parcel is zoned C-1 has been declared a non-conforming use in a C-1 District over the years.

- North: Res
- East: Res
- South: Mobile Hom / RV Park
- West: Res



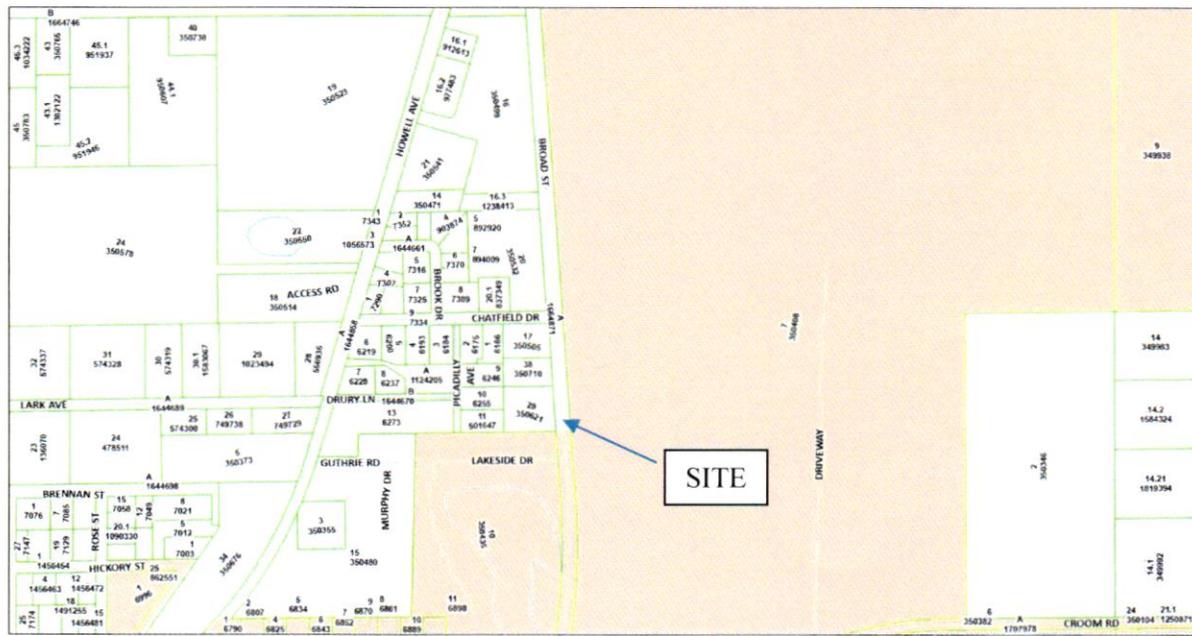
**Proposed Zoning:** The application is to rezone the entire 1.6 acres to PDP-GHC with a specific use of a Tavern or other place which could serve alcoholic beverages, to include areas for outdoor entertainment As shown on the master plan.

(2) Permitted uses in a C-2 Highway Commercial District shall be as follows

(i) Alcoholic beverage dispensation

**Flum Mapping:** The map below represents mapping from Hernando County GIS. It shows the area to the east as being within the City limits. The project is included in an area outside the City, but contiguous. The land use for that areas is designated as Residential. **This Tavern has been located on these premises since 1950, so the neighborhood is aware of it's existence.**

Hernando County Zoning/Flu Map



8/7/2024, 8:25:41 AM

- Brooksville City Boundary
- Rivers
- Streets
- Parcels
- Parcels (Labels)



Hernando County Central GIS  
 Hernando County Central GIS





12 S. MAIN STREET, BROOKSVILLE, FL 34601  
352-593-4255  
[www.procivil360.com](http://www.procivil360.com)

---

**Drainage Considerations:** The site existed prior to drainage permitting rules in effect today. Should future plans include any improvements, which would affect drainage characteristics, they shall be limited to the following criteria: *No new impervious area more than 4000 sf for any outside improvements, and no more than 5,000 sf for building additions.* This will maintain the existing facility within the guidelines of SWFWMD, thereby not requiring any new stormwater improvements.

FEMA mapping determines the base flood elevation to be 78.9 MSL. The surveyed floor elevation is 78.81 MSL, slightly (1 inch) below that threshold. There is an area in the southeast corner, near the FDOT right-of-way and storm drain crossing which lies below the BFE. Elevations in this area range from 75.5 up to 78.2. Care shall be taken not to alter the available storage below the flood plain as the Owners are aware of past flooding problems in this neighborhood.

**Buffers:** Natural Buffers existing along the south, west, and north lines. Some of the debris within these buffers have been cleared, but the buffer is still opaque against the neighboring properties. These buffers are larger than the requirement of 5' as per County code, but notes have been added to maintain a minimum of 5'.

**Traffic:** Traffic generation should not be increased in the area due to the improvements remaining the same; except for special occasions which are expected monthly, most likely to occur weekends. The latest ITE Manual (11<sup>th</sup> Edition) states drinking places (911) are to be rated at 11.36 peak hour trips per 1000 sf of service area. The existing service area is **955** sf. Therefore  $955/1000 * 11.36 = 11$  peak hour trips.

The addition of a pole barn (30'x 40') **1,200** sf should be expected to generate an additional 13.6 peak hour trips. For a total of **25 peak hour trips**.

## STAFF REPORT

---

**HEARINGS:** Planning & Zoning Commission: November 4, 2024  
Board of County Commissioners: December 17, 2024

**APPLICANT:** A.R.E. Investment Ventures, Inc

**FILE NUMBER:** H-24-46

**REQUEST:** Rezoning from R-1B(Residential) and C-1(General Commercial) to PDP(GHC)/Planned Development Project (General Highway Commercial) with a Specific Use of Alcohol Dispensation and Outdoor Entertainment with deviations

**GENERAL LOCATION:** West side of Broad Street, approximately 152' South of Chatfield Drive and half a mile north of Croom Road.

**PARCEL KEY:** 350710, 350621

---

### APPLICANT'S REQUEST:

The petitioner is requesting a rezoning from R-1B(Residential) and C-1(General Commercial) to PDP(GHC)/Planned Development Project (General Highway Commercial) with a specific use of Alcohol Dispensation and Outdoor Entertainment. The 1.60-acre parcel is currently split zoned with 0.60 acres as R-1B(Residential) on the northside of the property and 1.00 acre C-1(General Highway Commercial) to the south side. The petitioner is proposing to rezone the entire 1.60 acre parcel to PDP(GHC)/Planned Development Project (General Highway Commercial). The existing tavern has been in existence since the 1950's and has been considered a legal non-conforming use. The petitioner is proposing to expand the current tavern with outdoor entertainments space and changing the single family home to a caretakers lodging. According to the county LDR's any nonconforming use that ceases operation for more than a year or expands the use will be considered nonconforming and required to be brought to current County standards.

- Deviations for pre-existing structures and proposed pole barn
- Deviation to Residential Protection Standard on south side from 100' to 96.80'

### SITE CHARACTERISTICS:

<b>Site Size:</b>	1.60 acres
<b>Surrounding Zoning &amp; Land Uses:</b>	North: R1B; Residential South: City of Brooksville; Mobile homes East: City of Brooksville; West: R1B; Residential
<b>Current Zoning:</b>	R-1B (Residential) and C-1 (General Commercial)
<b>Future Land Use Map Designation:</b>	Residential

**ENVIRONMENTAL REVIEW:**

<b>Soil Type:</b>	Nobleton Fine Sand
<b>Hydrologic Features:</b>	The property does not contain wetlands or Wellhead Protection Areas (WHPA) according to County data resources.
<b>Protection Features:</b>	The property contains no Special Protection Area (SPA) according to County data resources.
<b>Comments:</b>	The petitioner shall meet the minimum recommendations of the Florida Yards & Neighborhoods (FYN) Program for design techniques and principles for all required landscaping.

**UTILITIES REVIEW:**

Hernando County Utilities Department (HCUD) does not currently supply water or sewer service to this parcel. This parcel is located within the City of Brooksville Utility Department's (CBUD) first right to serve district.

**Comments:** The petitioner shall reach out to the City of Brooksville for utilities systems at time of vertical construction.

**ENGINEERING REVIEW:**

The subject site is located on the west side of Broad Street, approximately 152' south of Chatfield Drive and half a mile north of Croom Road. The County Engineer has reviewed the petitioners' request and indicated the following:

- Subject site is located in Blue Sink Watershed. FEMA Flood Insurance Rate map number 12053C0184D, effective on 2/2/2012 identifies flood zone AE at elevation 79.5. Narrative submitted misidentifies the property as Zone "A" and lists a lower BFE.
- A Traffic Access Analysis may be required.
- A driveway connection permit from FDOT is needed. A FDOT Drainage permit may be required.
- The driveway connection will need to meet FDOT standards.
- A sidewalk on Broad Street (US Hwy 41) for the entire property frontage may be required by FDOT.
- A sidewalk connection will be required from the building to the sidewalk along Broad Street (US Hwy 41).
- Parking spaces (including Disabled parking spaces), drive aisles, signage and pavement markings will need to meet County Standards.

## LAND USE REVIEW:

### Minimum Building setbacks

#### **Existing Tavern**

Broad Street	54.33' (Deviation from 125')
Side:	20'
Rear:	123'

#### **Proposed Pole Barn**

Broad Street	54.33' (Deviation from 125')
Side:	96.8
Rear:	121'

#### **Existing Caretakers home**

Broad Street	84.05' (Deviation from 125')
Side:	59.21'
Rear:	8'

### Parking

County LDRs requires 0.5 parking spaces per seat for the existing Tavern having 50 seats and 0.3 parking spaces for proposed Pole Barn Entertainment area of 50 seats.

**Comments:** The petitioner has advised there are 50 existing parking spaces, one (1) improved ADA Complaint parking space and proposed motorcycle pole barn for 10 motorcycle parking spaces, for a total of 61 parking spaces. If approved, the petitioner must meet the minimum parking requirements of the County's LDRs.

### Landscaping:

The petitioner must meet the minimum requirements of Florida Friendly Landscaping™ publications for design techniques, principles, materials, and plantings for required landscaping.

### **Buffers**

The minimum commercial buffer shall consist of a 5' landscaped separation distance. The petitioner shall be required to preserve or enhance existing vegetation to reach a minimum opacity of 80% around the entire perimeter of the development. The petitioner shall have a minimum height of five (5) [feet] and a maximum height of eight (8) feet, or an evergreen hedge with a minimum height of five (5) feet at the time of planting.

**Comments:** The petitioner has indicated a 5' vegetative buffer around the property.

### **Lighting:**

County LDRs require lighting that enhances the visual impact of the project on the community and specifically addresses lighting intensity levels and glare accordingly. Commercial buildings and projects shall be designed to provide safe, convenient and efficient lighting for pedestrians and vehicles.

**Comments:** The petitioner has not indicated any provisions for lighting of the subject property. If approved, the petitioner should be required to provide full cutoff fixtures and retain all light on-site and prevent any light spillage onto neighboring properties.

### **Special Regulations**

Residential Protection Standards in all commercial or industrial PDPs shall be subject to the following unless modified by section 6. B. herein,

- (1) There shall be no speakers or other sound equipment located within 100 feet of any single family residential district property line.
- (2) There shall be no buildings containing alcoholic beverage dispensation establishments, convenience stores, or automotive and truck repair establishments located within 100 feet of any single family residential district property line.
- (3) No commercial activities which include customer entrances, drive-up windows, ordering boxes, or loading/unloading areas shall be allowed to operate between the hours of 12 midnight and 7:00 a.m. within 100 feet of any single family residential district property line.
- (4) No building within 100 feet of any single family residential district property line shall be more than 20 feet in height.
- (5) All loading bays and loading docks must be a minimum of 100' from any single family residential district property line. Additionally, all loading bays and loading docks must be screened from view from the public right-of-way or single family residential district property line. Screening may include landscape plantings, berms, fences or walls.

- (6) Air conditioning and/or other operational equipment must be oriented away from single family residentially zoned property or screened to minimize noise impacts and reduce visual incompatibility to the single family residentially zoned property. Screening may include landscape plantings, berms, fences or walls.

**Comments:** The petitioner is requesting a deviation from the Residential Protection Standards 1, 2, 3, and 4 from 100 feet to 96.8 feet (3.20 feet)

**COMPREHENSIVE PLAN REVIEW:**

**Objective 1.04B:** The Residential Category allows primarily single family, duplex, resort and multi-family housing and associated ancillary uses such as recreational and institutional. Office and certain commercial uses may be allowed subject to the locational criteria and performance standards of this Plan. Residential density shall not exceed 22 dwelling units per gross acre.

**Strategy 1.04B(1):** Commercial and institutional uses within the Residential Category are generally associated with medium and high density residential development and may include neighborhood commercial, office professional, recreational, schools, and hospitals. Minor public facilities that do not unduly disturb the peaceful enjoyment of residential uses may also be allowed.

**Strategy 1.04B(2):** Future residential development will be planned to locate where the Residential Category predominates on the Future Land Use Map as determined by the availability of facilities and services, the need to accommodate future growth, the strategies to discourage the proliferation of urban sprawl, and the impacts to natural resources, including groundwater.

**FINDING OF FACTS:**

A rezoning from R-1B(Residential) and C-1(General Commercial) to PDP(GHC)/Planned Development Project (General Highway Commercial) with a Specific Use of Alcohol Dispensation and Outdoor Entertainment with is compatible with the surrounding area and consistant with the Comprehensive Plan.

**NOTICE OF APPLICANT RESPONSIBILITY:**

*The rezoning process is a land use determination and does not constitute a permit for either construction on, or use of, the property, or a Certificate of Concurrency. Prior to*

use of, or construction on, the property, the petitioner must receive approval from the appropriate County department(s) for the proposed use.

The granting of this land use determination does not protect the owner from civil liability for recorded deed restrictions which may exceed any county land use ordinances. Homeowner’s associations or architectural review committees require submission of plans for review and approval. The applicant for this land use request should contact the local association or the Public Records for all restrictions applicable to this property.

**STAFF RECOMMENDATION:**

It is recommended that the Planning and Zoning Commission recommend the Board of County Commissioners adopt a resolution approving the petitioner’s request for a rezoning from R-1B(Residential) and C-1(General Commercial) to PDP(GHC)/Planned Development Project (General Highway Commercial) with a Specific Use of Alcohol Dispensation and Outdoor Entertainment with deviations.

1. The petitioner must obtain all permits from Hernando County and other applicable agencies and meet all applicable land development regulations, for either construction or use of the property, and complete all applicable development review processes.
2. The petitioner shall provide a minimum 5’ vegetative buffer between parcels, and deviation of the County’s LDRs for remaining buffers.
3. The petitioner must meet the minimum requirements of Florida Friendly Landscaping™ publications and the Florida Yards and Neighborhoods Program for design techniques, principles, materials, and plantings for required landscaping

4. Minimum Building setbacks

Existing Tavern

- Broad Street 54.33 (Deviation from 125’)
- Side: 20’
- Rear: 123’

Proposed Pole Barn

- Broad Street 55.21 (Deviation from 125’)
- Side: 98.29’
- Rear: 121’

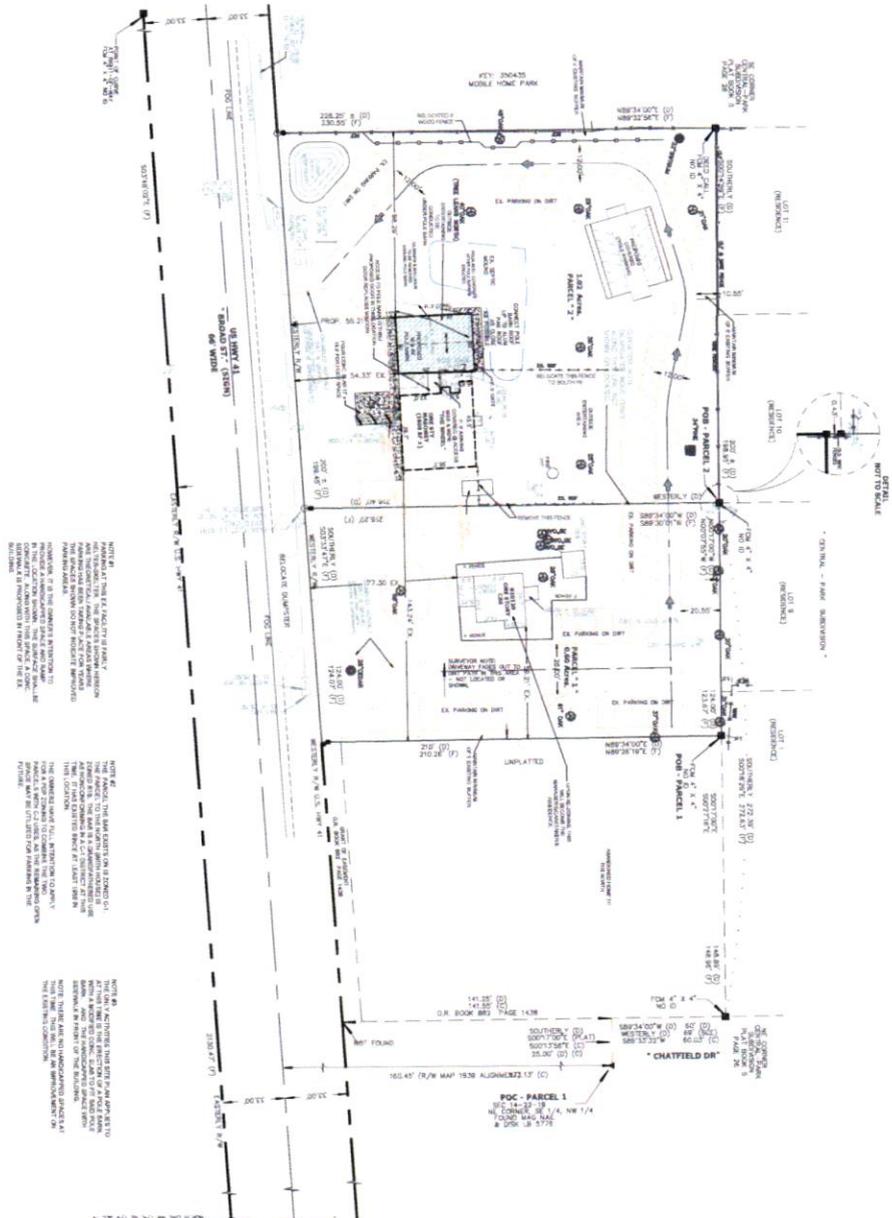
Existing Caretakers home

- Broad Street 84.05 (Deviation from 125’)
- Side: 59.21’
- Rear: 8’

5. The petitioner shall be required to provide full cutoff fixtures and retain all light on-site and prevent any light spillage.
6. The petitioner shall be required to do a traffic analysis is required at the time of development. Any improvements identified by the Traffic Access Analysis shall be the responsibility of the developer.
7. The petitioner shall be required to construct the driveway connection to meet FDOT standards.
8. An FDOT driveway connection permit and drainage permit shall be required.
9. The petitioner shall be required to install a sidewalk along Broad Street (US Hwy 41) for the entire property frontage may be required by FDOT.
10. The petitioner shall install a sidewalk to connect the building to the sidewalk along Broad Street (US Hwy 41)
11. The petitioner shall provide parking spaces (including Disabled parking spaces), drive aisles, signage and pavement markings will need to meet County Standards.
12. The petitioner shall coordinate with the City of Brooksville for utilities systems at time of vertical construction.
13. The petitioner shall provide a master plan in compliance with all of the performance conditions within 30 calendar days of BCC approval. Failure to submit the revised plan will result in no further development permits being issued.

**LEGEND**

	CONCRETE WHEEL TYP
	TYPICAL
	CONCRETE SURFACE
	ASPHALT SURFACE



**NOTE #1:** THE LAND DESCRIBED ON THIS PLAN IS THE PROPERTY OF A.R.E. INVESTMENT VENTURES, INC. AND IS SUBJECT TO THE TERMS AND CONDITIONS OF THE DEED OF CONVEYANCE AND THE PLANNING AND ZONING ORDINANCES OF HERNANDO COUNTY, FLORIDA. THE SURVEY IS BASED ON THE SURVEYED LOCATION OF EX. IMPROVEMENTS.

**NOTE #2:** THE LAND DESCRIBED ON THIS PLAN IS THE PROPERTY OF A.R.E. INVESTMENT VENTURES, INC. AND IS SUBJECT TO THE TERMS AND CONDITIONS OF THE DEED OF CONVEYANCE AND THE PLANNING AND ZONING ORDINANCES OF HERNANDO COUNTY, FLORIDA. THE SURVEY IS BASED ON THE SURVEYED LOCATION OF EX. IMPROVEMENTS.

**NOTE #3:** THE LAND DESCRIBED ON THIS PLAN IS THE PROPERTY OF A.R.E. INVESTMENT VENTURES, INC. AND IS SUBJECT TO THE TERMS AND CONDITIONS OF THE DEED OF CONVEYANCE AND THE PLANNING AND ZONING ORDINANCES OF HERNANDO COUNTY, FLORIDA. THE SURVEY IS BASED ON THE SURVEYED LOCATION OF EX. IMPROVEMENTS.



A SURVEY WAS PERFORMED BY TEGRITY LAND SOLUTIONS, SITE PLAN BASED ON SURVEYED LOCATION OF EX. IMPROVEMENTS.

PROGRAM BY	AKS
SCALE	1" = 20'
DATE	07/07/24
REV	14
DATE	07/07/24
BY	AKS
DATE	07/07/24
NO. NUMBER	2024

**PRO-CIVIL 360**

CIVIL ENGINEERING/RESIDENTIAL & COMMERCIAL SITE DEVELOPMENT / PLANNING & ZONING / PERMITTING / CONSTRUCTION SERVICES

12 SOUTH MAIN STREET, BROOKVILLE, FL 34601 PHONE: (850) 583-4255  
WWW.PRO-CIVIL360.COM

LARRY D. BOONE  
REGISTERED AND APPROVED  
SINCE 05/08

A.R.E. INVESTMENT VENTURES, INC.  
HERNANDO COUNTY  
MASTER PLAN

DATE: 07/07/24  
REV BY: 14/07/24

# H-24-46

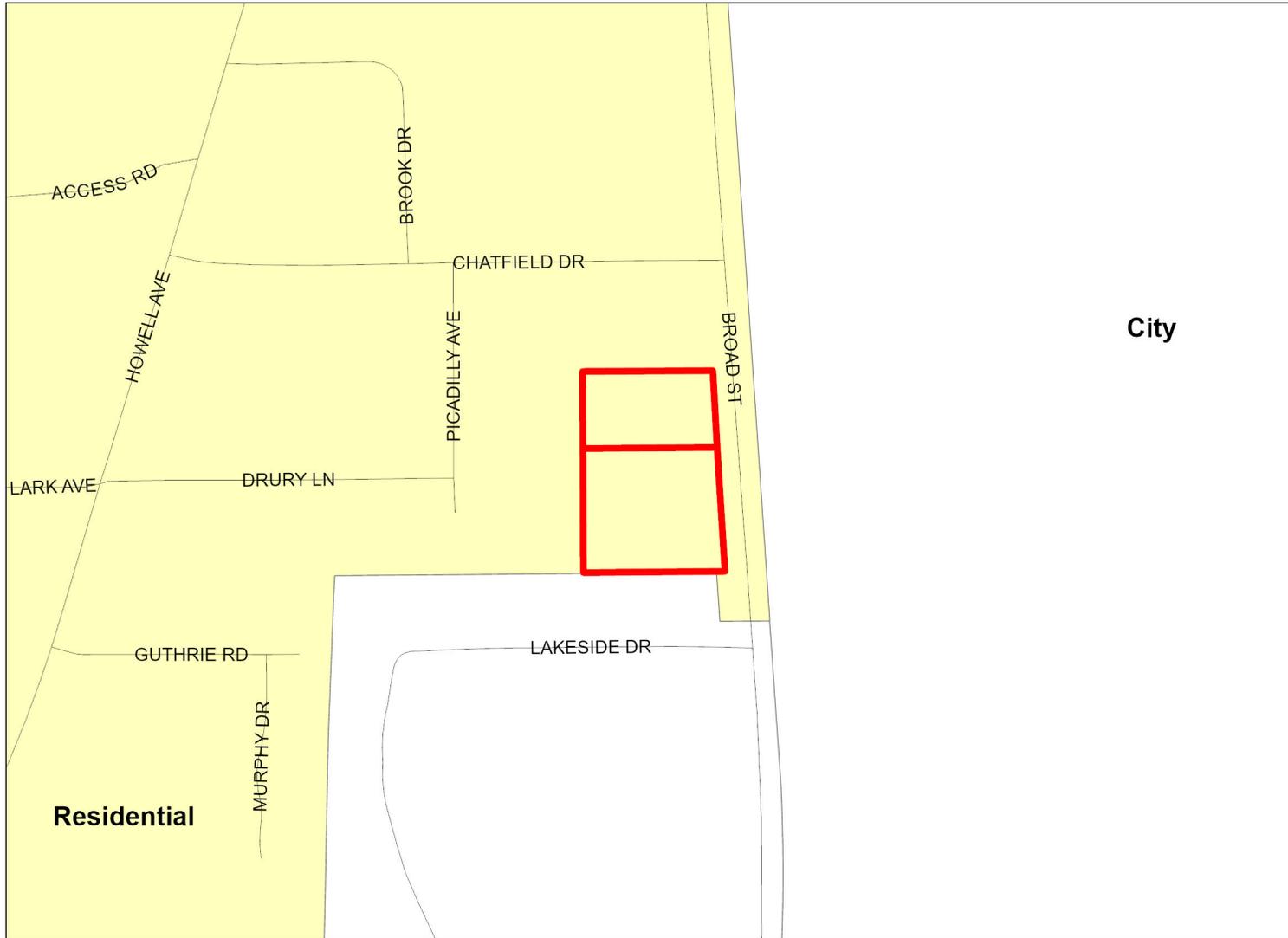
Photo date: 2023

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



# Hernando County Comprehensive Plan Map

Existing Future Land Use: H-24-46  
Version Date: 12/09/2022



**H-24-46**

FLU Riverine District

Regional Commercial

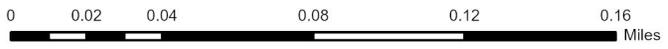
**FLU**

- CITY
- COMMERCIAL
- CONSERVATION
- EDUCATION
- INDUSTRIAL
- MINING
- PLANNED DEVELOPMENT
- PUBLIC FACILITIES
- RECREATION
- RESIDENTIAL
- RURAL

**Future Land Use Map**

PLEASE REFER TO THE TEXT PORTION OF THE COMPREHENSIVE PLAN IN CONJUNCTION WITH THE USE OF THE FUTURE LAND USE MAP SERIES.

NOTE: THE RIVERINE DISTRICT IS SHOWN AS A LINE SETBACK PARALLEL TO THE WEEKI WACHEE, MUD AND WITHLACOOCHEE RIVERS.

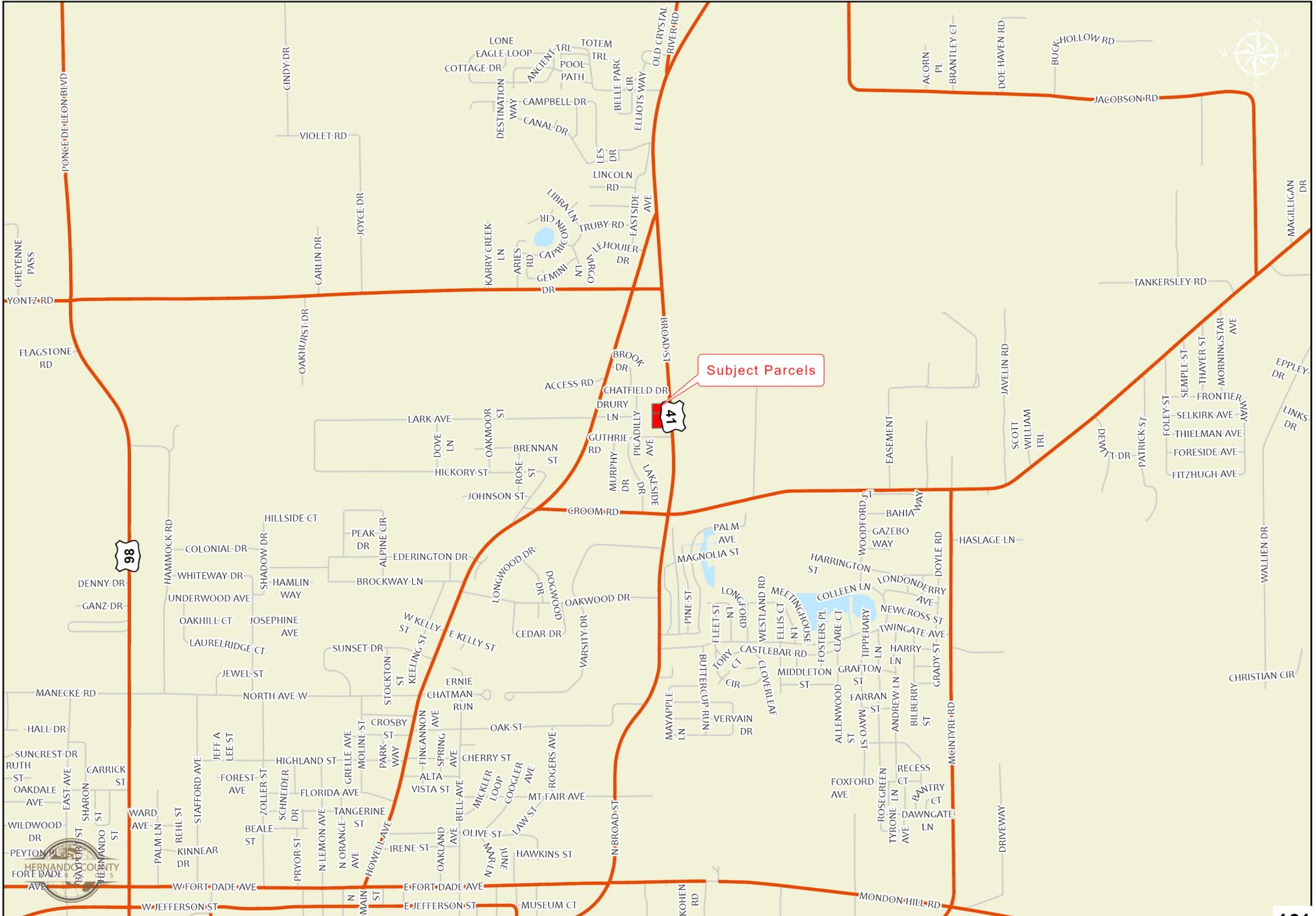


Date of mapping: 09/10/2024



# H-24-46 AREA MAP

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.

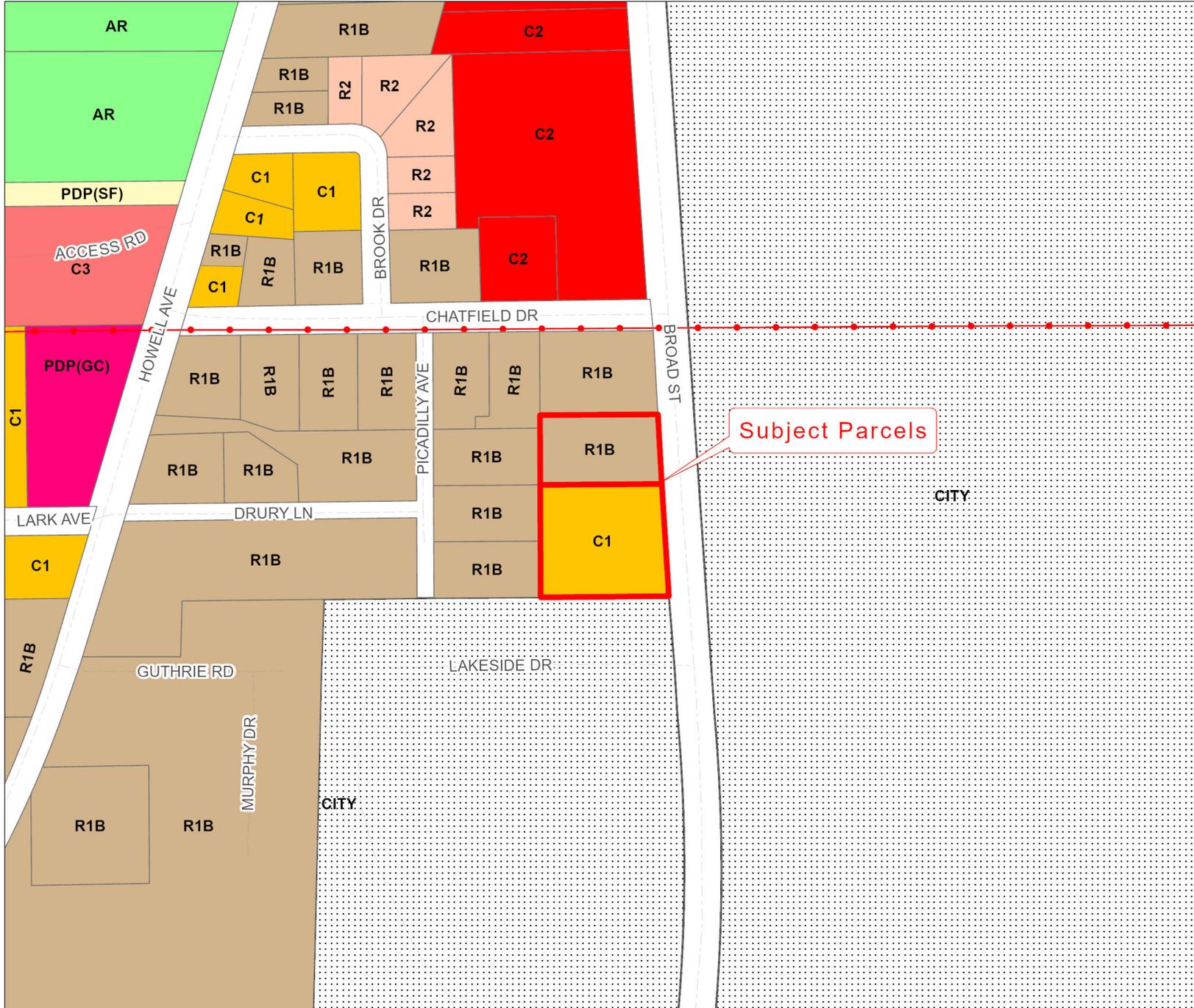


Subject Parcels



# H-24-46

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



**Zoning:**

AC	PDP(HC)
AG	PDP(HHC)
AR	PDP(HID)
AR1	PDP(IND)
AR2	PDP(LI)
C1	PDP(MF)
C2	PDP(MH)
C3	PDP(NC)
C4	PDP(OP)
CITY	PDP(PSF)
CM1	PDP(REC)
CM2	PDP(RR)
CPDP	PDP(RUR)
CV	PDP(SF)
I1	PDP(SU)
I2	R1A
M	R1B
OP	R1C
PDP(AF)	R1MH
PDP(CM)	R2
PDP(CP)	R2.5
PDP(GC)	R3
PDP(GHC)	RC
	RM

City Zoning Pending





## AGENDA ITEM

### TITLE

Rezoning Petition Submitted by NVR, Inc., Barbara Zellmer, Regional Land Entitlement Manager (H-24-53)

### BRIEF OVERVIEW

#### Request:

Rezoning from CPDP (Combined Planning Development Project) with GC (General Commercial) and SF (Single-family) uses, and CPDP (Combined Planning Development Project) with OP (Office Professional) and Congregate Care Facility uses, to PDP(MF)/Planned Development Project (Multifamily).

#### General Location:

South side of Cortez Boulevard (SR 50) at its intersection with Oxley Road, reaching Emerson Road approximately 940' south of its intersection with Cortez Boulevard (SR 50)

### FINANCIAL IMPACT

A matter of policy. There is no financial impact.

### LEGAL NOTE

The Planning and Zoning Commission has jurisdiction to make a recommendation on the subject application. The Applicable Criteria for a Zoning District Amendment are contained in Appendix A, (Zoning Code) Article VI. The Applicable Criteria for Planned Development Projects are contained in Appendix A, (Zoning Code) Article VIII. The Zoning District Amendment to the Planned Development District and applicable PDP master plan must be consistent with the Comprehensive Plan.

The notice requirements of Appx. A, Art. VI, Sec. 7 of the Hernando County Code have been complied with.

### RECOMMENDATION

It is recommended that the Planning and Zoning Commission recommend the Board of County Commissioners adopt a Resolution approving the petitioner's request for Rezoning from CPDP (Combined Planning Development Project) to PDP(MF)/Planned Development Project (Multifamily) with Deviations and performance conditions.

### REVIEW PROCESS

Omar DePablo	Approved	10/31/2024	7:09 AM
Toni Brady	Approved	10/31/2024	9:32 AM
Pamela Hare	Approved	10/31/2024	10:00 AM
Melissa Tartaglia	Approved	10/31/2024	12:44 PM
Danielle Nigro	Approved	10/31/2024	1:24 PM

**RESULT:**     **ADOPTED**  
**MOVER:**     Kathryn Birren  
**SECONDER:** W. Steven Hickey  
**AYES:**      Holmes, Hickey, Birren, McDonald and Morgan  
**ABSENT:**     Noe

A- Application

**HERNANDO COUNTY ZONING AMENDMENT PETITION**



**Application to Change a Zoning Classification**

**Application request (check one):**  
Rezoning  Standard  PDP  
Master Plan  New  Revised  
PSFOD  Communication Tower  Other  
**PRINT OR TYPE ALL INFORMATION**



Date: August 1, 2024

**APPLICANT NAME:** NVR, Inc., Barbara Zellmer, Regional Land Entitlement Manager

Address: 1409 Tech Blvd, Suite 202  
City: Tampa State: Florida Zip: 33619  
Phone: 813-739-7435 Email: bzellmer@nvrinc.com  
Property owner's name: (if not the applicant) Banc Development Ltd

**REPRESENTATIVE/CONTACT NAME:** Cynthia Tarapani

Company Name: Tarapani Planning Strategies  
Address: 128 E. Tarpon Avenue  
City: Tarpon Springs State: Florida Zip: 34689  
Phone: 727-642-2030 Email: c.tarapani@tarapaniplanning.com

**HOME OWNERS ASSOCIATION:**  Yes  No (if applicable provide name) \_\_\_\_\_

Contact Name: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

**PROPERTY INFORMATION:**

1. PARCEL(S) KEY NUMBER(S): See Attached List
2. SECTION 26 & 35, TOWNSHIP 22, RANGE 19
3. Current zoning classification: PDP-GC
4. Desired zoning classification: PDP-MF
5. Size of area covered by application: 40.26 acres
6. Highway and street boundaries: State Road 50 on north and Emerson Road on east
7. Has a public hearing been held on this property within the past twelve months?  Yes  No
8. Will expert witness(es) be utilized during the public hearings?  Yes  No (If yes, identify on an attached list.)
9. Will additional time be required during the public hearing(s) and how much?  Yes  No (Time needed: 20 minutes)

**PROPERTY OWNER AFFIDIVAT**

I, \_\_\_\_\_, have thoroughly examined the instructions for filing this application and state and affirm that all information submitted within this petition are true and correct to the best of my knowledge and belief and are a matter of public record, and that (check one):

- I am the owner of the property and am making this application OR
- I am the owner of the property and am authorizing (applicant): NVR, Inc.  
and (representative, if applicable): Cynthia Tarapani  
to submit an application for the described property.

\_\_\_\_\_  
Signature of Property Owner

**STATE OF FLORIDA  
COUNTY OF HERNANDO**

The foregoing instrument was acknowledged before me this 15 day of July, 2024, by BESIM HALEF who is personally known to me or produced \_\_\_\_\_ as identification.

\_\_\_\_\_  
Signature of Notary Public



Effective Date: 11/8/16 Last Revision: 11/8/16

Notary Seal/Stamp



# HERNANDO COUNTY ZONING AMENDMENT PETITION

File No. H-21-53 Official Date Stamp:



Application to Change a Zoning Classification

**Application request** (check one):

- Rezoning  Standard  PDP
- Master Plan  New  Revised
- PSFOD  Communication Tower  Other

**PRINT OR TYPE ALL INFORMATION**

Date: August 1, 2024



**APPLICANT NAME:** NVR, Inc., Barbara Zellmer, Regional Land Entitlement Manager

Address: 1409 Tech Blvd, Suite 202  
 City: Tampa State: Florida Zip: 33619  
 Phone: 813-739-7435 Email: bzellmer@nvrinc.com  
 Property owner's name: (if not the applicant) Emerson Capital Group LLC

**REPRESENTATIVE/CONTACT NAME:** Cynthia Tarapani

Company Name: Tarapani Planning Strategies  
 Address: 128 E. Tarpon Avenue  
 City: Tarpon Springs State: Florida Zip: 34689  
 Phone: 727-642-2030 Email: c.tarapani@tarapaniplanning.com

**HOME OWNERS ASSOCIATION:**  Yes  No (if applicable provide name) \_\_\_\_\_

Contact Name: \_\_\_\_\_  
 Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

**PROPERTY INFORMATION:**

1. PARCEL(S) **KEY** NUMBER(S): 420556/ 1580541/ 739730/ 1411163/ 1411154/ 739749/ 476407
2. SECTION 26 & 35, TOWNSHIP 22, RANGE 19
3. Current zoning classification: PDP-GC
4. Desired zoning classification: PDP-MF
5. Size of area covered by application: 40.26 acres
6. Highway and street boundaries: State Road 50 on north and Emerson Road on east
7. Has a public hearing been held on this property within the past twelve months?  Yes  No
8. Will expert witness(es) be utilized during the public hearings?  Yes  No (If yes, identify on an attached list.)
9. Will additional time be required during the public hearing(s) and how much?  Yes  No (Time needed: 20 minutes)

**PROPERTY OWNER AFFIDIVAT**

I, W. Parkinson Myers, have thoroughly examined the instructions for filing this application and state and affirm that all information submitted within this petition are true and correct to the best of my knowledge and belief and are a matter of public record, and that (check one):

- I am the owner of the property and am making this application **OR**
- I am the owner of the property and am authorizing (applicant): NVR, Inc.  
 and (representative, if applicable): Cynthia Tarapani  
 to submit an application for the described property.

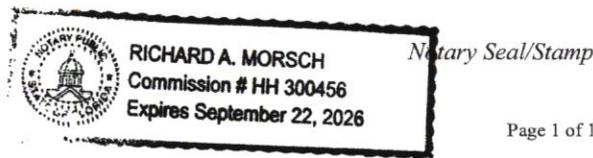
Emerson Capital Group, LLC  
 by: ECG Manager, LLC - its Manager  
 by: W. P. Myers - its Manager  
 \_\_\_\_\_  
 Signature of Property Owner

STATE OF FLORIDA  
 COUNTY OF HERNANDO Hillsborough

The foregoing instrument was acknowledged before me this 9<sup>th</sup> day of AUGUST, 2024, by W. PARKINSON MYERS who is personally known to me or produced \_\_\_\_\_ as identification.

\_\_\_\_\_  
 Signature of Notary Public

Effective Date: 11/8/16 Last Revision: 11/8/16



**HERNANDO COUNTY REZONING APPLICATION  
MAPLE CROSSING  
SUBMITTAL DOCUMENT B**

**LIST OF PARCEL'S KEY NUMBERS**

<b>OWNER</b>	<b>KEY NUMBERS</b>	<b>SECTION/TOWNSHIP RANGE</b>
<b>BANC DEVELOPMENT LTD</b> 1 Craigmere Drive, Suite 201 Halifax, NS B3N 0C6 Canada	420556 1580541 739730 1411163 1411154 739749	26-22-19 26-22-19 26-22-19 26-22-19 26-22-19 35-22-19
<b>EMERSON CAPITAL GROUP LLC</b> 17805 Crystal Cove Place Lutz, Florida 33548	476407	26-22-19



**MAPLE CROSSING REZONING APPLICATION  
PLANNED DEVELOPMENT NARRATIVE**

*Presented to:*

**Hernando County  
1653 Blaise Drive  
Brooksville, Florida 34601**



*Prepared for:*

**NVR, INC.  
1409 Tech Boulevard, Suite 202  
Tampa, Florida 33619**

*Prepared by:*

**Cynthia Tarapani, Owner  
Tarapani Planning Strategies  
Land Use Planning Expert  
128 E. Tarpon Avenue  
Tarpon Springs, Florida 34689  
Telephone 727-642-2030  
c.tarapani@tarapaniplanning.com**

**August 6, 2024**

**MAPLE CROSSING REZONING APPLICATION  
PLANNED DEVELOPMENT NARRATIVE**

**TABLE OF CONTENTS**

	<b>Page</b>
<b>I. INTRODUCTION</b>	<b>1</b>
<b>II. PROJECT PROPOSAL &amp; SITE CHARACTERISTICS</b>	<b>1-2</b>
<b>III. ENVIRONMENTAL CONSIDERATIONS</b>	<b>3</b>
<b>IV. SITE PLAN DISCUSSION</b>	<b>3-6</b>
<b>V. IMPACTS TO PUBLIC FACILITIES</b>	<b>6-7</b>
<b>VI. WATER &amp; SEWER SERVICES</b>	<b>7</b>

**MAPLE CROSSING REZONING APPLICATION  
LIST OF SUBMITTAL DOCUMENTS**

- A. Application Signed by Property Owners**
- B. List of Parcel's Key Numbers ( Legal Description)**
- C. Proof of Ownership**
  - Deed for Banc Development Ltd.- OR Book 3249, Page 1620
  - Deed for Emerson Capital Group- OR Book 3063, Page 1353
- D. List of Experts for Public Hearings**
- E. Property Appraiser's List and Map of Adjacent Property Owners**
- F. Maple Crossing PD Master Plan**
- G. Maple Crossing Land Development Traffic Assessment**
- H. Preliminary Protected Species Surveys**
- I. Application Fee**
  - Check from NVR Ryan Homes in the amount of \$1,281.40 payable to Hernando County

## I. INTRODUCTION

NVR, Inc., the Applicant, is the Contract Purchaser of an approximate 40.26 acre property located at the southwest quadrant of State Road 50 and Emerson Road in Hernando County. The property is composed of seven parcels owned by two different owners: Banc Development Ltd. and Emerson Capital Group. This Rezoning Application is submitted to revise the type of allowable development from Commercial to Multifamily, revise the site's zoning from PDP-C to PDP-MF, and revise the previously approved Master Plan to allow the proposed use of 223 townhouses.

## II. PROJECT PROPOSAL & SITE CHARACTERISTICS

The Rezoning Site is currently vacant and is proposed for a townhouse development with a total of 223 townhouses, developed in buildings of four, five and six townhouse units. There is no commercial development proposed for the site. There is a wetland system that bifurcates the site beginning in the southwest corner of the property, continuing diagonally through the site to the northeast, and then continuing off-site. The wetlands are a total of 1.277 acres and there are no proposed impacts to the wetlands.

The wetland system bifurcates the development into two unconnected sections with access provided separately for each portion. Although there is no vehicular connection between the two sections, a pedestrian bridge is proposed to connect the two sections of the development, subject to approval from all permitting agencies. The East Section is proposed to be developed with a maximum of 149 townhouses units with a single access to Emerson Road. The smaller West Section is proposed to be developed with a maximum of 74 units with a single access to Oxley Road. It should be noted that the project entrance on Oxley Road will be located in close proximity to and approximately 250 feet south of State Road 50 to minimize project traffic on Oxley Road.

Within the development, the local roads are proposed to be public roads that comply with the County's development standards. The site will be designed with a stormwater management system that complies with the regulations of both Hernando County and SWFWMD. The development will contain neighborhood parks that comply with the County's requirements regarding the acreage and the parks will be located in convenient locations in both the East and West Parcels

The total size of the project and proposed density is shown in **Table 1** below.

**Table 1  
Project Size and Proposed Density**

<b>Site</b>	<b>Size in acres</b>
<b>Uplands</b>	38.98 ac
<b>Wetlands</b>	1.277 ac
<b>TOTAL SITE SIZE</b>	40.26 acres
<b>Proposed Development</b>	223 Townhouse Units: <ul style="list-style-type: none"> <li>• 149 units on East Section</li> <li>• 74 units on West Section</li> </ul>
<b>Gross Density (on Total Site)</b>	223 units on 40.26 acre= 5.5 u/ ac
<b>Net Density (on Uplands Only)</b>	223 units on 38.98 acres = 5.7 u/ ac

**Proposed Deviation from LDC**

The Applicant requests one deviation from the *Land Development Code* to reduce the building setback from State Road 50 in the West Parcel. The Planned Development provisions, Article VIII of the *LDC*, require a building setback of 125' from State Road 50 and the Applicant proposes a setback of 75'. The justification for this reduced setback relates to the physical form and dimensions of the West Parcel which is the section of the site to which the State Road 50 setback applies. The depth of the West Parcel from the north property line adjacent to State Road 50 south to the wetland system is approximately 274 feet, excluding the wetland buffer. If the State Road 50 setback must be met, there will not be adequate room to develop townhouses on both sides of the northern local road resulting in an inefficient site design that will significantly reduce the development potential of the project.

The Applicant proposes a setback of 75' from the property line to the townhouse buildings within which an extremely wide landscaped buffer of 45' will be installed along the entire West Parcel frontage of State Road 50. The large proposed setback coupled with the wide landscaped buffer will provide an effective buffer between State Road 50 and the proposed townhouses. Additionally, the landscaped buffer will create an aesthetically pleasing view along the State Road 50 frontage.

### III. ENVIRONMENTAL CONSIDERATIONS

A Preliminary Protected Species Survey has been prepared by Universal Engineering Sciences for each side of the development and they are attached as **Submittal Document H**. Based on review of available data and a field inspection, the attached Surveys confirm that no Protected Species were identified on the project property. In summary, other than the wetland system that traverses the site, at this time, there are no known environmental considerations on the site.

The site is located in Flood Zones A and X. The detailed engineering design will determine whether or not the buildings will be required to be elevated. If building elevation is necessary, then the first floor of all habitable buildings on the site will be elevated as determined by this analysis and consistent with Hernando County's regulations.

### IV. SITE PLAN DISCUSSION

As mentioned above, the site will be developed in two unconnected parcels. The East Parcel is the larger property and is proposed to be developed with a maximum of 149 townhouse units. The West Parcel is a smaller property and is proposed to be developed with a maximum of 74 units. The maximum total number of units proposed for the site is 223 townhouse units. Access to the East Parcel will be via one entrance/ exit on Emerson Road. Access to the West Parcel will be via one entrance/ exit on Oxley Road that will be located in close proximity to State Road 50 to minimize project traffic on this road. Both project entrances will be "treed entrances" as required by the *Land Development Code*.

#### **Nature Trail & Pedestrian Bridge**

Although there is no vehicular connection between the two parcels, there is a proposed pedestrian bridge that connects the parcels and will be connected to a nature trail and sidewalks that traverse the entire project site. The specific locations of the pedestrian bridge and nature trail will be determined during engineering design and submitted to the County for review. It should be noted that the pedestrian bridge is subject to permitting by all appropriate agencies.

#### **Neighborhood Parks**

The proposed development will meet and exceed the County's requirement of 2.73 acres of neighborhood parks by providing parks in locations convenient to residents of both Parcels. The final sizes and locations of the neighborhood parks will be determined during detailed engineering design and submitted to the County for review.

## **Guest Parking**

The development proposes additional parking to be available for guests and located conveniently throughout the East and West Parcels. The number of spaces and specific location of the guest parking will be determined during engineering design and submitted to the County for review.

## **Compatibility, Setbacks & Buffers**

The site is located at the intersection of two major roads: State Road 50 and Emerson Road, and also has frontage on Oxley Road, a third local road. The site's shape and dimensions are suitable to a townhouse development with appropriate amenities. The site is also well insulated from other properties and is not expected to create negative impacts to the surrounding properties based on the following proposed setbacks and buffers. It should be noted that all of the proposed setbacks and buffers are shown on the Master Plan, in **Table 2** below and are described in this section.

**North:** The north boundary of the development is State Road 50, a State- maintained arterial currently constructed as a four-lane divided roadway. Along the north property boundary, the project proposes a 75' building setback from the property line to the townhouse buildings and a 45' landscaped buffer. The justification for a reduced setback along State Road 50 is contained in **Section II** of this report.

**South:** To the south of the site is a public elementary school. The activities on the school property in the proximity of the new townhouses are employee parking and a stormwater pond. Further south on the school property, there are sports courts and open play fields. Along the project's southern boundary, the Master Plan proposes a 45' building setback from the property line to the townhouse buildings and a 15' landscaped buffer.

**East:** Emerson Road is adjacent to the eastern property line of the site and a private school is located on the east side of Emerson Road across from the East Parcel. There will be one entrance to the development from Emerson Road which will be a treed entrance with open space/ landscaping on both sides of the entrance. To the north and south of the open space at the project entrance along the balance of Emerson Road, a landscaped buffer of 25' is proposed. The project proposes to comply with the required 35' building setback along Emerson Road.

Portions of the East and West Parcels border the FDOT stormwater pond. Along these internal property borders, a landscaped buffer is proposed with varying widths. On the northern edge of the East Parcel, the proposed landscaped buffer is 5'. On the eastern edge of the West Parcel, the proposed buffer is 15'. Along both sides of the townhouse project's stormwater pond, the proposed landscaped buffer is 30'.

**West:** Oxley Road is adjacent to the western property line of the site. On the west side of Oxley Road are single family homes. The project proposes to minimize the traffic impacts on Oxley Road by locating only one access point for the development and locating it in close proximity to State Road 50. It should be noted that the most northern home on the west side of Oxley Road is south of the project entrance. Along Oxley Road, the project proposes to exceed the required 35' building setback with a 45' building setback from the property line to the townhouse buildings and a 20' landscaped buffer along the length of Oxley Road.

The proposed external setbacks and buffers are proposed to minimize impacts of the proposed development with surrounding land uses. The West boundary is the only property boundary that is in proximity to existing residential uses. Therefore, the project has proposed a significantly large setback of 45' on the West boundary as well as a 20' landscaped buffer along this roadway. Further, there is only one entrance to the development on Oxley Road and this entrance will also be developed as a treed entrance. All of these site features are designed to form an appropriate buffer between these two residential uses.

**Table 2  
Summary of External Project Setbacks**

<b>Property Boundary</b>	<b>Required Setback</b>	<b>Provided Setback</b>
<b>North</b>	125' along State Road 50 20' along FDOT Parcel	75' along State Road 50* 30' along FDOT Parcel
<b>South</b>	20'	45'
<b>East</b>	20' in West Parcel 35' in East Parcel along Emerson Road'	30' in West Parcel adjacent to FDOT Pond 35' in East Parcel along Emerson Road
<b>West</b>	35' along Oxley Road	45' along Oxley Road

\* Deviation Requested and described in **Section II**.

The dimensional requirements for the townhouse units are shown on the Master Plan and also in **Table 3** below.

**Table 3  
Summary of Townhouse Dimensional Standards**

<b>Standard</b>	<b>Amount</b>
<b>Lot Size</b>	2,640 sq. ft.
<b>Lot Depth</b>	110'
<b>Setbacks</b>	Front: 19.5' Rear: See External Project Setbacks Side: N.A.
<b>Building Coverage</b>	35% (As calculated for the overall project site)

## V. IMPACTS TO PUBLIC FACILITIES

### Transportation

The Applicant has submitted a Traffic Assessment along with this Rezoning Application to confirm that the project will not reduce the Level of Service on the road network and to identify the entrance improvements appropriate for the project. The Land Development Traffic Assessment was prepared by W.E. Oliver, P.E., LLC dated July 12, 2024 and attached as **Submittal Document G**.

The results of the Traffic Assessment are summarized on Page 11 of the report and as follows:

1. The Level of Service Analysis for Year 2030 “indicates good conditions” that meet the County’s adopted standards.
2. A east-to-south bound right turn lane on State Road 50 at Oxley Road is recommended.
3. A south-to-west bound right turn lane on Emerson Road at the East Parcel entrance is recommended.
4. Improvement of Oxley Road from State Road 50 south to the West Parcel entrance is recommended to improve the road used by the project up to County standards.

Please refer to the full Traffic Assessment contained in this submittal.

### **Stormwater Management/ Drainage**

The new development will be required to treat its stormwater on the site in accordance with the regulations of Hernando County and SWFWMD. The Master Plan shows the conceptual location for the three stormwater management ponds to serve the project.

### **Water and Sewer Utilities**

See analysis in **Section VI** below.

### **Neighborhood Parks**

The proposed development will meet and exceed the County's requirement of 2.73 acres of neighborhood parks by providing parks in locations convenient to residents of both Parcels. The final sizes and locations of the neighborhood parks will be determined during final engineering design and submitted to the County for review.

### **Public School Facilities**

The project will be subject to and will comply with the County's Concurrency Evaluation and the Educational Facilities Impact Fees for each townhouse.

### **Summary**

Based on the analysis in this **Section V**, adequate public facilities will be available to serve the project.

## **VI. WATER & SEWER SERVICES**

Although the proposed development is located within the jurisdiction of Hernando County, it is located within the utility service area for the City of Brooksville. The City of Brooksville is evaluating their sewer capacity and taking steps to expand capacity through a potential agreement with Hernando County and with a major expansion to the sewer treatment plant. The Applicant is aware of this ongoing capacity evaluation and will coordinate with the City of Brooksville to obtain sewer service. Central water service will also be provided through the City of Brooksville and there are no capacity issues relating to that service.

## STAFF REPORT

---

**HEARINGS:** Planning & Zoning Commission: November 4, 2024  
Board of County Commissioners: December 17, 2024

**APPLICANT:** NVR, Inc., Barbara Zellmer, Regional Land Entitlement Manager

**FILE NUMBER:** H-24-53

**REQUEST:** Rezoning from CPDP (Combined Planning Development Project) with GC (General Commercial) and SF (Single-family) uses, and CPDP (Combined Planning Development Project) with OP (Office Professional) and Congregate Care Facility uses, to PDP(MF)/ Planned Development Project (Multifamily).

### GENERAL

**LOCATION:** South side of Cortez Boulevard (SR 50) at its intersection with Oxley Road, reaching Emerson Road approximately 940' south of its intersection with Cortez Boulevard (SR 50)

### PARCEL KEY

**NUMBER(S):** 420556, 1580541, 739730, 1411163, 1411154, 739749, 476407

---

## APPLICANT'S REQUEST

The petitioner is requesting a rezoning of the subject property from CPDP (Combined Planning Development Project) H-05-35, which has GC (General Commercial), and SF (Single-family) uses, and CPDP (Combined Planning Development Project) H-08-06, which has OP (Office Professional) and Congregate Care Facility uses, to PDP(MF)/ Planned Development Project (Multifamily). The petitioner proposes a 223 unit townhome community with four (4) to six (6) dwelling units per building. The development is configured to preserve the stream/wetland that runs through the middle of the property. The overall density of the project is 5.7 dwelling units per acre.

To accommodate this wetland, the petitioner has divided the development into two (2) sections, connected by a pedestrian bridge. The east portion of the development is proposed to have 149 dwelling units, and the west section is proposed to have 74 units. Each side of the development will have a treed boulevard entrance. Guest parking is included in the parking calculations for the development and are shown on the master plan.

### Requested Deviations

1. Reduction in the perimeter setback from Cortez Boulevard (SR 50) from 125' to 75' (*Appendix A, Section 1(B)*)
2. Reduction in lot size from 4,500 square feet (required in the R-3 zone for multifamily buildings with 6 units) to 2,640 square feet. (*Article IV, Section 2(G)(4)*)
3. Reduction in the individual lot front setback from 25' to 19.5' (*Article IV, Section 2(G)(4)(c)*)

**SITE CHARACTERISTICS**

**Site Size:** 40.53 acres

**Surrounding Zoning;  
Land Uses:** North: PDP(GHC) H-88-109 and Cortez Boulevard (SR 50); Undeveloped  
 South: AG with a Special Exception & AR; Moton elementary School & Single-family home  
 East: AG; Undeveloped  
 West: AR, CPDP; Single-family houses, & undeveloped

**Current Zoning:** CPDP (Combined Planning Development Project) H-08-06 and CPDP (Combined Planning Development Project) H-05-35

**Future Land Use  
Map Designation:** Residential and Commercial

**ENVIRONMENTAL REVIEW**

**Soils:** Blichton Loamy Fine Sane and Flemington Fine Sandy Loam.

**Protection Features:** There are neither Protection Features (Wellhead Protection Areas (WHPA) nor Special Protection Areas (Special Protected Areas (SPAs) on this site according to county data.

**Hydrologic Features:** There are no Hydrologic Features (Sinkholes, Karst Sensitive Areas, and Wetlands) on this property according to county data.

**Comments:** The petitioner shows a wetland flowing through the middle of the project. This wetland is not identified in the Comprehensive Plan; however, habitats sometimes change faster than Plans can be updated. Staff recommend establishing a jurisdictional wetland line on the property, if the area is determined to be a wetland. This line shall be included in all plans and drawings for this project.

The wetland on the property, as identified by the petitioner, is not listed in the Hernando County Comprehensive Plan. The petitioner shall have the wetlands delineated and a jurisdictional wetland line established that shall be shown on all further plans and drawings. A buffer of 25' shall be established adjacent to the wetlands.

**Habitat:** The subject property is designated Mixed Hardwood-Coniferous according to FWC CLC mapping (Florida Cooperative Land Cover Classification System that combines Florida Land Use Cover and Classification System with fish and wildlife data).

- Comments:** This property has the potential to have the Red-cockaded Woodpecker, the Florida Black Bear, the Swallow-tail Kite, Gopher Tortoises, and the Cooper’s Hawk. Invasive plant species, if present, are to be removed during the development process.
- A comprehensive floral and faunal (wildlife) survey shall be prepared by a qualified professional and submitted as part of the conditional plat application stage of development. The petitioner is required to comply with all applicable FWC regulations and permitting.
- Water Quality:** The proposed development is within the Chassahowitzka River Basin Management Action Plan and subject to a nutrient Total Maximum Daily Load (TMDL) for nitrate. It is also within the Chassahowitzka Outstanding Florida Spring Group (OFS).
- Comments:** The proposed development must maintain a 15' buffer around all water bodies from fertilizers in order to prevent contamination. The builder is required to provide information on Florida Friendly Landscaping™ techniques and proper fertilizer use to the homeowners. These materials are designed to address and help reduce nutrient pollution. These educational materials are available through the Hernando County Utilities Department (HCUD).
- The implementation of Florida Friendly Landscaping™ principles, techniques, and materials designed to conserve water and reduce pollutant loading to Florida’s waters for this property is required. This will be addressed during the permitting phase of development.
- Flood Zone:** The subject property is in flood zones X, A and AE.
- Archaeology:** This property has a potential of containing archaeological sites according to previous surveys.
- Comments:** An archaeological survey shall be performed by a qualified professional prior to development. If evidence of archaeological sites are present, the petitioner shall be required to adhere to the State regulations regarding archaeological sites and development.

**UTILITIES REVIEW**

The Hernando County Utilities Department (HCUD) reviewed the petitioner’s application and provided the following comment: These parcels are located within the City of Brooksville Utility Department’s (CBUD) first right to serve district; contact CBUD for any utility related comments.

**ENGINEERING REVIEW**

The County Engineer reviewed the petitioner’s request and provided the following comments: The property is in the Bystre Lake Watershed with areas of A and AE flood Zones at Elevation 99.6. Oxley Road is a minor rural residential road, with no markings, that is unable to handle the traffic volumes that will be generated by the development occurring on this road.

- A Traffic Access Analysis has been received and is currently under review. Any improvements identified will be the responsibility of the developer to install.
- To make Oxley Road functional for new development, it is required to be paved according to County standards.
- The roadways and driveways shall meet Hernando County standards.
- Driveway locations must be in coordination with another project located at West side of Oxley Rd. & South side of Cortez Blvd. (Cone & Graham, key numbers: 357508, 357946, rezoning case H-24-22)
- Sidewalks shall be installed throughout this development.
- FDOT access management and drainage permits are required.
- Please provide a transit stop with amenities.

## LAND USE REVIEW

The petitioner requests to rezone the property to PDP(MF)/Planned Development Project (Multifamily). Previous zoning cases have approved multifamily uses for this property. It is located just south of Brooksville in an area that is appropriate for higher density due to its proximity to the City and Cortez Boulevard (SR 50).

### Minimum Perimeter Setbacks for Multifamily PDP

Article VIII, Section 1 of Appendix A states the perimeter setbacks for residential uses approved within the PDP (see below).

- North (abutting a State Road): 125'
- South (rear): 20'
- East (side): 10'
- West (side): 10'

### Lot Size and Setbacks

The R-3 (Residential-3) zone, which is the zoning district related to the PDP(MF), states the minimum lot area for multifamily dwellings containing three (3) or more dwelling units, shall be twelve thousand (12,000) square feet plus three thousand (3,000) square feet for each additional dwelling unit over the first two (2) dwelling units (*Article IV, Section 2(G)(4)(iii)*). For a four (4) unit building, the minimum size for the lot is 18,000 square feet. This provides a 4,500 square foot lot minimum for each dwelling unit. For a six (6) unit building, the minimum lot size is 24,000 square feet, providing a 4,000 square foot lot minimum for each dwelling unit.

The petitioner requests a reduction in the minimum lot size from 4,000 square feet per dwelling unit, to 2,640 square feet per dwelling unit. The petitioner has not provided an explanation for this request; it is reasonable to assume the request is related to the preservation of wetlands and the larger than minimum perimeter buffers.

Lot setbacks for the R-3 zone are:

- Front: 25'
- Rear: 15'
- Building Separation: 10'

Building separation is used instead of side yard setbacks for townhomes since the "side" is different for exterior and interior dwelling units. The term "Townhome" designates that there are

connected walls that require a 0' setback; as a result, a deviation for the interior lot setback for attached dwelling units is not necessary.

The petitioner requests a deviation in the front yard setback from 25' to 19.5'.

**Comments:** Staff recommends approval of the requested deviations. The topography of the property and the desire to preserve the petitioner identified wetland wetlands through the property could be a few of the reasons the petitioner is requesting the reduction in lot size and front setbacks. The petitioner’s developable land is limited by the wetland and a reduction in the minimum lot size is appropriate for this project. The petitioner offers buffers that are larger than the minimum requirement. Staff feel it is an appropriate compromise, larger buffers for reduced lot size and setbacks.

**Buffers**

A buffer shall be required between a Planned Development Project land use which is multifamily or non-residential and a land use, external to the PDP, which is residential, agricultural-residential or agricultural. The buffer shall consist of a minimum five-foot landscaped separation distance. The multifamily or nonresidential use located on such lot shall be permanently screened from the adjoining and contiguous properties by a wall, fence, and/or approved enclosures. Such screening shall have a minimum height of five (5) [feet] and a maximum height of eight (8) feet, or an evergreen hedge with a minimum height of five (5) feet at the time of planting” (*Article VIII, Section 6(C)*).

The petitioner’s proposal has buffers widths that exceed the minimum requirements. The petitioner proposes the following buffers:

- North (Cortez Boulevard (SR 50)): 45' Landscaped Buffer
- North (east section between the wetland to the property edge, before the boundary turns south 90 degrees, or the “middle step”): 30' Landscaped Buffer
- North (east portion from Emerson Rd to the first 90 degree turn north, or the “bottom step”): 5' Landscaped Buffer
- South: 15' Landscaped Buffer
- East (Emerson Rd): 35'
- East (From the easternmost property line adjacent to Cortez Blvd, south to the first 90 degree eastern turn): 15' Landscaped Buffer
- West (Oxley Road): 20' Landscaped Buffer
- Along the wetland: 25' undisturbed buffer, with invasive species of vegetation removed, and if needed,

planted with native Florida wetland area plants.

**Comments:** The buffer the petitioner proposes that is only 5' wide, is against the property to the north. This property currently serves as a Florida Department of Transportation (FDOT) drainage retention facility. There are no residents on the property and there is currently no plan in place that staff are aware of, for its development.

### **Access**

To establish minimum access requirements to single-family and multifamily subdivisions, the Board of County Commissioners adopted a policy requiring two (2) means of access for subdivisions. The policy serves to provide more than one-way in and one-way out for residents of a subdivision, alternate routes for emergency services, interconnection between subdivisions, a shortened drive time for residents to the entrance/exits, and access points for travel direction outside of the development. A minimum of two (2) access points must be provided to serve any new subdivision or development pod with more than 50 units.

The petitioner requests that the two (2) access point policy for new subdivisions be waived.

**Comments:** The petitioner proposes a single boulevard entrance for each of the sections (east and west). The east section accesses Emerson Road and the west accesses Okley Road. The County Engineer states the location of the access point on Okley Road shall be coordinated with the Planned Development Project that was recently approved on the western side of the road, H-24-22 Cone and Graham, Inc.

Staff supports the opinion of the County Engineer as to whether he two entrance requirement should be waived. The comments from the County Engineer do not state that a second access point, for either section, is required. Planning staff recommend that the location of access points, and the requirement for a second access point for each side be coordinated with the County Engineer and the Petitioner. This does not negate the required coordination of access points with the new project on the other side of Okley Road.

### **Neighborhood Park**

All developments with 50 dwelling units or more shall provide and maintain a neighborhood park system for use by the residents of the subdivision in accordance with the requirements of the LDRs. The proposed project contains more than 50 dwelling units. Neighborhood parks may count towards the minimum open space requirements.

The amount of land provided and maintained as a neighborhood park shall be 1.0 acre for the first 50 dwelling units plus 1/100th of an acre for each dwelling unit over 50 up to 250 dwelling units, for a maximum of 3.0 acres. If approved, the development must meet the minimum neighborhood park requirements as required by the County's LDRs. Individual single-family and multifamily pods that exceed 50 dwelling units must provide a neighborhood park. The

approximate location and acreage of the neighborhood park system shall be identified within the project master plan.

**Comments:** The petitioner states that the project will exceed the required park size of 2.83 acres. Staff believes the park location is appropriate to identify in the Conditional Plat, due to the location of the pedestrian bridge being unknown and the location of the development's access points. Staff believes the park will be centrally located to be accessible to both sides of the development because of the petitioner's desire to preserve the wetlands and the ability of the petitioner to utilize wetlands as park of the park system, as long as it is included as part of the Neighborhood Park Plan submitted as part of the construction drawings.

### **Natural Vegetation**

Projects greater than twenty (20) acres shall designate an area of at least seven percent (7%) of the total project area as preserved natural vegetation and no construction activity can occur in this area. Preserved natural vegetation areas must be a minimum of twenty thousand (20,000) square feet.

**Comments:** If approved, the petitioner must provide a minimum of seven percent (7%) natural vegetation. Preserved natural vegetation and/or planted native vegetation may be used to meet all or part of the requirement for open space if it is a minimum of fifteen (15) feet in width.

## **COMPREHENSIVE PLAN REVIEW**

### **Future Land Use Map, Residential Category**

Strategy 1.04A(3): The Residential Category accommodates residential growth clustered in and around urbanized areas and those areas that maximize the efficient use of infrastructure contained in long-range facilities plans of the County.

### **Multifamily Housing**

Strategy 1.04B(4): The Residential Category includes zoning for multi-family housing generally averaging 7.5 dwelling units per gross acre up to 22 dwelling units per gross acre in order to provide for a diversity of housing choices. Multifamily housing should be located within, or in close proximity to urban areas shown on the Adjusted Urbanized Area Map, or near shopping and employment centers or within Planned Development Projects.

Strategy 1.04B(6): Multi-family development may be allowed in the Commercial Category pursuant to a Planned Development Project (PDP) Master Plan and related strategies to accommodate infill and/or mixed-use development.

**Comments:** The proposed project is close to the City of Brooksville. The property abuts Cortez Boulevard (SR 50), which is a four (4) to six (6) lane road maintained by FDOT and designated as a major roadway. The subject parcel fits the criteria for allowing

**Strategy 1.04B(7):** All multifamily developments shall be located such that the integrity of nearby established single family neighborhoods is preserved:

- a. multifamily development may serve as a density transition located on the periphery of single-family neighborhoods and connecting to higher intensity uses;
- b. multifamily developments at a density incompatible with surrounding land uses should not access arterial or collector roadway systems through established single-family neighborhoods

**Comments:** This project area does not direct traffic through, or connect to, any existing neighborhoods. Proposed access to Cortez Boulevard (SR 50) is through Oxley Road and Emerson Road. Any changes needed to roads to accommodate the increased traffic volume will be paid for by the developer.

### Future Land Use Map, Commercial Category

**Strategy 1.04A(6):** The Commercial Category provides commercial uses including products and services along major corridors and at roadway intersections to serve residents and visitors on both a localized and regionalized basis. The Commercial Category recognizes existing commercial use corridors along U.S. Highway 19 and State Route 50 and existing and planned commercial nodes at intersections of arterial and/or collector roads. The Commercial Category includes small unmapped existing commercial properties. The Commercial Category also recognizes the ability to designate infill parcels for commercial use lying in proximity to and between, but not necessarily contiguous to, other existing commercially designated properties. Publicly owned lands along the commercial use corridors that are made available for surplus may be considered to have a Commercial designation, if the agency proceeds through the Comprehensive Plan Amendment process to amend the future land use map, in accordance with Section 163.3184, F.S.

**Objective 1.04G:** The Commercial Category allows primarily retail, office, and commercial service uses with an overall average gross floor area ratio of 0.35 but also includes limited industrial, recreational, and institutional uses. Residential and mixed uses may be allowed subject to locational criteria and performance standards.

**Comments:** This PDP application establishes performance standards that will make this residential development appropriate for the commercial Future Land Use.

## FINDING OF FACTS

1. This project is adjacent to one of the major roads running through Hernando County and the City of Brooksville.
2. This project has direct and indirect access to Cortez Boulevard (SR 50).
3. This project has close proximity to the City of Brooksville urban area.
4. The proposed density is within the acceptable range of densities for this location.
5. The deviation to the front setback for Cortez Boulevard (SR 50) was approved in a previous rezoning and is a reasonable request.
6. The deviation to the minimum lot size is comparable to other fee-simple townhome developments that have been presented to the County for review and approval.
7. The petitioner request is compatible with the surrounding area and consist with the Comprehensive Plan with appropriate performance conditions.

## NOTICE OF APPLICANT RESPONSIBILITY

*The rezoning process is a land use determination and does not constitute a permit for either construction on, or use of, the property, or a Certificate of Concurrency. Prior to use of, or construction on, the property, the petitioner must receive approval from the appropriate County department(s) for the proposed use.*

*The granting of this land use determination does not protect the owner from civil liability for recorded deed restrictions which may exceed any county land use ordinances. Homeowner associations or architectural review committees require submission of plans for review and approval. The applicant for this land use request should contact the local association or the Public Records for all restrictions applicable to this property.*

*The applicant, property owner, or developer is responsible for ensuring the performance conditions established herein are provided to all contractors performing work for this project. All applications submitted for development activity on this project are expected to comply with the performance conditions established herein.*

## STAFF RECOMMENDATION

It is recommended that the Planning and Zoning Commission recommend the Board of County Commissioners adopt a Resolution approving the petitioner's request for Rezoning from CPDP (Combined Planning Development Project) to PDP(MF)/ Planned Development Project (Multifamily) with Deviations and the following performance conditions:

1. The petitioner must obtain all permits from Hernando County and other applicable agencies and meet all applicable land development regulations, for either construction or use of the property, and complete all applicable development review processes.

## 2. Planning

- A. Maximum number of Dwelling Units / Lots Allowed: 223
- B. Allowed Uses in this PDP: Townhomes and associated community amenities
- C. Lot Information

Lot Type: Townhome

- Minimum Lot Size (square footage): 2,640 sf (Deviation from 4,000 sf)
- Minimum Lot Width at the front setback line: 24'
- Front: 19.5' (Deviation from 25')
- Rear: 15'
- Minimum Separation between buildings: 15'
- Maximum Building Coverage: 35% (calculated as square footage of buildings / square footage of residential portion of the project area)
- Maximum Building Height: 45' and/or three (3) stories.

\*Corner lots shall have a front yard setback on each road frontage

- D. The petitioner shall provide the minimum neighborhood park acreage as required by the County's Land Development Regulations and ensure that this park is pedestrian-accessible for all residents within the development.

The final location of the park site(s), access and a list of proposed facilities shall be provided for review and approval during the conditional plat process. A neighborhood park(s) site plan, prepared by a registered landscape architect or professional civil engineer, shall be submitted for review and approval in conjunction with the final construction plans for the subdivision. Development of the neighborhood park system shall occur prior to receiving fifty-one (51) percent of the certificates of occupancy for the subdivision (based on complete build-out).

- E. Perimeter Setbacks (including the vegetated buffer)

- North (Cortez Boulevard (SR 50)): 75'
- North (against the adjacent parcel): 30'
- South: 45'
- East (Emerson Rd): 35'
- West (Oxley Road): 45'

- F. Buffers:

- North (Cortez Boulevard (SR 50)): 45' Landscaped Buffer
- North (east portion between the wetland to the property edge

- (before the boundary turns south 90 degrees, or the “middle step”): 30' Landscaped Buffer
- North (east portion from Emerson Rd to the first 90 degree turn north, or the “lower step”): 5' Landscaped Buffer
- South: 15' Landscaped Buffer
- East (Emerson Rd): 35'
- East (From the easternmost property line adjacent to Cortez Blvd, south to the first 90 degree eastern turn): 15' Landscaped Buffer
- West (Oxley Road): 20' Landscaped Buffer
- Along the wetland: 25' undisturbed buffer, with invasive species of vegetation removed, and if needed, planted with native Florida wetland area plants.  
  
15' buffer around all water bodies from fertilizers in order to prevent contamination.

Buffer fencing – If a fence is used, the greenery shall be installed on the side of the fence that faces the adjacent property at the conclusion of construction.

No land disturbing activities are permitted in the buffers.

- G. Buffers shall remain undisturbed, with the exception of the removal of invasive species or dead trees. Buffers may not include any stormwater management facilities, utility easements, or drainage retention areas.
- H. Perimeter Buffers and Setbacks shall not be included as a part of individual lots. A distinct lot edge shall be marked on lots to denote that preservation of that area is required.
- I. The petitioner shall provide a treed boulevard entrance to both sections of the development.
- J. Homes shall provide architectural elements throughout the development and alternating garages in order to avoid architectural monotony. Architectural elements shall include but not be limited to dormers, reliefs, textures and alternating materials.

### 3. Environmental

- A. A **comprehensive floral and faunal (wildlife) survey** shall be prepared by a qualified professional and submitted as part of the Conditional Plat application stage of development. The petitioner is required to comply with all applicable FWC regulations and permitting. The petitioner shall have the property surveyed and a

jurisdictional wetland line established that shall be shown on all further plans and drawings.

C. **Required Open Space:**

The petitioner shall preserve the minimum seven percent (7%) natural vegetation as required by the County's Land Development Regulations. The required natural vegetation may be included as part of the required open space.

Multifamily Development (Appendix A, Article VIII, Section 1 (H)(1)(e)) *Minimum open space required for multifamily developments containing twelve (12) or more units: A minimum of fifteen (15) percent of the gross site must be maintained in open space. A minimum of fifty (50) percent of the required open space shall be in areas at least five hundred (500) square feet in size with no horizontal dimension less than fifteen (15) feet. (MF and R-3 Zones)*

D. **Required Natural Vegetation**

Article II, Section 10-28 (2). Preserved natural vegetation and/or planted native vegetation shall be provided per the following standard. The county administrator or designee may grant deviations to this standard if changes in elevation or other conditions preclude meeting this standard.

Projects greater than twenty (20) acres shall designate an area of at least seven (7) percent of the total project area as preserved natural vegetation and no construction activity can occur in this area. Preserved natural vegetation areas must be a minimum of twenty thousand (20,000) square feet.

- E. Natural vegetation is to be retained in the buffers and enhanced with trees and vegetation to meet 80% opacity requirement within 12 months.
- F. Invasive plant species, if present, are to be removed during the development process.
- G. An **archaeological survey** shall be performed by a qualified professional prior to development. If evidence of archaeological sites is present, the petitioner shall adhere to the State regulations regarding archaeological sites and development.
- H. The petitioner must meet the minimum requirements of **Florida Friendly Landscaping™** publications and the Florida Yards and Neighborhoods Program for required plantings and buffers, as applicable.

The Builder/Developer shall provide new property owners with Florida-Friendly Landscaping™ Program information and encourage the use of the principles, techniques, and landscaping recommendations. Information on the County's Fertilizer Ordinance and fertilizer use is to be included. Educational information is available through Hernando County Utilities Department.

4. **Engineering**

- A. Any improvements identified by the traffic access analysis shall be the responsibility of the developer to install.
- B. To make Oxley Road functional for new development, it is required to be paved according to County standards.

- C. The roadways and driveways shall meet Hernando County standards.
  - D. Driveway locations must be coordinated with another project located at West side of Oxley Rd. & South side of Cortez Blvd. (Cone & Graham, key numbers: 357508, 357946, rezoning case H-24-22).
  - E. Sidewalks shall be installed throughout this development.
  - F. FDOT access management and drainage permits are required.
  - G. A transit stop with amenities shall be provided.
5. **Utilities:** These parcels are located within the City of Brooksville Utility Department's (CBUD) first right to serve district; contact CBUD for any utility related comments.
6. **Schools**

The petitioner must apply for and receive a *Finding of School Capacity* from the Hernando County School District (HCSD) prior to the approval of the conditional plat or the functional equivalent. The County will only issue a certificate of concurrency upon the School District's written determination that adequate school capacity will be in place or under actual construction within three (3) years after the issuance of subdivision approval or site plan approval (or functional equivalent) for each level of school without mitigation, or with the execution of a legally binding proportionate share mitigation agreement between the applicant, the School District and the County.

7. **Construction Buffer**

Article II, Section 10-28 (5) All new development (subdivision and commercial) greater than two (2) acres that abuts existing residentially zoned housing units not in previously developed or future phases of the same development must provide a construction buffer at the perimeter of the construction site boundary. It shall be a natural vegetative buffer a minimum of ten (10) feet in width, provide a minimum of eighty (80) percent opacity, and minimize - airborne erosion to existing adjacent residentially zoned housing units. If natural vegetation is not adequate or available to provide such a buffer, a fence or wall at least six (6) feet in height above grade must be installed within thirty (30) days of clearing and prior to commencement of construction.

If a fence is used it must include mesh or slats to minimize airborne erosion. If a permanent fence or wall is provided it must be dominated by greenery on the side facing adjacent property at the conclusion of construction. Retention of a natural vegetative buffer is encouraged. A permanent construction buffer can be used to meet all or part of the requirements for natural vegetation preservation.

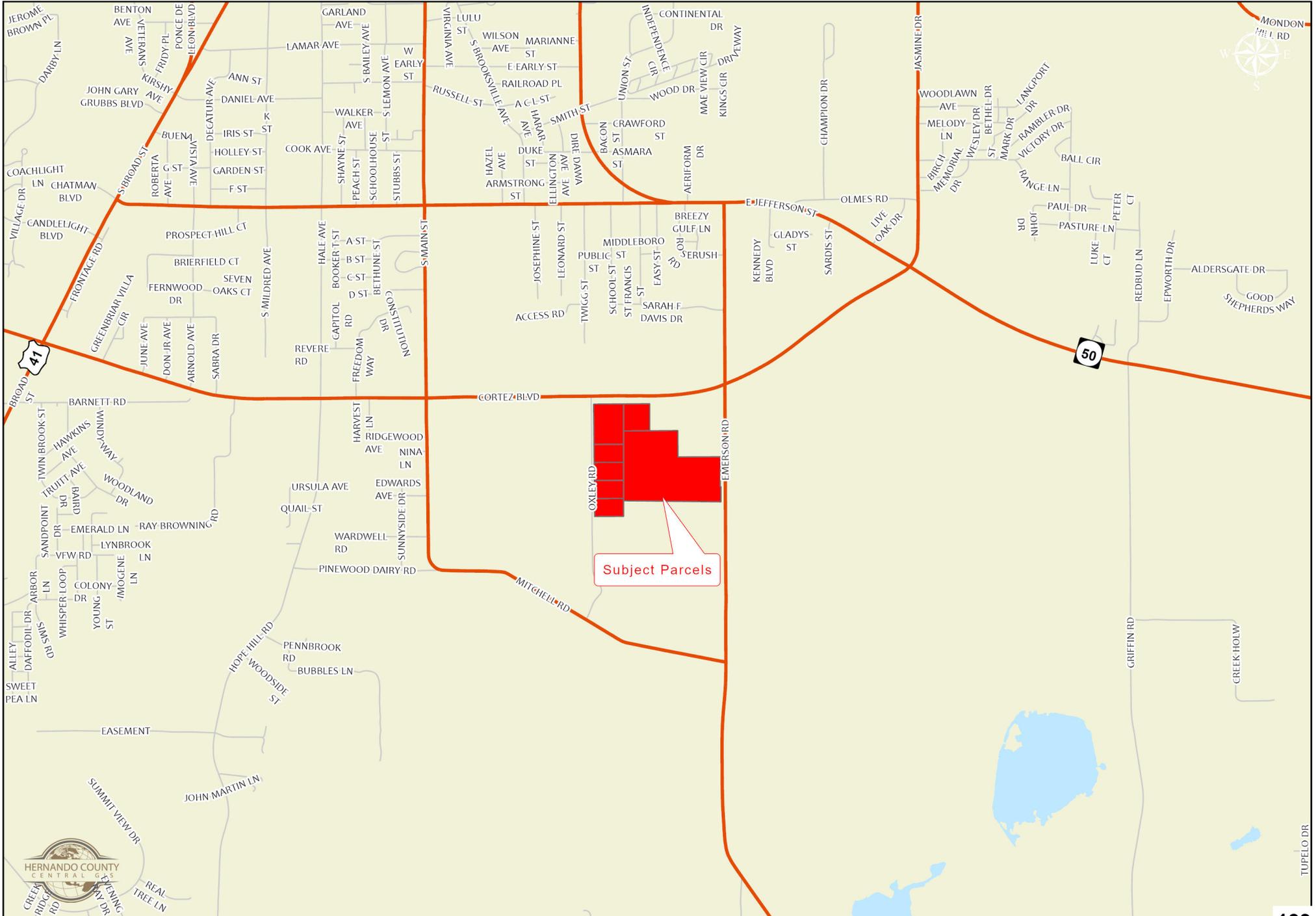
8. The petitioner shall remove any barbed wire and/or electric fencing from the subject parcel(s) prior to the issuance of any Certificate of Occupancy being issued. This includes any areas designated as Buffers and Drainage Retention Areas designated as PDP (Special Use) on plats.
9. Prior to the issuance of an approved set of construction plans, the developer shall provide the Department of Public Works and the Planning Department with a contact list of any known contractors and professionals that will be working on the site as well as designating a primary contact should issues arise.

10. The petitioner shall provide a revised plan in compliance with all the performance conditions within 30 calendar days of BCC approval. Failure to submit the revised plan will result in no further development permits being issued.



# H-24-53 AREA MAP

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.

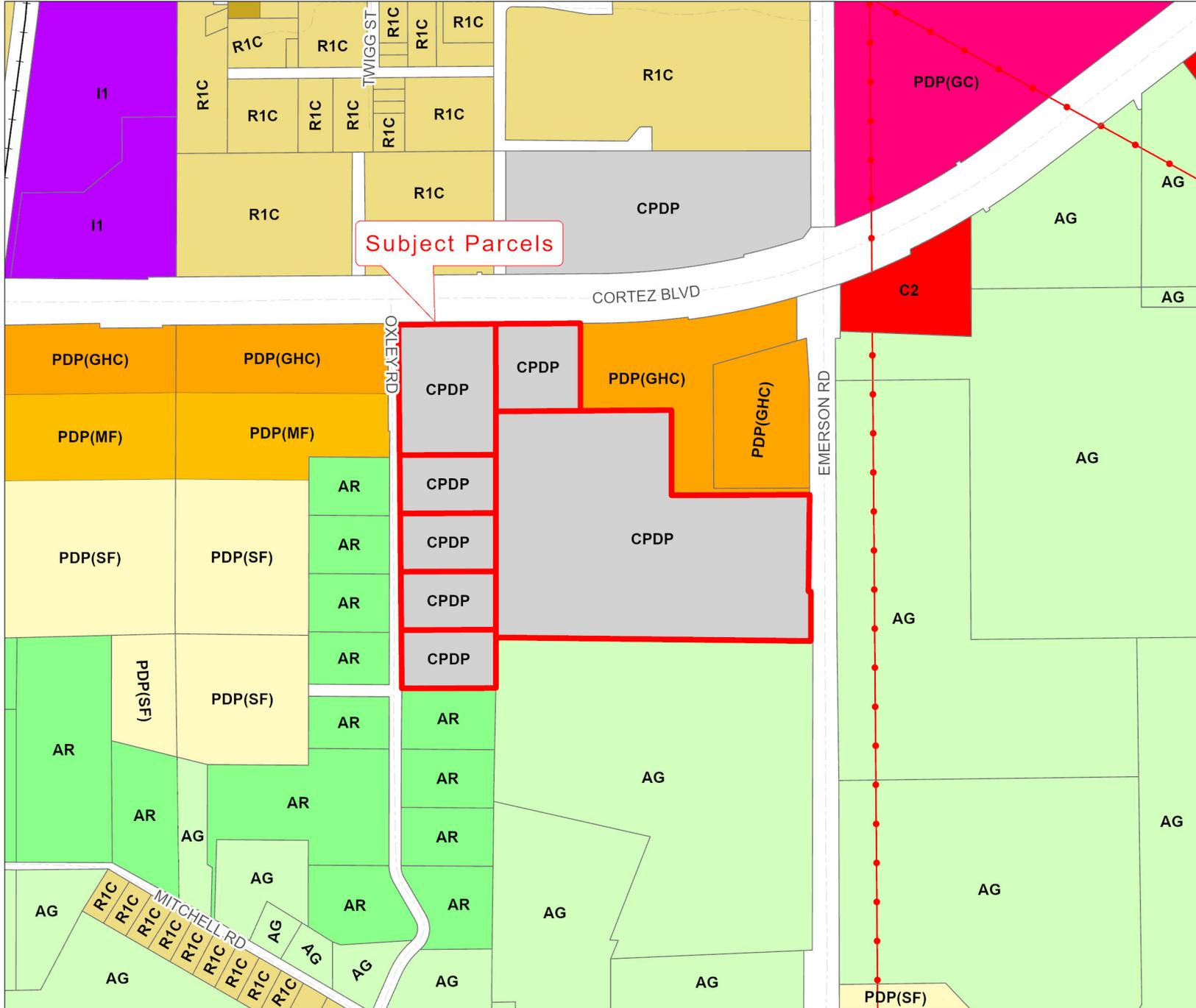


Subject Parcels



# H-24-53

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.

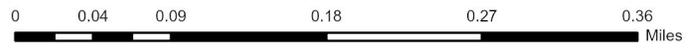


Subject Parcels

**Zoning:**

AC	PDP(HC)
AG	PDP(HHC)
AR	PDP(HID)
AR1	PDP(IND)
AR2	PDP(LI)
C1	PDP(MF)
C2	PDP(MH)
C3	PDP(NC)
C4	PDP(OP)
CITY	PDP(PSF)
CM1	PDP(REC)
CM2	PDP(RR)
CPDP	PDP(RUR)
CV	PDP(SF)
I1	PDP(SU)
I2	R1A
M	R1B
OP	R1C
PDP(AF)	R1MH
PDP(CM)	R2
PDP(CP)	R2.5
PDP(GC)	R3
PDP(GHC)	RC
	RM

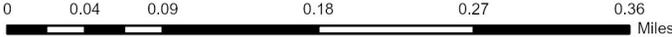
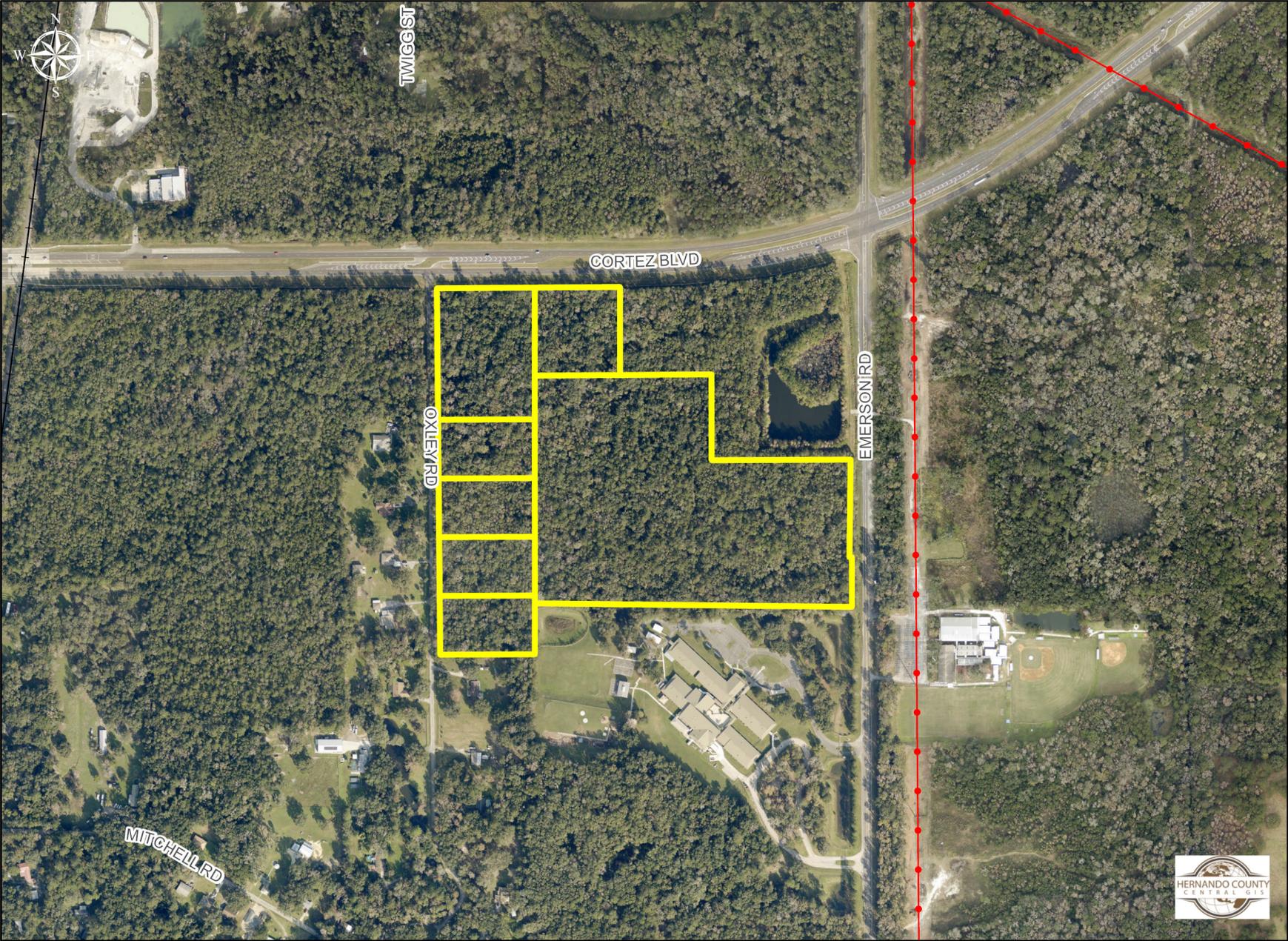
City Zoning Pending



# H-24-53

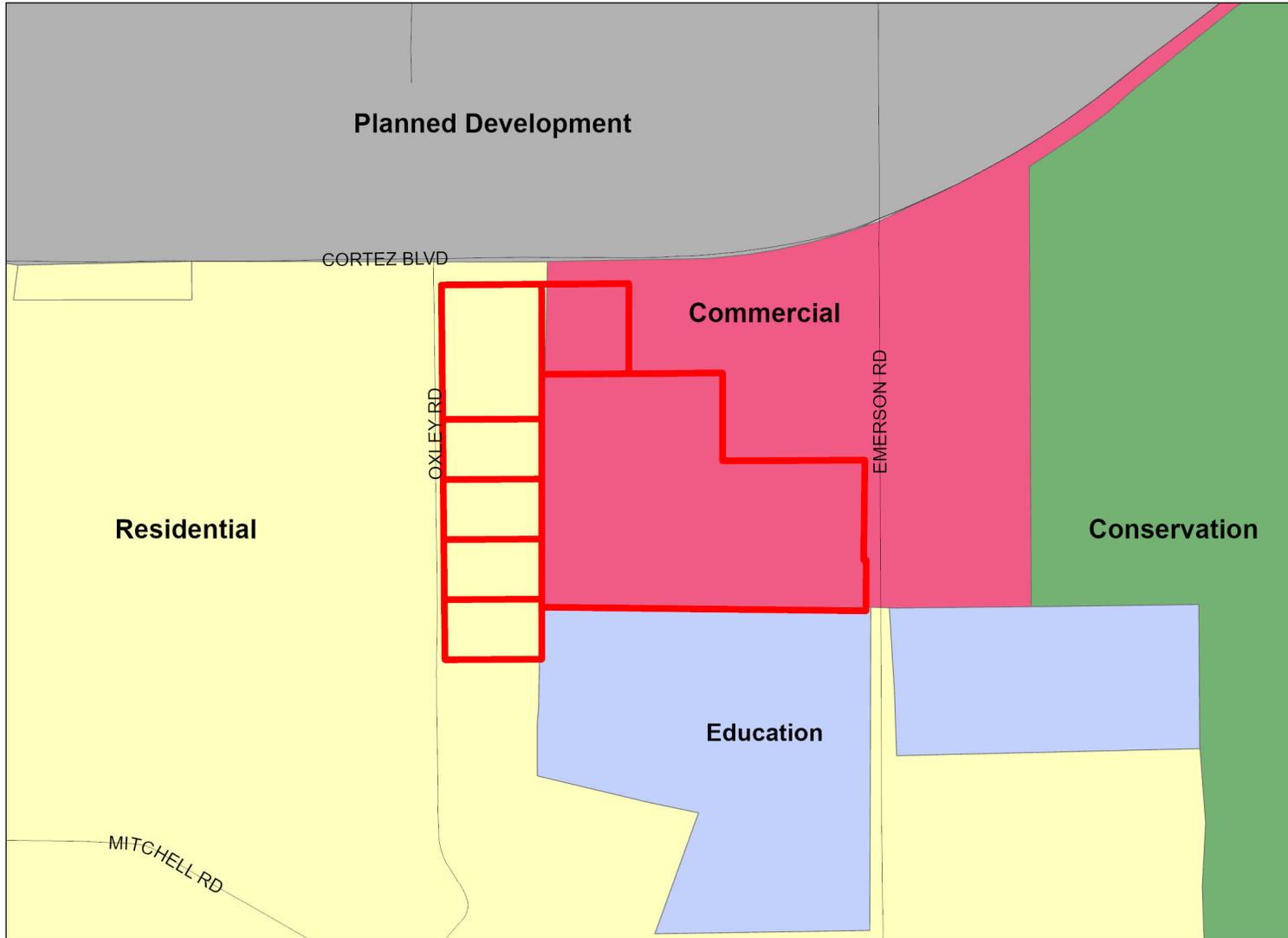
Photo date: 2023

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



# Hernando County Comprehensive Plan Map

Existing Future Land Use: H-24-53  
Version Date: 12/09/2022



**H-24-53**

FLU Riverine District

Regional Commercial

**FLU**

- CITY
- COMMERCIAL
- CONSERVATION
- EDUCATION
- INDUSTRIAL
- MINING
- PLANNED DEVELOPMENT
- PUBLIC FACILITIES
- RECREATION
- RESIDENTIAL
- RURAL

**Future Land Use Map**

PLEASE REFER TO THE TEXT PORTION OF THE COMPREHENSIVE PLAN IN CONJUNCTION WITH THE USE OF THE FUTURE LAND USE MAP SERIES.

NOTE: THE RIVERINE DISTRICT IS SHOWN AS A LINE SETBACK PARALLEL TO THE WEEKI WACHEE, MUD AND WITHLACOOCHEE RIVERS.



Date of mapping: 09/13/2024





## AGENDA ITEM

### TITLE

Rezoning Petition Submitted by Todd Mooney (H-24-49)

### BRIEF OVERVIEW

**Request:**

Rezoning from PDP(GHC) Planned Development Project/(General Highway Commercial) to CPDP/Combine Planned Development Project to include (Light Industrial) and (Highway Commercial) with deviations with specific C-2 uses

**General Location:**

South side of Spring Hill Drive and west side of Broad Street (US Hwy 41)

### FINANCIAL IMPACT

A matter of policy. There is no financial impact.

### LEGAL NOTE

The Planning and Zoning Commission has jurisdiction to make a recommendation on the subject application. The Applicable Criteria for a Zoning District Amendment are contained in Appendix A, (Zoning Code) Article VI. The Applicable Criteria for Planned Development Projects are contained in Appendix A, (Zoning Code) Article VIII. The Zoning District Amendment to the Planned Development District and applicable PDP master plan must be consistent with the Comprehensive Plan.

The notice requirements of Appx. A, Art. VI, Sec. 7 of the Hernando County Code have been complied with.

### RECOMMENDATION

It is recommended that the Planning and Zoning Commission recommend the Board of County Commissioners adopt a resolution approving the petitioner’s request for a rezoning from PDP(GHC) Planned Development Project/ (General Highway Commercial) to CPDP/Combine Planned Development Project to include (Light Industrial) and (High Commercial) with deviations and specific C-2 uses with performance conditions.

### REVIEW PROCESS

Omar DePablo	Approved	10/31/2024	7:03 AM
Toni Brady	Approved	10/31/2024	9:19 AM
Pamela Hare	Approved	10/31/2024	9:58 AM
Melissa Tartaglia	Approved	10/31/2024	12:43 PM
Danielle Nigro	Approved	10/31/2024	1:24 PM

**RESULT: ADOPTED**

<p><b>MOVER:</b> Kathryn Birren <b>SECONDER:</b> W. Steven Hickey <b>AYES:</b> Holmes, Hickey, Birren, McDonald and Morgan <b>ABSENT:</b> Noe</p>
---------------------------------------------------------------------------------------------------------------------------------------------------------------

HERNANDO COUNTY ZONING AMENDMENT PETITION



Application to Change a Zoning Classification

Application request (check one):

- Rezoning [ ] Standard [x] PDP
Master Plan [ ] New [ ] Revised
PSFOD [ ] Communication Tower [ ] Other
PRINT OR TYPE ALL INFORMATION

File No. \_\_\_\_\_ Official Date Stamp:
11-24-49
Received
AUG 7 2024

Date: 08/05/2024

Planning Department
Hernando County, Florida

APPLICANT NAME: Todd Mooney
Address: 13210 Spring Hill Drive
City: Spring Hill State: FL Zip: 34609
Phone: 352-683-4207 Email: mooney1325@yahoo.com
Property owner's name: (if not the applicant) Huntley Holdings, LLC

REPRESENTATIVE/CONTACT NAME: Donald Lacey, AICP
Company Name: Coastal Engineering Associates, Inc.
Address: 966 Candlelight Boulevard
City: Brooksville State: FL Zip: 34601
Phone: 352-796-9423 Email: dlacey@coastal-engineering.com

HOME OWNERS ASSOCIATION: [ ] Yes [x] No (if applicable provide name)
Contact Name:
Address: City: State: Zip:

PROPERTY INFORMATION:
1. PARCEL(S) KEY NUMBER(S): 01231599, 01335807
2. SECTION 18, 17, TOWNSHIP 23, RANGE 19
3. Current zoning classification: PDP (GHC)
4. Desired zoning classification: CPDP, PDP(Light Industrial), PDP(Highway Commercial)
5. Size of area covered by application: 35.1 acres
6. Highway and street boundaries: SWC of US Hwy 41 & Spring Hill Drive in Hernando County
7. Has a public hearing been held on this property within the past twelve months? [ ] Yes [x] No
8. Will expert witness(es) be utilized during the public hearings? [ ] Yes [x] No (If yes, identify on an attached list.)
9. Will additional time be required during the public hearing(s) and how much? [ ] Yes [x] No (Time needed: )

PROPERTY OWNER AFFIDIVAT

I, Jacob W. Huntley, have thoroughly examined the instructions for filing this application and state and affirm that all information submitted within this petition are true and correct to the best of my knowledge and belief and are a matter of public record, and that (check one):

- [ ] I am the owner of the property and am making this application OR
[x] I am the owner of the property and am authorizing (applicant): Todd Mooney
and (representative, if applicable): Donald Lacey, AICP/Coastal Engineering Associates, Inc
to submit an application for the described property.

Jacob Huntley

Signature of Property Owner

State of Texas | County of Tarrant

The foregoing instrument was acknowledged before me this 05 day of August, 20 24, by Jacob Huntley who is personally known to me or produced Driver License as identification.

Signature of Notary Public

Document Notarized using a Live Audio-Video Connection

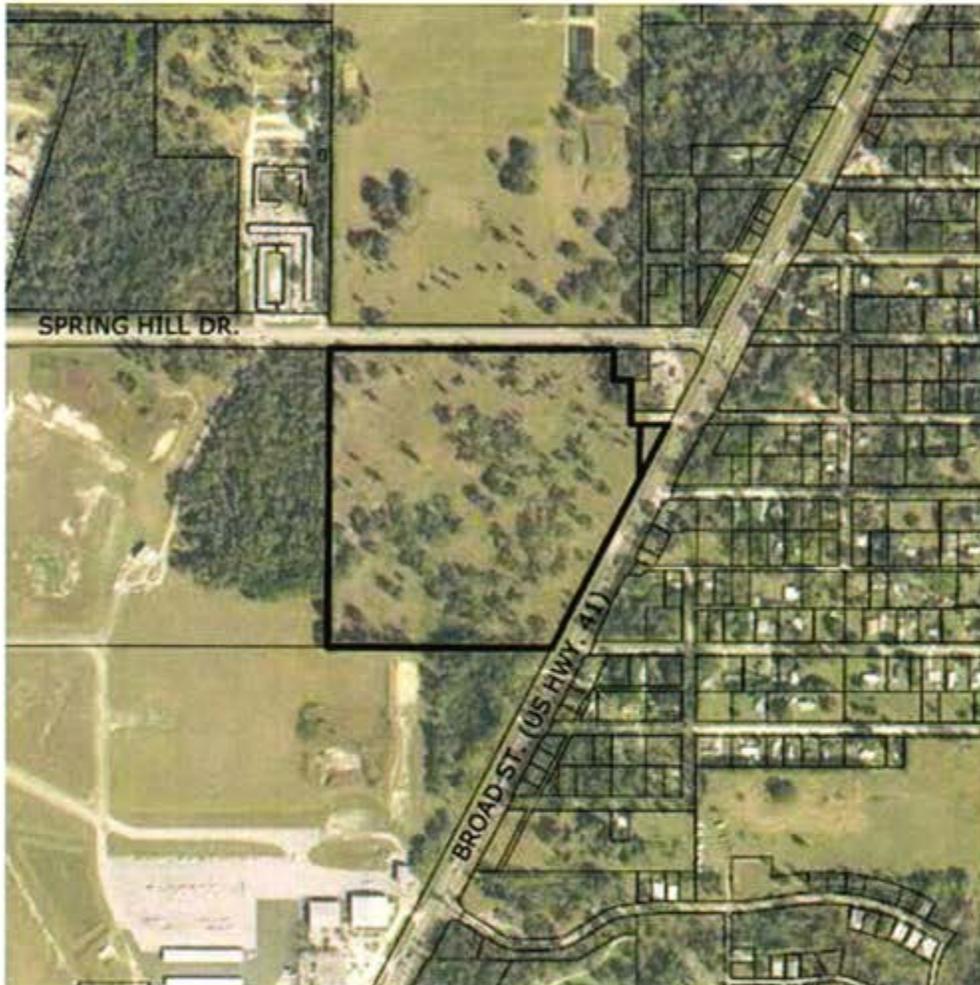


Notary Seal/Stamp

Effective Date: 11/8/16 Last Revision: 11/8/16



REZONING APPLICATION  
MOONEY CPDP (PDP-LI; PDP-HC)  
PARCEL KEY #s 1231599; 1335807



**Figure 1. MOONEY (Key no. 1231599 & 1335807), Aerial & Location Map**

**General:**

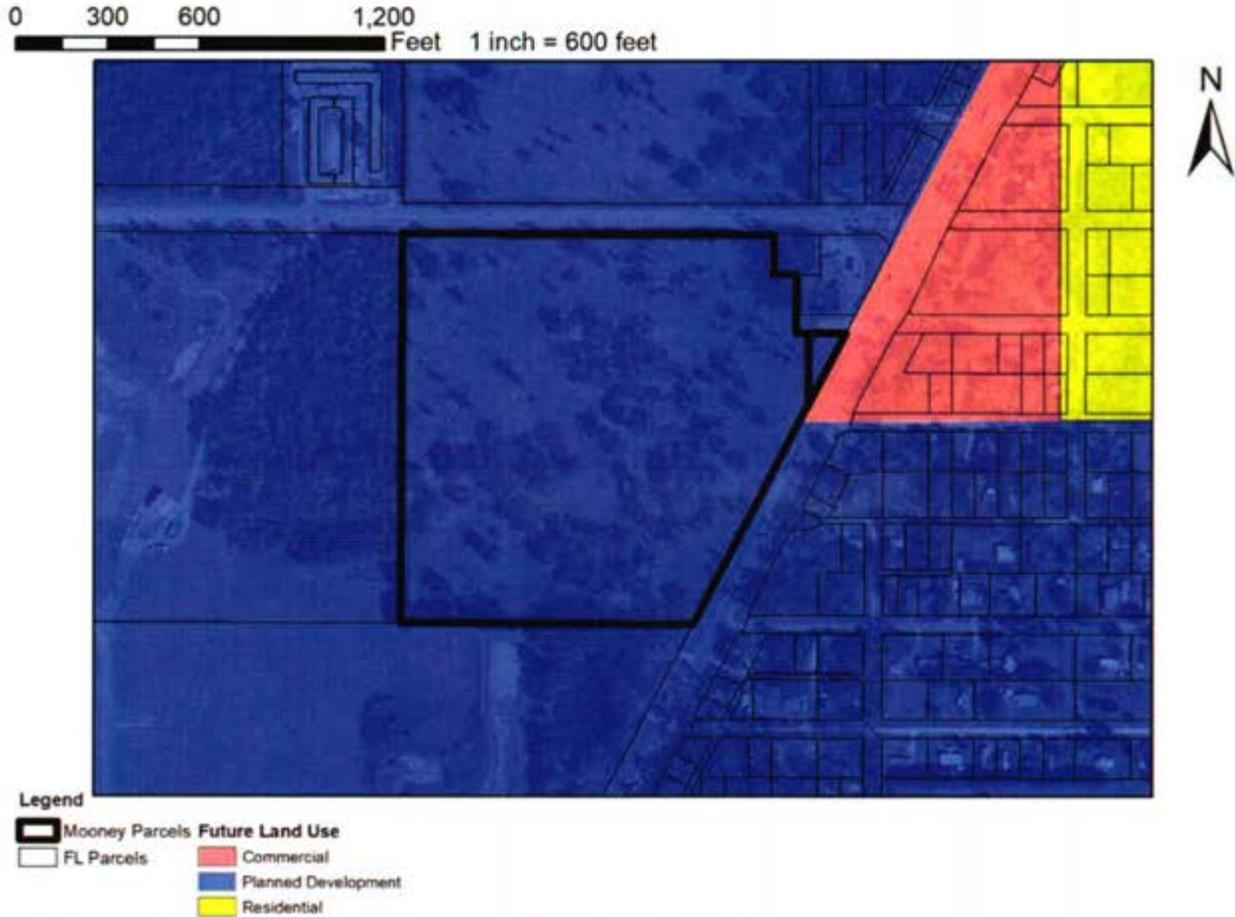
The subject site, consisting of approximately 35.2 acres, lies within Sections 17 & 18, Township 23 S; Range 19 E and is located on the west side of US 41 and the south side of Spring Hill Drive. The property is identified by the Hernando County Property Appraiser (HCPS) as parcel keys 1231599; 1335807. Refer to Figure 1 for location and aerial view.

As shown on Figures 2 and 3, the present land use designations are as follows:

Received

AUG 7 2024

**Comprehensive Plan Future Land Use Map (FLUM)** – The future land use designation for the subject property is Planned Development, specifically the Airport Planned Development District. Parcels to the south, west and north are also within the Airport PDP, while east (across US 41) the immediate parcels are designated Commercial. See Figure 2.



**Figure 2. MOONEY (Key no. 1231599 & 1335807), Future Land Use Map**

**Zoning** – The property is presently zoned as a Planned Development Project – General Highway Commercial (GHC) a designation that allows for land uses in the C-1 category. The PDP zoning also included the following C-2 uses: nurseries, automobile/truck repair establishments and drive-thru facilities for a drug store. See Figure 3.

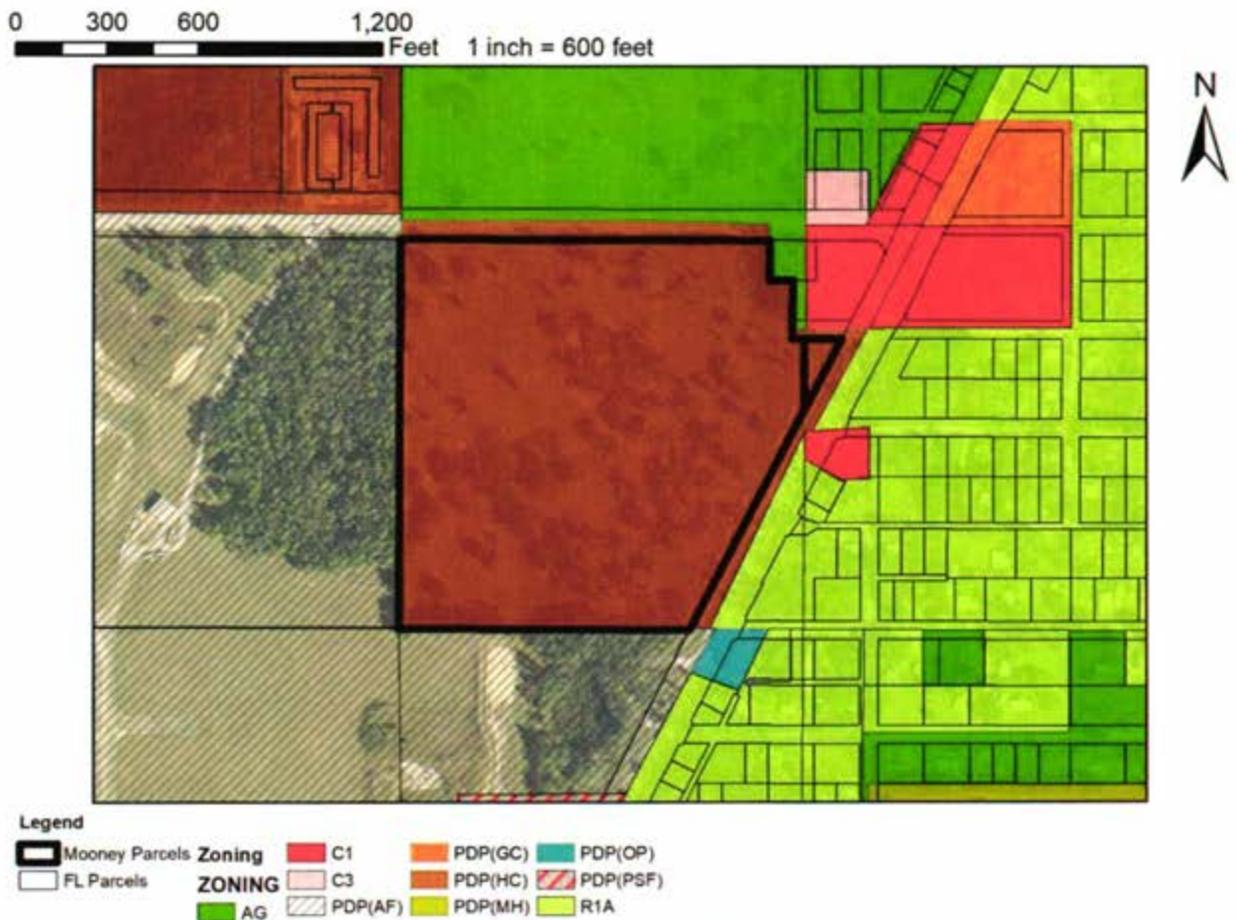


Figure 3. MOONEY (Key no. 1231599 & 1335807), Current Zoning Map

The following table identifies adjacent properties, their zoning classifications and their designation in the comprehensive plan's future land use map.

	<u>Property Description</u>	<u>ZONING</u>	<u>FLU</u>
<b>North</b>	Vacant	<b>AG</b>	<b>Airport PDD</b>
<b>South</b>	Airport	<b>PDP-AF</b>	<b>Airport PDD</b>
<b>East</b>	Garden Grove Community	<b>R1A</b>	<b>Commercial</b>
<b>West</b>	Airport	<b>PDP-AF</b>	<b>Airport PDD</b>

### Request

The present zoning on the subject property is PDP-GHC (General Highway Commercial – Planned Development Project). The applicant intends to make very minor modifications to the master plan and expand the zoning to CPDP-LI and HC (Combined Planned Development Project – Light Industrial and Highway Commercial).

The location of the site at the intersection of two major arterial roadways and adjacent to the Brooksville -Tampa Bay Regional Airport makes it a desirable property for a variety of commercial and light industrial uses. The proposed changes are consistent with the County's Future Land Use Map's Airport Planned Development District designation which supports the inclusion of both light industrial and commercial activity. Widening the spectrum of available land uses for businesses interested in this project's unique location will make it more attractive.

The subject property is ideally suited for the proposed uses in that it is located at the confluence of two major arterial roadways and has sufficient frontage on both roads to allow safe ingress and egress. It is also in very close proximity to two regional transportation links, the Suncoast Parkway and the Brooksville-Tampa Bay Regional Airport. The property is already provided with both sewer and water infrastructure by the Hernando County Utilities Department. There are minimal amounts of wetland and floodplain located on the property.

The proposed master plan takes advantage of the extensive frontage on the arterial roadways by establishing three common access points from the arterial network and creating up to 10 lots fronting the highways for commercial use. These lots will all served by a joint access drive or cross-access agreements. The remaining acreage interior from the commercial parcels will be available for light industrial or commercial uses and may be further subdivided to create up to four individual parcels. An overall drainage system will likely be established, utilizing the lower elevations along the western and southern boundaries. Landscape buffers will be created along both US 41 and Spring Hill Drive to provide the project with an appealing view from the adjacent highways.

**Setbacks and Buffers**

*Perimeter Building Setbacks:*

- North: 75'
- South: 35'
- East: 75'
- West: 35'

*External Commercial Lot Building Setbacks:*

- Front: 75'
- Rear: 35'
- Side:: 20'

Internal Industrial/Commercial Parcels

20' between buildings

*Buffers:*

- North: 35' Landscape Buffer
- South: 15' Natural Vegetative Buffer where no DRA is created
- East: 35' Landscape Buffer
- West: 15' Natural Vegetative Buffer where no DRA is created

Maximum Building Height: 45'

Maximum Building Square Footage: 500,000 square feet

**Draft of Protective Covenants**

A property owners association will be created to cover maintenance and repair of any common facilities, such as drainage areas and access drives.

## Development Schedule

No timetable for development has been established, however, conditional platting of the property will be the initial step and may be undertaken in 2025.

## Proposed Public Improvements

Access to the adjacent public roads and connection to HCUD utilities will be permitted with the Hernando County Engineer, the Hernando County Utilities Department and the Florida Department of Transportation.

## Adequate Access

The property has approximately ¼ mile frontage along both US 41 and Spring Hill Drive. Both roads are multi-laned and have sufficient capacity to handle the proposed project. The location of an existing directional left turn lane on US 41 will be utilized for the project's eastern entrance. Two access points are proposed from Spring Hill Drive to the north, with the configuration to be worked out with the County Engineer. This will likely be done during the conditional platting process, when a traffic study will be prepared and submitted for County review. With Airport property to the south of this project, the normally-required frontage road was waived in the existing zoning. Access within the project will be handled via access drives and/or cross access agreements.

**Topography:** As shown in figure 4, the highest elevations are in the northeast corner of the property (86 ft) and the property descends approximately 20 ft as it reaches its southern and western boundaries.

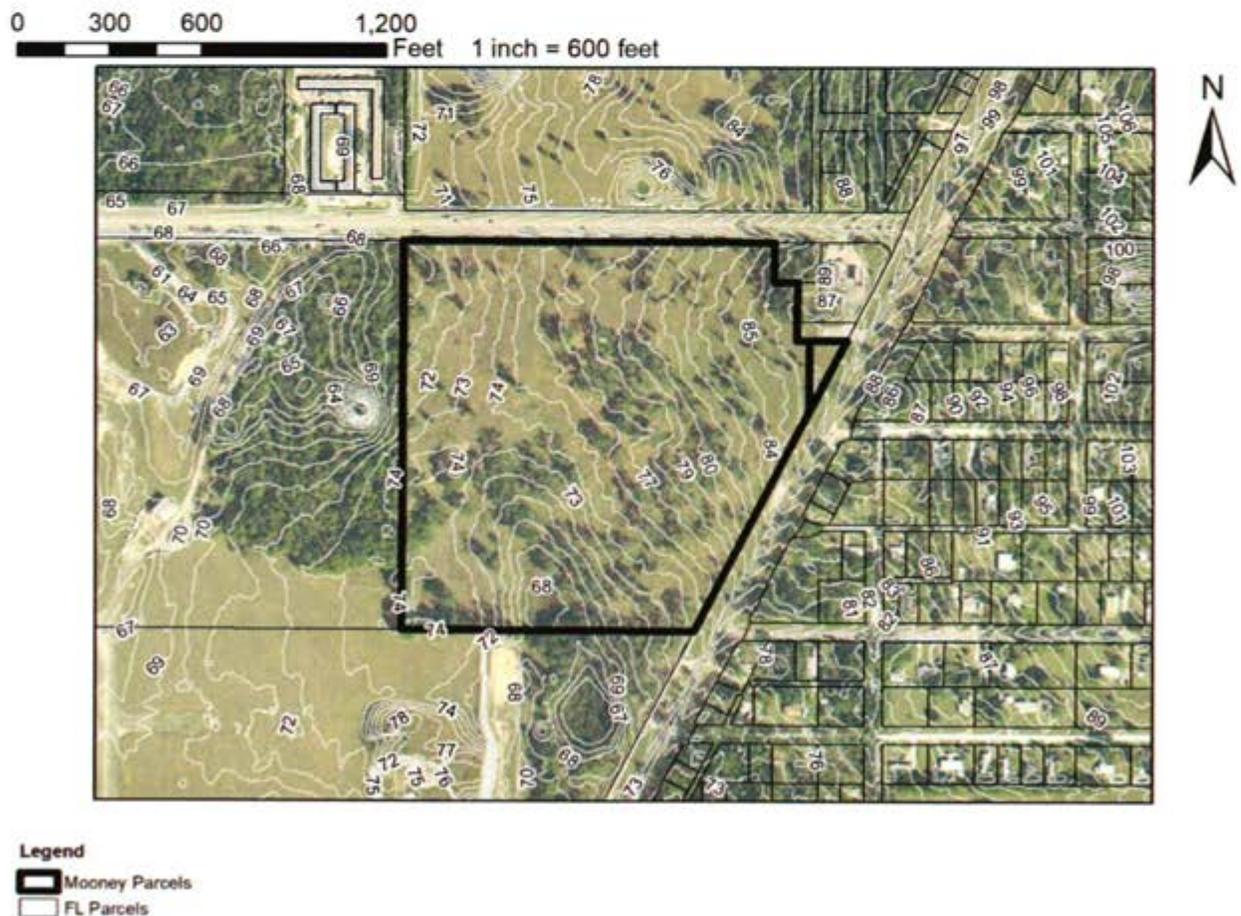


Figure 4. MOONEY (Key no. 1231599 & 1335807), Topography Map

## Floodplain

The property is located on the Federal Emergency Management Agency (FEMA), Flood Insurance Rate Map (FIRM) community panel effective date 2/2/2012. As shown in figure 5, a small area of 100-year floodplain is located in the southern portion of the property, in the approximate location of a jurisdictional wetland marsh.

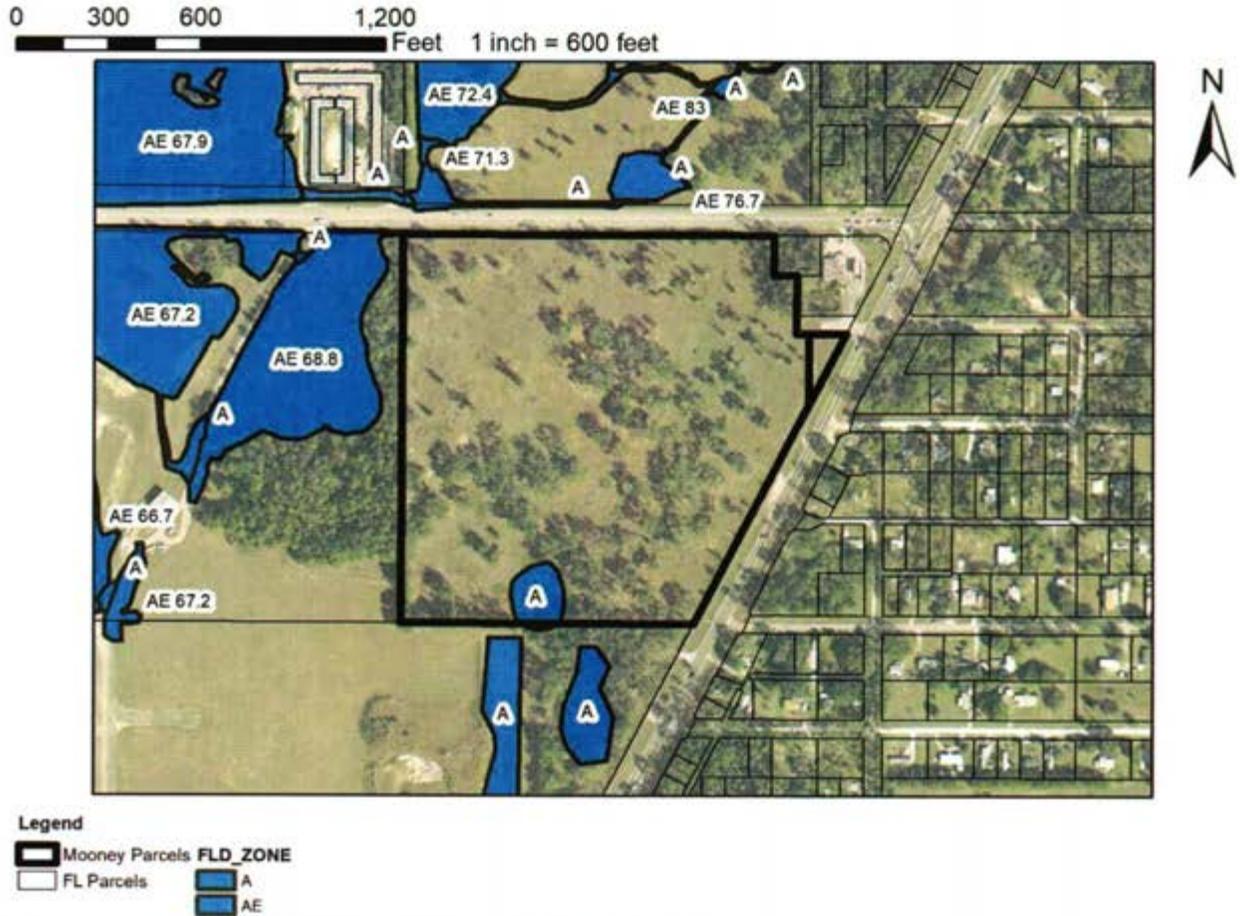


Figure 5. MOONEY (Key no. 1231599 & 1335807), Floodplain Map

## Soils

The subject property contains three (3) soil types, including Kendrick fine sand (well drained), Masaryk very fine sand (moderately well drained) and Nobleton fine sand (somewhat poorly drained). See Figure 6.

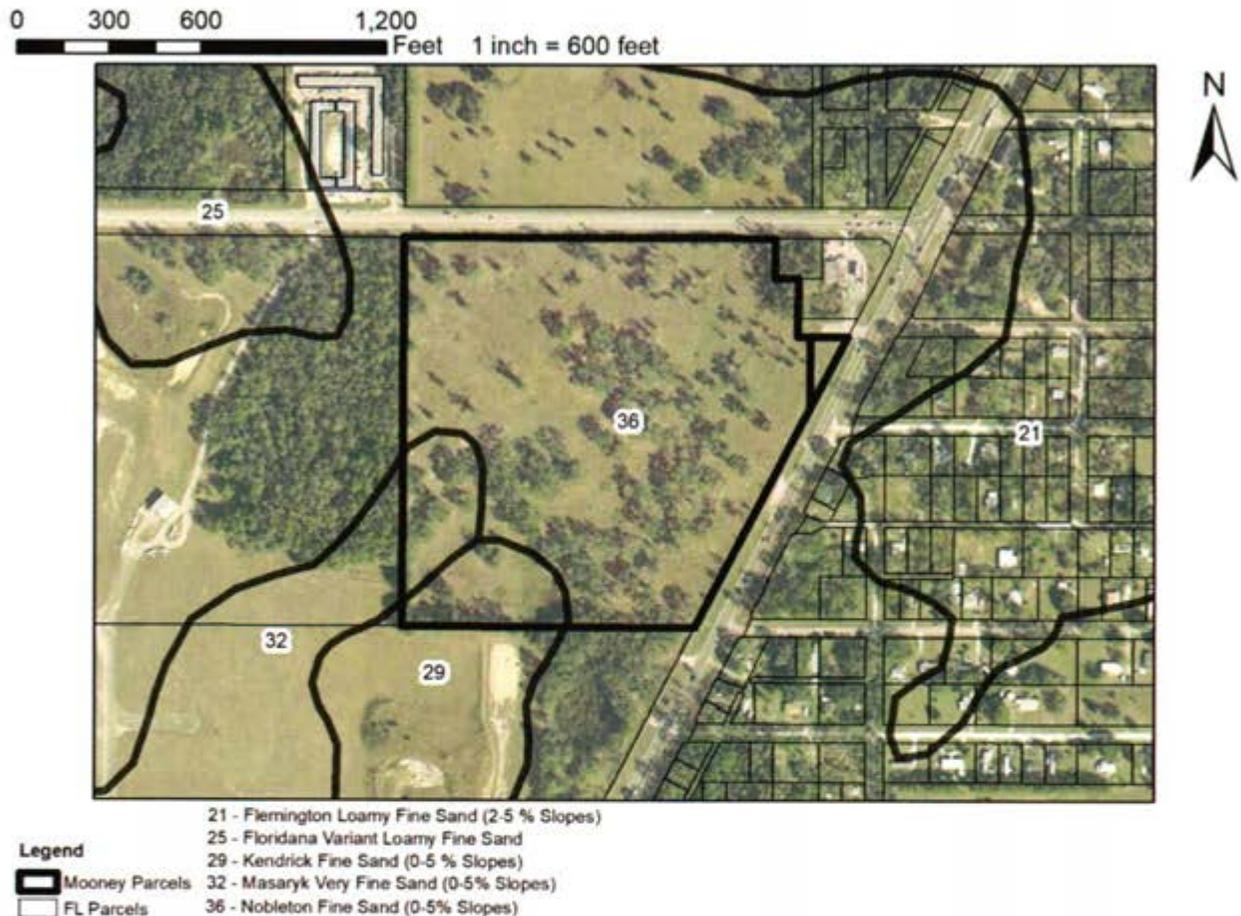


Figure 6. MOONEY (Key no. 1231599 & 1335807), Soil Map

## Site Environmental

A preliminary environmental site visit was conducted on February 22, 2024, by Coastal's environmental staff. The following are the results of the site visit.

- The subject property is vacant and undeveloped.
- Three (3) jurisdictional wetland areas were confirmed on the subject property. The approximate wetland areas are depicted on Figure 7.. A wetland delineation will be established in accordance with SWFWMD regulations prior to project design. Wetland areas less than 0.50 acres that do not contain listed species can be proposed for impact with no habitat mitigation required.
- The majority of the trees on the subject property are live oak trees (*Quercus virginiana*). These trees are either specimen or majestic size trees (trees greater than 18-inch DBH). Tree removal and the associated tree mitigation will be done in accordance with the Hernando County Tree and Landscaping Ordinance.
- Other smaller trees on the property include camphor, slash pine, laurel oak, and sweetgum trees.
- The ground cover is a mixture of various pasture grasses, dogfennel, Cogan grass, blackberry and beautyberry.

- Gopher tortoise burrows (a Florida threatened species) were detected on the property, although their density is very low. An off-site gopher tortoise permit must be obtained from the Florida Fish and Wildlife Conservation Commission (FWC), and the gopher tortoise(s) relocated prior to development of the property. It is estimated that there are 5 or less tortoise burrows.
- There were no other state or federally listed species detected.

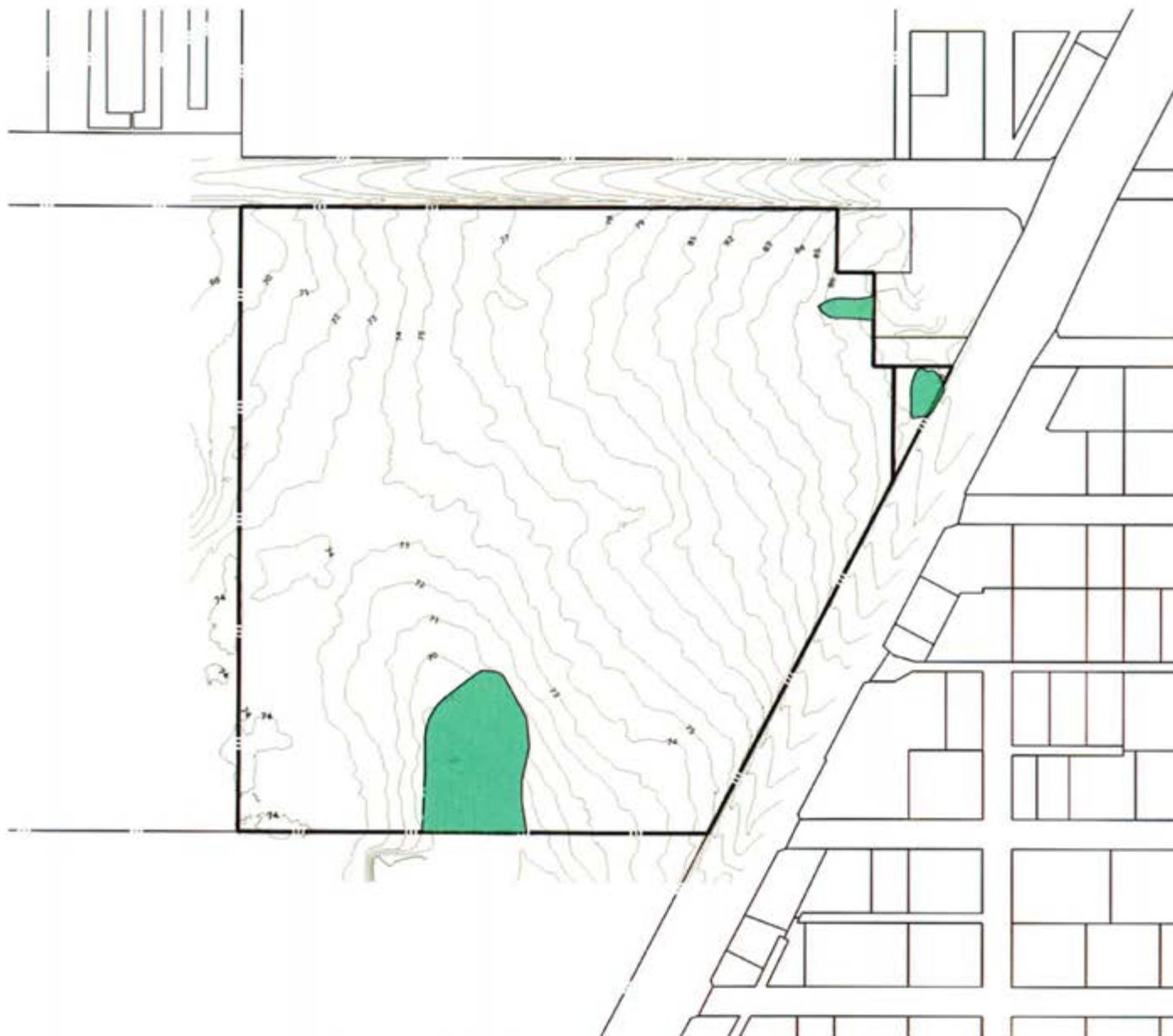


Figure 7. MOONEY (Key no. 1231599 & 1335807), Wetlands Map

#### Utilities

The Hernando County Utilities Department's sewer and potable water infrastructure is adjacent to the property, with wastewater treatment being provided at the nearby Airport Subregional Wastewater Treatment Facility.

**Drainage:**

A stormwater retention system will be designed and permitted to accommodate all drainage from the subject site. If a common DRA is created it will likely be in the western and southern portions of the property, generally as depicted on the master plan.

**Recreation:**

Commercial and Industrial land uses do not have an impact on recreational facilities.

**Schools:**

Commercial and Industrial land uses do not have an impact on school facilities.

**Deviations:**

No additional deviations are proposed. The frontage road requirement along US 41 was waived with the previous zoning approval and the US 41 building setback was set at 75'.

## STAFF REPORT

---

**HEARINGS:** Planning & Zoning Commission: November 4, 2024  
Board of County Commissioners: December 17, 2024

**APPLICANT:** Todd Mooney

**FILE NUMBER:** H-24-49

**REQUEST:** Rezoning from PDP(GHC) Planned Development Project/(General Highway Commercial) to CPDP/Combine Planned Development Project to include (Light Industrial) and (Highway Commercial)with deviations with specific C-2 uses

**GENERAL**

**LOCATION:** South side of Spring Hill Drive and west side of Broad Street (US Hwy 41)

**PARCEL KEY:** 1231599, 1335807

---

**APPLICANT'S REQUEST:**

The petitioner is requesting a rezoning from PDP(GHC) Planned Development Project/(General Highway Commercial) to CPDP/Combine Planned Development Project to include (Light Industrial) and (Highway Commercial) with deviations and specific C-2 Uses. The parcel is located at the intersection of Spring Hill Drive and Broad Street (US Hwy 41) and is adjacent to the Brooksville -Tampa Regional Airport. The petitioner is proposing to take advantage of the extensive frontage on arterial roadways by establishing three (3) common access points and creating up to ten (10) out parcels fronting the highway for commercial and light industrial uses. The petitioner has proposed a maximum of 500,000 square feet of development.

Requested Deviations:

1. **Eastern Perimeter Setback:** 75' (deviation from 125').
2. **Specific C-2 uses:** Drive-In Restaurant, Mini-Warehouse and Automobile Service Establishment
3. **Maximum Height Deviation:** 45' (deviation from 35')

**SITE CHARACTERISTICS:**

**Site Size:** 35.1 acres

**Surrounding Zoning  
& Land Uses:**

North: AG; Spring Hill Drive Agricultural  
South: Airport  
East: R1A; Residential  
West: PDP(AF)

**Current Zoning:** PDP(General Highway Commercial

**Future Land Use  
Map Designation:** Airport PDD

**ENVIRONMENTAL REVIEW:**

**Soil Type:** Nobleton Fine Sands, Masaryk Very Fine Sand, Kendrick Fine Sand

**Comments:** A comprehensive wildlife/gopher tortoise survey, prepared by a qualified professional, shall be conducted prior to any development occurring on the property. The petitioner is required to comply with all applicable FWC regulations.

**Hydrologic Features:** The subject property contains no wetlands or Special Protection Areas (SPA), according to County data resources.

**Protection Features:** A Well Head Protection Areas (WHPA) is located on the northwest corner of the property according to County data resources. The WHPA 2 is associated with a public supply well.

**Water Quality Review:** The proposed development is within the Weeki Wachee Priority Focus Area for the Weeki Wachee River Basin Management Action Plan and subject to a nutrient Total Maximum Daily Load (TMDL) for nitrate. Where stormwater is directed to retention/detention areas the developer shall use enhanced treatment methods to reduce nitrogen loading.

**Comments:** This project is located within the Weeki Wachee Basin identified by FDEP as contributing nutrients to the Weeki Wachee Riverine System. The petitioner shall meet the minimum recommendations of the Florida Yards & Neighborhoods (FYN) Program for design techniques and principles for all required landscaping.

**AIRPORT REVIEW:**

When this project was previously approved, lighting was a concern to the county. According to the Airport Manager at the time, each of the previously approved conditions regarding lighting (found herein) are still applicable; however, it should also be stipulated as part of the approval that the petitioner must demonstrate satisfactory compliance with federal aviation regulation's part 77 and Federal Aviation Administration "Advisory Circular (AC) 70/7460-1J" regarding Obstruction Marking and Lighting.

The Airport Authority has indicated that any development on the subject site will have to meet the requirements of the Federal Approach Slope Standards for building heights. An Avigation Easement shall be provided by the petitioner to the Hernando County Airport.

**UTILITIES REVIEW:**

HCUD does not currently supply water or sewer service to these parcels. However, water and sewer service are available. HCUD has no objection to the request, subject to a Utility Capacity Analysis and connection to the central water and sewer systems at the time of vertical construction.

**ENGINEERING REVIEW:**

The subject site is located on the south side of Spring Hill Drive and west of Broad Street (US Hwy 41). The petitioner has indicated two (2) access points to Spring Hill drive and one on Broad Street (US Hwy 41). The County Engineer has reviewed the petitioners' request and indicated the following:

- The proposed development is located in two watersheds. The Powell watershed and Squirrel Prairie. Squirrel Prairie is an administrative Floodplain.
- The driveway connections will require FDOT access management permits and possibly FDOT drainage permits.
- A Traffic Access Analysis is required. Any improvements identified by the Traffic Access Analysis will be the responsibility of the developer to install.
- The internal roadway shall be a major local / commercial and could be a collector depending on the number of trips associated with this project.
- Sidewalk along Spring Hill Drive will be required.
- Sidewalks along Broad Street/US Hwy 41, are within the FDOT jurisdiction, and may be required.
- The buildings will need to be connected to the sidewalks along Spring Hill Drive and Broad Street/US 41.
- Connectivity of project to the intersection (Spring Hill Drive & Broad Street/US Hwy 41), shall be thru Hernando County parcel key number 1640503 and is to align with Evening Star Ave.
- The developer shall provide a transit stop with amenities.

**LAND USE REVIEW:**

The petitioner proposes a maximum of 500,000 square foot for the proposed project. The maximum building area permitted for single buildings or single site development with multiple buildings with the same use and owned and managed by the same entity in the commercial zoning districts provided for in this section shall be limited to sixty-five thousand (65,000) square feet. Any single building, or single site development with multiple buildings with the same use and owned and managed by the same entity, greater than sixty-five thousand (65,000) square feet may apply for approval through the Planned Development project section of this ordinance.

Large Retail Project: Any new commercial retail project, whose total gross building area equals or exceeds 25,000 square feet, specifically mercantile uses, and or shopping center uses. For the purpose of determining building area, multiple buildings located closer than 20 feet together shall be considered one building.

The petitioners proposed overall square footage exceeds the 65,000 square foot threshold and therefore shall meet the minimum standards of the Large Retail Project ordinance. These

standards are intended to provide developers of large retail building development with guidelines for creating safer, efficient, pedestrian-friendly projects with human scale orientation, while discouraging large, nondescript buildings and "unfriendly" pedestrian design, limited landscaping, and vast non-shaded parking lots.

**Building Setbacks:**

- North: Spring Hill Drive 75'
- South: 35'
- East: Broad Street 75' (Deviation from 125')
- West: 35'

**Internal Industrial/Commercial**

- Building Separation: 20'

**Parking:**

County LDRs require minimum off-street parking ratios based on the type of use. If the master plan is approved, the petitioner shall be required to meet the minimum parking requirements of the Land Development Regulations

**Landscaping:**

The petitioner must meet the minimum requirements of Florida Friendly Landscaping™ publications for design techniques, principles, materials, and plantings for required landscaping.

**Buffers:**

The Petitioner is proposing the following landscape buffers:

- North: 35' Landscape Buffer
- South: 15' Natural Vegetative Buffer where no DRA is created
- East: 35' Landscape Buffer
- West: 15' Natural Vegetative Buffer where no DRA is created

**Lighting:**

County LDRs require lighting that enhances the visual impact of the project on the community and specifically addresses lighting intensity levels and glare accordingly. Commercial buildings and projects shall be designed to provide safe, convenient and efficient lighting for pedestrians and vehicles.

**Comments:** The petitioner has not indicated any provisions for lighting of the subject property. If approved, the petitioner should be required meet the minimum requirements of the Airports lighting plan and where permissible provide full cutoff fixtures and retain all light on-site and prevent any light spillage onto neighboring uses.

**Building Height**

The petitioner is proposing a maximum height deviation from 35' to 45'.

**Comments:** The petitioner shall coordinate the height of all buildings with the Airport prior to development.

**COMPREHENSIVE PLAN REVIEW:**

- Objective 1.05B:** The Airport Planned Development District (Airport PDD) is created to facilitate maximum utilization of the Brooksville/Tampa Bay Regional Airport as a center for aviation and aviation-related uses, industrial and business park uses and the development of private lands in support of an employment center.
- Strategy 1.05B(1):** The Airport PDD includes both public and privately owned lands. Primary uses allowed include a mixture of aviation, commercial, industrial, and public facilities. Recommended uses for publicly owned airport properties are guided by the Airport Master Plan for the Brooksville-Tampa Bay Regional Airport, as updated from time to time
- Strategy 1.05B(7):** Commercial and industrial development must be compatible with airport operations and other airport activities. Industrial development shall generally be encouraged and incentivized over commercial for the purpose of protecting the employment base of the Airport PDD
- Comments:** The subject site is located within the Airport PDD on the County's adopted Comprehensive Plan. The proposed uses are compatible with the surrounding area and consistent with the Comprehensive Plan.

**FINDING OF FACTS:**

A rezoning from PDP(GHC) Planned Development Project/(General Highway Commercial) to CPDP/Combine Planned Development Project to include (Light Industrial) and (Highway Commercial) with deviations is appropriate and is compatible with the surrounding area and consist with the Comprehensive Plan.

**NOTICE OF APPLICANT RESPONSIBILITY:**

*The rezoning process is a land use determination and does not constitute a permit for either construction on, or use of, the property, or a Certificate of Concurrency. Prior to use of, or construction on, the property, the petitioner must receive approval from the appropriate County department(s) for the proposed use.*

*The granting of this land use determination does not protect the owner from civil liability for recorded deed restrictions which may exceed any county land use ordinances. Homeowner's associations or architectural review committees require submission of plans for review and approval. The applicant for this land use request should contact the local association or the Public Records for all restrictions applicable to this property.*

**STAFF RECOMMENDATION:**

It is recommended that the Planning and Zoning Commission recommend the Board of County Commissioners adopt a resolution approving the petitioner's request for a rezoning from PDP(GHC) Planned Development Project/ (General Highway Commercial) to CPDP/Combine

Planned Development Project to include (Light Industrial) and (High Commercial) with deviations and specific C-2 uses with the following performance conditions:

1. The petitioner must obtain all permits from Hernando County and other applicable agencies and meet all applicable land development regulations, for either construction or use of the property, and complete all applicable development review processes.
2. A comprehensive wildlife/gopher tortoise survey, prepared by a qualified professional, shall be conducted prior to any development occurring on the property. The petitioner is required to comply with all applicable FWC regulations.
3. Perimeter Building Setbacks
  - North (Spring Hill Drive): 75'
  - South: 35'
  - East (Broad Street): 75' (Deviation from 125')
  - West 35'

External Commercial Lot Building Setbacks:

- Front: 75'
- Rear: 35'
- Side: 20'

Internal Industrial/Commercial:

- Building Separation: 20'

4. Buffers:
  - North: 35' Landscape Buffer
  - South: 15' Natural Vegetative Buffer where no DRA is created
  - East: 35' Landscape Buffer
  - West: 15' Natural Vegetative Buffer where no DRA is created
5. The petitioner shall coordinate the height of all buildings with the Airport prior to development.
6. The petitioner must meet the minimum requirements of Florida Friendly Landscaping™ publications for design techniques, principles, materials, and plantings for required landscaping.
7. The petitioner shall be required to meet the minimum requirements of the Airports lighting plan and where permissible provide full cutoff fixtures and retain all light on-site and prevent any light spillage onto neighboring uses.
8. A Traffic analysis is required at the time of development. Any improvements identified by the Traffic Access Analysis shall be the responsibility of the developer.
9. The internal roadways shall be classified as either Major Local / Commercial or Collector depending on the number of trips associated with this project.
10. The petitioner shall add transit stop with amenities.

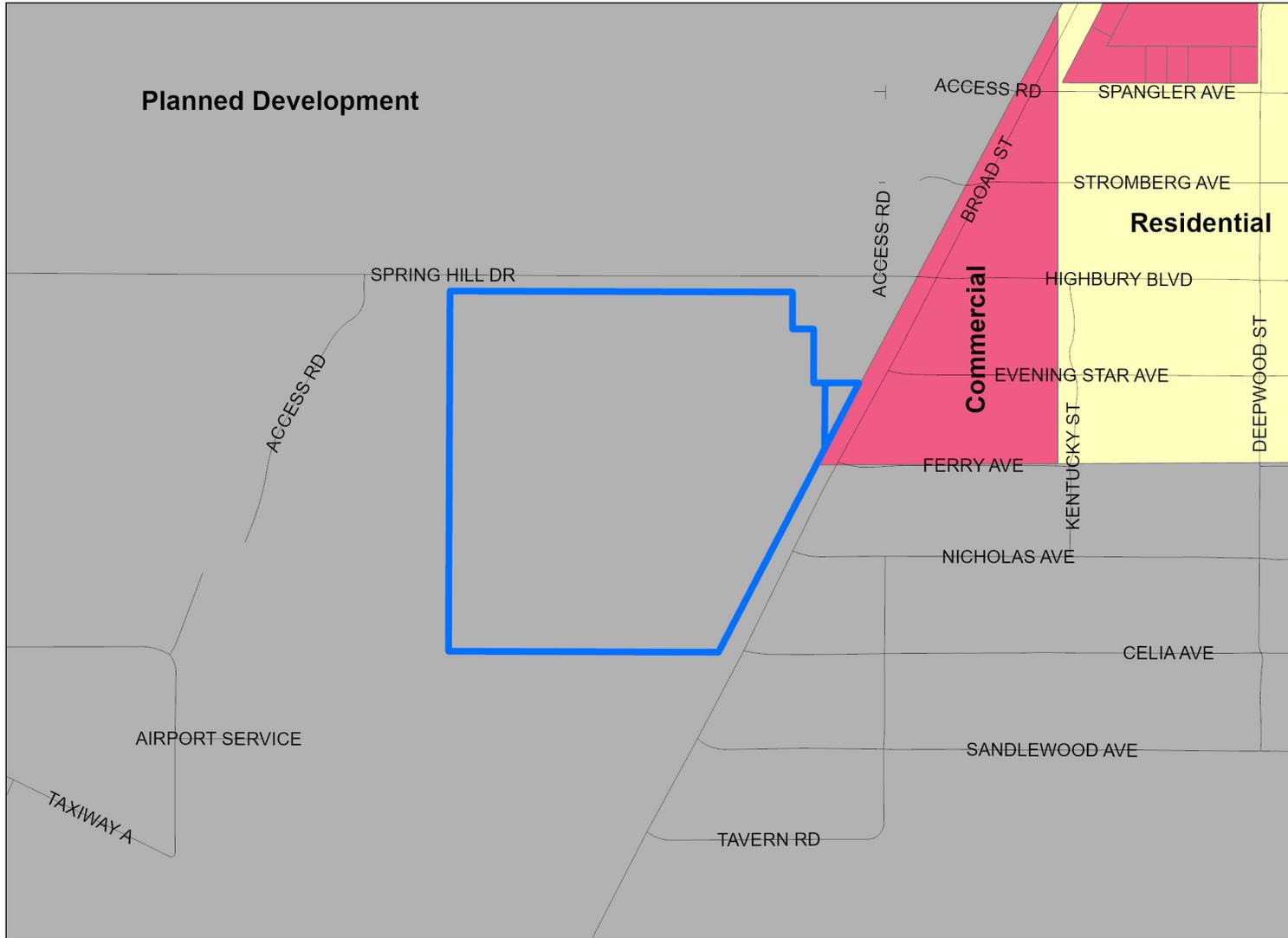
11. The petitioner shall be required to construct the driveway connection to meet FDOT standards.
12. The petitioner shall provide parking spaces (including disabled parking spaces), drive aisles, signage and pavement markings per County Standards.
13. The petitioner shall provide a sidewalk along Spring Hill Drive and Broad Street (US Hwy 41) for the entire property frontage as required by FDOT.
14. The petitioner shall provide Connectivity of project to the intersection (Spring Hill Drive & Broad Street/US Hwy 41), shall be through Hernando County parcel key number 1640503 and is to align with Evening Star Avenue connect.
15. The petitioner shall conduct a Utility Capacity Analysis and connection to the central water and sewer systems at time of vertical construction.
16. The petitioner shall submit to the Aviation Authority a lighting plan for the project and shall receive Authority approval of the plan prior to any further development approvals for the project. Any light that was located or placed so that it produced an aviation hazard as determined by the Aviation Authority shall be corrected if ordered by the Authority.
17. The petitioner must demonstrate satisfactory compliance with Federal Aviation Regulations Part 77 and Federal Aviation Administration "Advisory Circular (AC) 70/7460 1J" regarding Obstruction Marking and Lighting.
18. Roofing shall be non-glaring for all structures within the project. Any future problem determined by the Aviation Authority shall be corrected if ordered by the Authority.
19. The petitioners proposed overall square footage exceeds the 65,000 square foot threshold and therefore shall meet the minimum standards of the Large Retail Project.
20. An Avigation Easement shall be provided by the petitioner to the Hernando County Airport.
21. The petitioner shall provide a master plan in compliance with all of the performance conditions within 30 calendar days of BCC approval. Failure to submit the revised plan will result in no further development permits being issued.



# Hernando County Comprehensive Plan Map

Existing Future Land Use: H-24-49

Version Date: 12/09/2022



**H-24-49**

**FLU Riverine District**

**Regional Commercial**

**FLU**

- CITY
- COMMERCIAL
- CONSERVATION
- EDUCATION
- INDUSTRIAL
- MINING
- PLANNED DEVELOPMENT
- PUBLIC FACILITIES
- RECREATION
- RESIDENTIAL
- RURAL

**Future Land Use Map**

PLEASE REFER TO THE TEXT PORTION OF THE COMPREHENSIVE PLAN IN CONJUNCTION WITH THE USE OF THE FUTURE LAND USE MAP SERIES.

NOTE: THE RIVERINE DISTRICT IS SHOWN AS A LINE SETBACK PARALLEL TO THE WEEKI WACHEE, MUD AND WITHLACOOCHEE RIVERS.



Date of mapping: 09/16/2024



# H-24-49

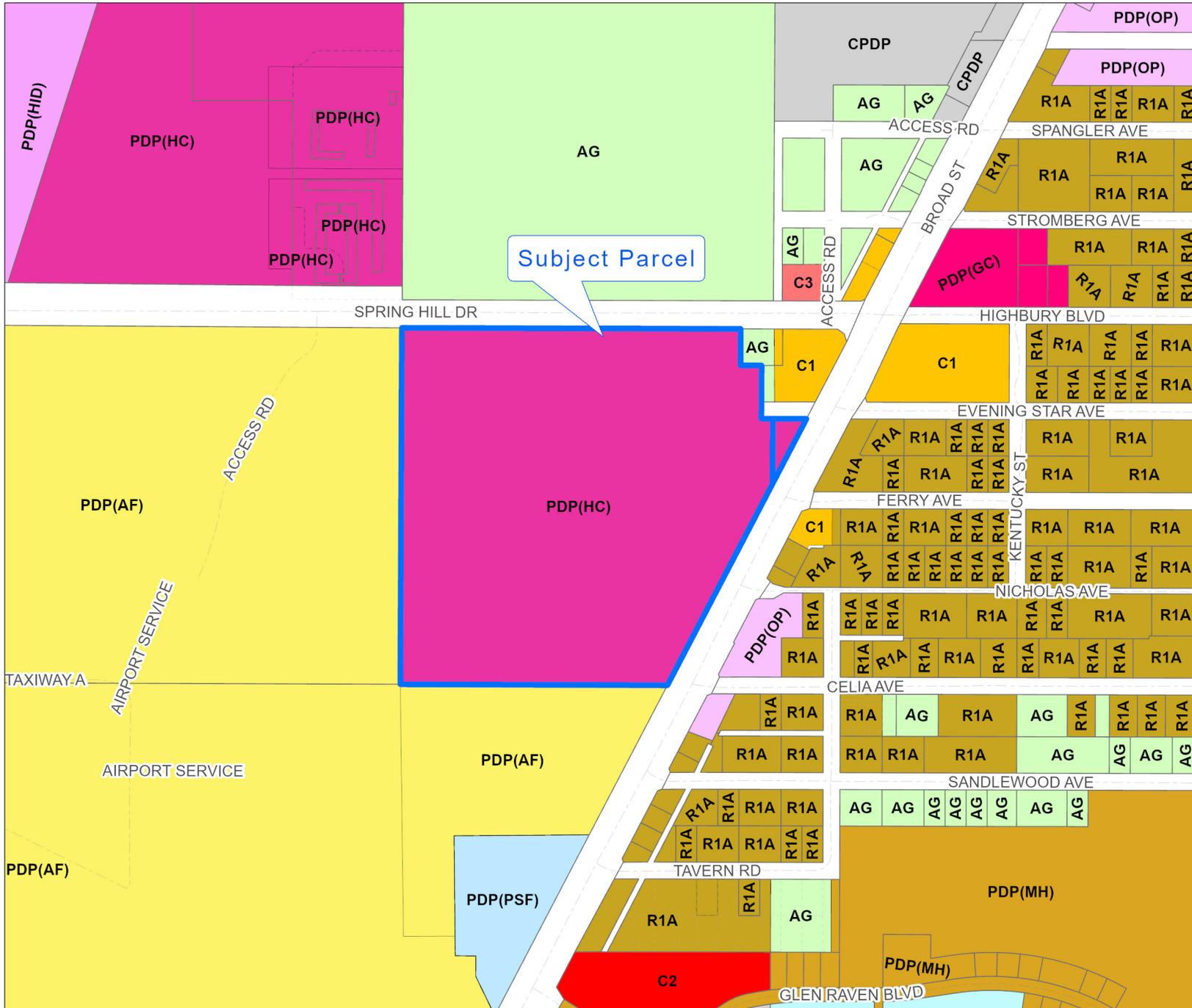
Photo date: 2023

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



# H-24-49

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



**Zoning:**

AC	PDP(HC)
AG	PDP(HHC)
AR	PDP(HID)
AR1	PDP(IND)
AR2	PDP(LI)
C1	PDP(MF)
C2	PDP(MH)
C3	PDP(NC)
C4	PDP(OP)
CITY	PDP(PSF)
CM1	PDP(REC)
CM2	PDP(RR)
CPDP	PDP(RUR)
CV	PDP(SF)
I1	PDP(SU)
I2	R1A
M	R1B
OP	R1C
PDP(AF)	R1MH
PDP(CM)	R2
PDP(CP)	R2.5
PDP(GC)	R3
PDP(GHC)	RC
	RM

City Zoning Pending



# H-24-49 AREA MAP

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



Subject Parcel

41





## AGENDA ITEM

### TITLE

Master Plan Revision and Rezoning Petition Submitted by NVR, Inc. Ryan Homes (H-24-48)

### BRIEF OVERVIEW

**Request:**

Master Plan Revision and Rezoning of a portion of Parcel Key 00893475 from C-1 (General Commercial) to PDP/SF (Planned Development Project/Single Family) with deviations.

**General Location:**

South side of Cortez Boulevard, approximately 885' west of Frisco Road

### FINANCIAL IMPACT

A matter of policy. There is no financial impact.

### LEGAL NOTE

The Planning and Zoning Commission has jurisdiction to make a recommendation on the subject application. The Applicable Criteria for Planned Development Projects are contained in Appendix A, (Zoning Code) Article VIII. The Planned Development Project master plan must be consistent with the Comprehensive Plan.

The notice requirements of Appx. A, Art. VI, Sec. 7 of the Hernando County Code have been complied with.

### RECOMMENDATION

It is recommended that the Planning and Zoning Commission recommend approval of the petitioner's request for rezoning from C-1 (General Commercial) to PDP/SF (Planned Development Project/Single Family) with deviations and performance conditions.

### REVIEW PROCESS

Omar DePablo	Approved	10/31/2024	8:43 AM
Toni Brady	Approved	10/31/2024	9:05 AM
Pamela Hare	Approved	10/31/2024	9:43 AM
Melissa Tartaglia	Approved	10/31/2024	12:38 PM
Danielle Nigro	Approved	10/31/2024	1:24 PM

<b>RESULT:</b>	<b>ADOPTED</b>
<b>MOVER:</b>	W. Steven Hickey
<b>SECONDER:</b>	Kathryn Birren
<b>AYES:</b>	Holmes, Hickey, Birren and McDonald
<b>NAYES:</b>	Morgan
<b>ABSENT:</b>	Noe



**HERNANDO COUNTY ZONING AMENDMENT PETITION**



Application to Change a Zoning Classification

**Application request** (check one):

- Rezoning  Standard  PDP
- Master Plan  New  Revised
- PSFOD  Communication Tower  Other

**PRINT OR TYPE ALL INFORMATION**

Date: 07/24/2024

File No. \_\_\_\_\_ Official Date Stamp:  
H-24-48  
 Received  
AUG 7 2024  
 Planning Department  
 Hernando County, Florida

**APPLICANT NAME:** NVR, Inc./Ryan Homes

Address: 1409 Tech Boulevard, Suite 211

City: Tampa

State: FL

Zip: 33619

Phone: 813-579-0299 Email: bwilson@nvrinc.com

**Property owner's name:** (if not the applicant) Chris Berry / Linda Ann Nichols Testamentary Trustee

**REPRESENTATIVE/CONTACT NAME:** Donald Lacey

Company Name: Coastal Engineering Associates, Inc.

Address: 966 Candlelight Boulevard

City: Brooksville

State: FL

Zip: 34601

Phone: 352-848-3425 Email: dlacey@coastal-engineering.com

**HOME OWNERS ASSOCIATION:**  Yes  No (if applicable provide name) \_\_\_\_\_

Contact Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_

State: \_\_\_\_\_

Zip: \_\_\_\_\_

**PROPERTY INFORMATION:**

1. PARCEL(S) **KEY** NUMBER(S): 00893475, 00837786, 00837777, 00837795
2. SECTION 03, TOWNSHIP 23, RANGE 20
3. Current zoning classification: C1 and PDP(SF)
4. Desired zoning classification: PDP (SF); The C1 designation at the corner of Faber and SR-50 to remain.
5. Size of area covered by application: 31.09 acres
6. Highway and street boundaries: Faber Dr and Cortez Blvd
7. Has a public hearing been held on this property within the past twelve months?  Yes  No
8. Will expert witness(es) be utilized during the public hearings?  Yes  No (If yes, identify on an attached list.)
9. Will additional time be required during the public hearing(s) and how much?  Yes  No (Time needed: \_\_\_\_\_)

**PROPERTY OWNER AFFIDIVAT**

I, Linda Ann Nichols Testamentary Trustee, have thoroughly examined the instructions for filing this application and state and affirm that all information submitted within this petition are true and correct to the best of my knowledge and belief and are a matter of public record, and that (check one):

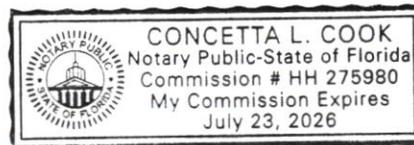
- I am the owner of the property and am making this application **OR**
- I am the owner of the property and am authorizing (applicant): NVR, Inc./Ryan Homes and (representative, if applicable): Coastal Engineering Associates, Inc. to submit an application for the described property.

[Signature]  
Signature of Property Owner

STATE OF FLORIDA  
COUNTY OF HERNANDO

The foregoing instrument was acknowledged before me this 27<sup>th</sup> day of July, 2024, by Linda Ann Nichols who is personally known to me or produced ID as identification.

[Signature]  
Signature of Notary Public



Notary Seal/Stamp

Effective Date: 11/8/16 Last Revision: 11/8/16

MASTER PLAN MODIFICATION AND REZONING  
PROJECT NARRATIVE

NICHOLS PROPERTY (OAKVIEW WOODS)

PARCEL KEYS 00837786,00837777,00837795 AND 00893475

Proposed Master Plan Modification and Rezoning

The site was approved for a rezoning and master plan by the Board of County Commissioners on August 9, 2022, under Resolution 2022-152 for 110 single family lots (H-22-16) subject to 20 performance conditions. The applicant proposes a master plan modification to develop Phase II of the subdivision by making the following revisions:

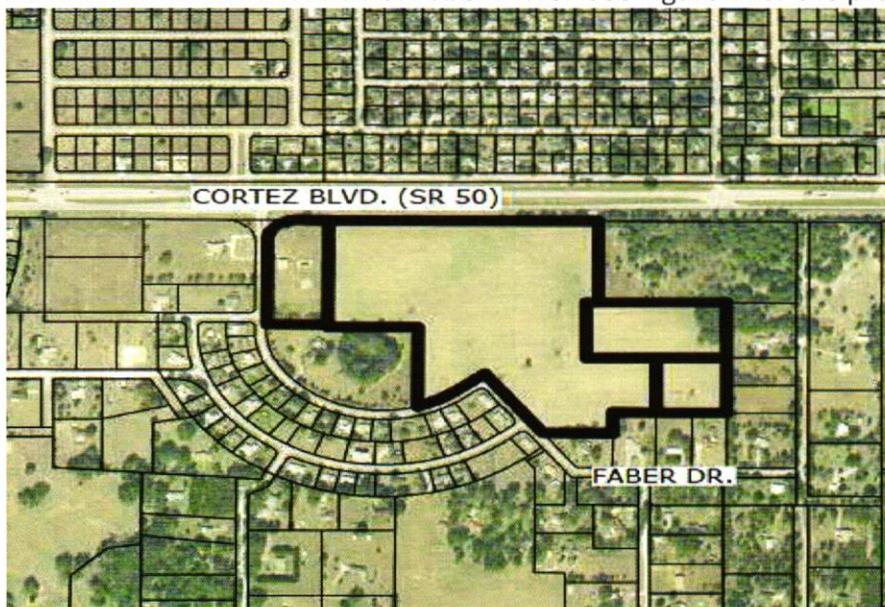
1. Relocating the Faber Drive access, and
2. Increasing the overall unit count by 15 lots (phase 1 unit count 110, phase 2 unit count 15), and Total of 125 lots
3. Rezoning a portion of key 00893475 from C-1 to PDP (SF), and
4. Increase the overall size of the project from 30 acres to 31.09 acres.

Request

A master plan modification and rezoning of a portion of parcel key 00893475 from C-1 (General Commercial) to PDP/SF (Planned Development Project/Single Family) with deviations. The Balance of the commercial Parcel Key 00893475 will remain as is with the existing C-1 designation as depicted on the Master Plan.

General Location

The property lies within section/township/range: 03 / 23S / 20E and is generally located south of Cortez Blvd. and East side of Faber Drive. See Figure 1 for the property location.



Received

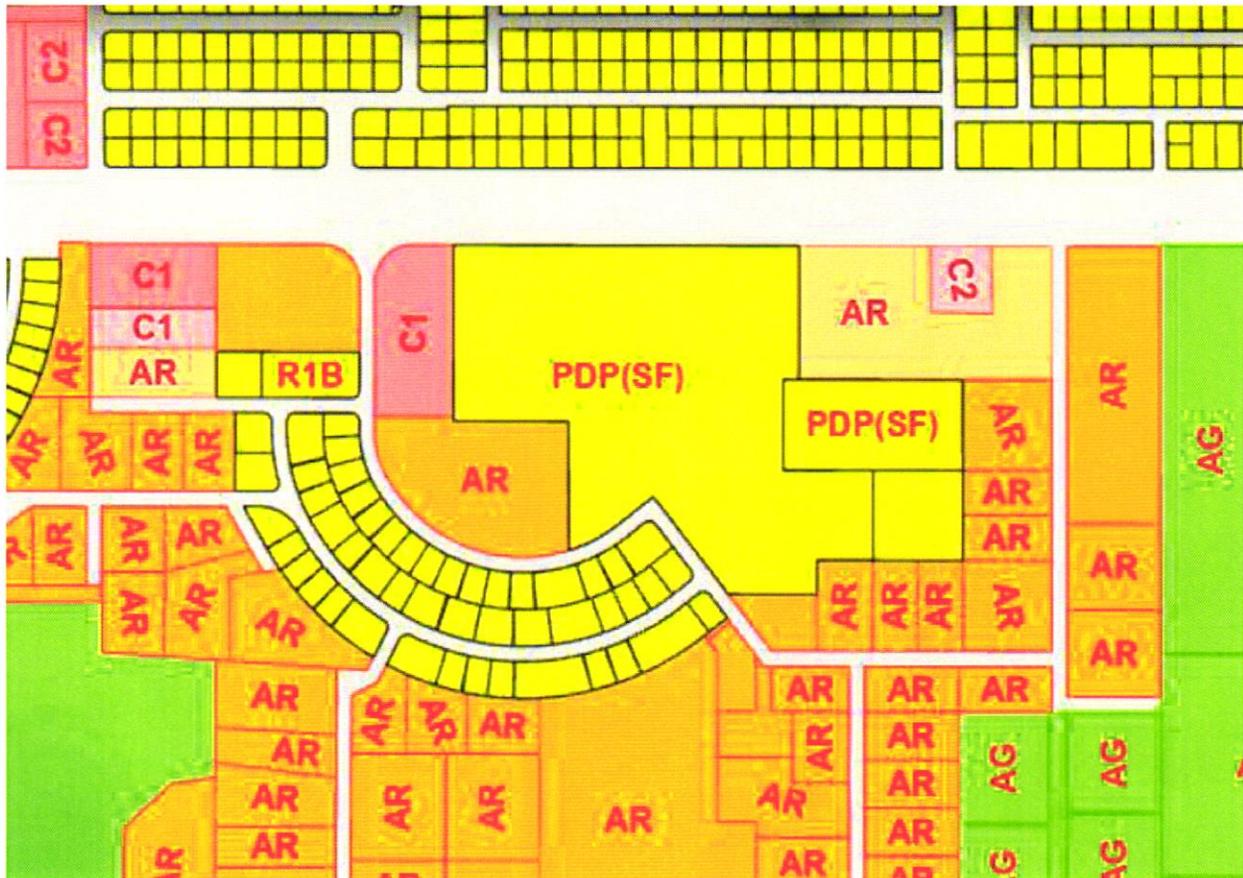
AUG 7 2024

Planning Department  
Hernando County, Florida

**Figure 1. Property Location**

**Current Zoning Designation**

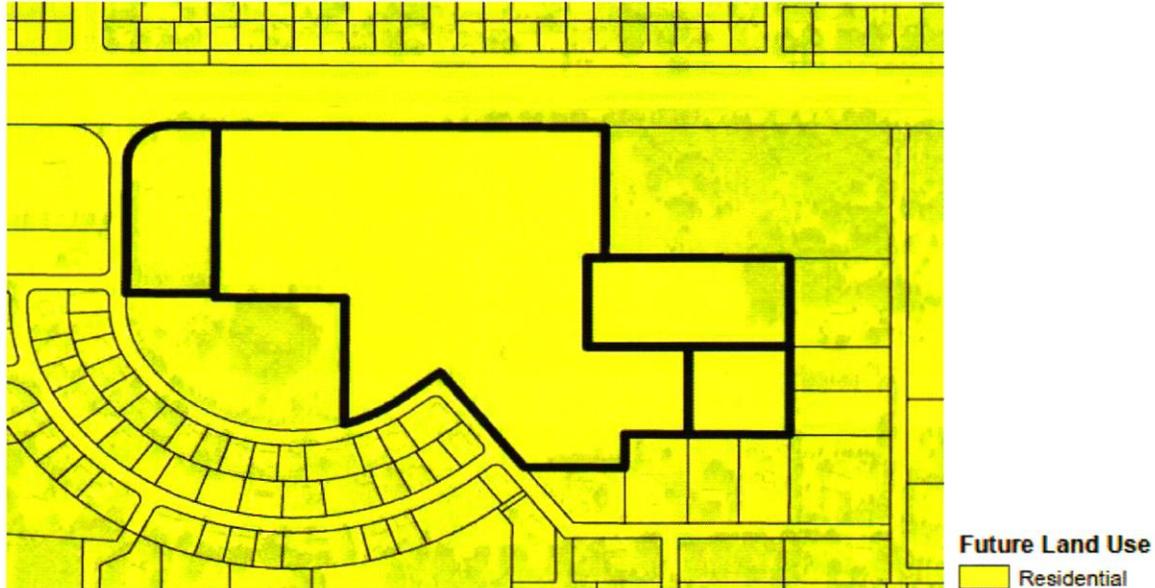
The current Zoning Designation on the property by Hernando County is C-1 (General Commercial) on parcel key 00893475 and Planned Development/Single Family (PDP/SF) on parcel keys 00837786, 00837777 and 00837795. Please refer to Figure 2 for the Current Zoning Designation of the site.



**Figure 2. Property Zoning**

**Current Land Use Designation**

The current land use designation on the property is Residential. Please refer to Figure 3 for the Current Zoning Designation of the site.



**Figure 3. Property Land Use**

**Surrounding Zoning and Land Use**

	Property Description	Zoning	Land Use
North	Single Family	R-1B	Residential
South	Single Family	R-1B and AR	Residential
East	Single Family	AR	Residential
West	Single Family, vacant commercial and commercial development	C-1 and AR	Residential

**Consistency with the Comprehensive Plan**

GOAL 1.04 – Future Land Use Map Land use designations are intended to protect community character, discourage urban sprawl, promote economic growth and promote compatibility between uses. The Future Land Use Map shall be the guiding mechanism that directs development through general category locations, descriptions, densities and intensities of future land use. [F.S. 163.3177(6)(a)]

Strategy 1.04A(3): The Residential Category accommodates residential growth clustered in and around urbanized areas and those areas that maximize the efficient use of infrastructure contained in long-range facilities plans of the County.

Strategy 1.04B(2): Future residential development will be planned to locate where the Residential Category predominates on the Future Land Use Map as determined by the availability of facilities and services, the need to accommodate future growth, the strategies to discourage the proliferation of urban sprawl, and the impacts to natural resources, including groundwater.

#### Single-Family Housing

Strategy 1.04B(3): The Residential Category will include zoning for single-family housing, generally averaging a density of 2.5 dwelling units per gross acre to 6.0 dwelling units per gross acre comprised of varying lot sizes and dwelling unit types such as senior housing, villa housing, single family detached housing, and zero lot line housing.

Analysis: The site is designated under the Residential Land Use Classification and development of the site as a single family subdivision is consistent with the Hernando County 2040 Plan.

#### Setbacks, Buffers, and Dimensional Standards

##### Perimeter Building Setbacks (Inclusive of Buffer):

- North- 25'
- South- 35'
- East- 25'
- West- 20'

##### Internal Building Setbacks:

- Front - 25'
- Side - 5'
- Rear - 15'

Buffers: 5'-20' where depicted on the master plan

##### Lot Size:

- 40' x 110' – 4,400 sf
- 50' x 110' – 5,500 sf

Maximum Building Height: 35'

### Deviation Requests

The perimeter setbacks, internal building setbacks, and lot sizes for parcel keys 00837786, 00837777, and 00837795 were previously approved by the Board of County Commissioners on August 9, 2022, under Resolution 2022-152.

The project proposes to apply the previously approved deviations to 6 additional lots being developed on parcel key 00893475 (being rezoned from C-1 to PDP/SF) as follows:

Minimum Building Setbacks:      Front: 25'  
                                                 Rear: 15' (Deviation from 20')  
                                                 Side: 5' (Deviation from 10')

Minimum Lot Width: 40' (Deviation from 60')

Minimum Lot Size: 4,400 square feet (Deviation from 6,000 square feet)

### Site Characteristics

#### Topography

The topography on the property is rolling, ranging from 90' down to 60', with the lowest elevations toward the eastern boundary. See Figure 4 for the topographic map.

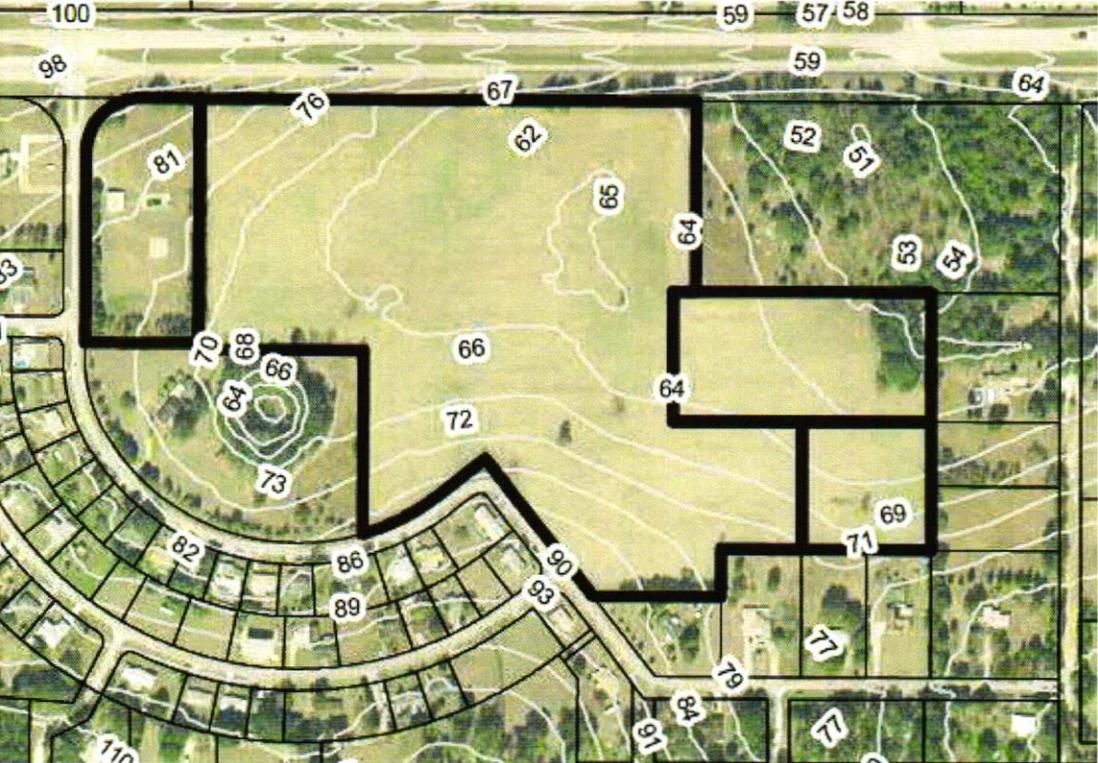


Figure 4. Topographic Map

Floodplain

The property is located on Federal Emergency Management Agency (FEMA), Flood Insurance Rate Map (FIRM) community panel 12053C0307D, effective date of February 2, 2012. The map shows two areas within the floodplain, with a 0.2% Annual Chance Flood Hazard. Site development will result in some reshaping of the area, with relocation of floodplain toward the eastern boundary of the property. See Figure 5 for the floodplain map.

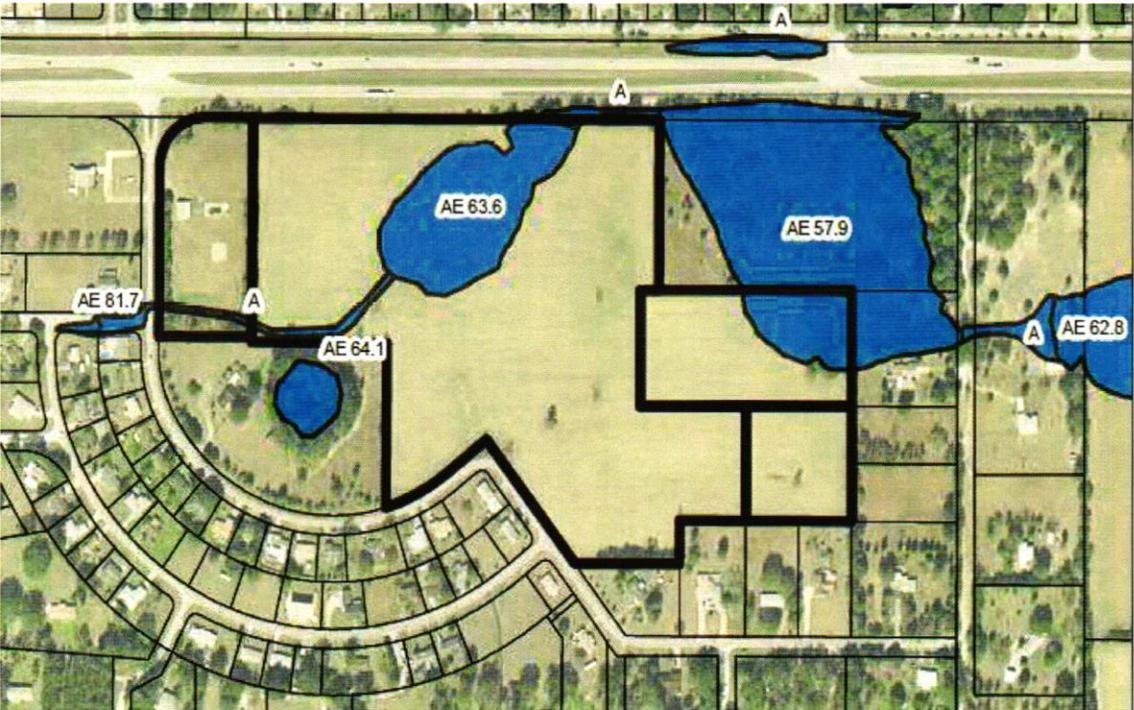
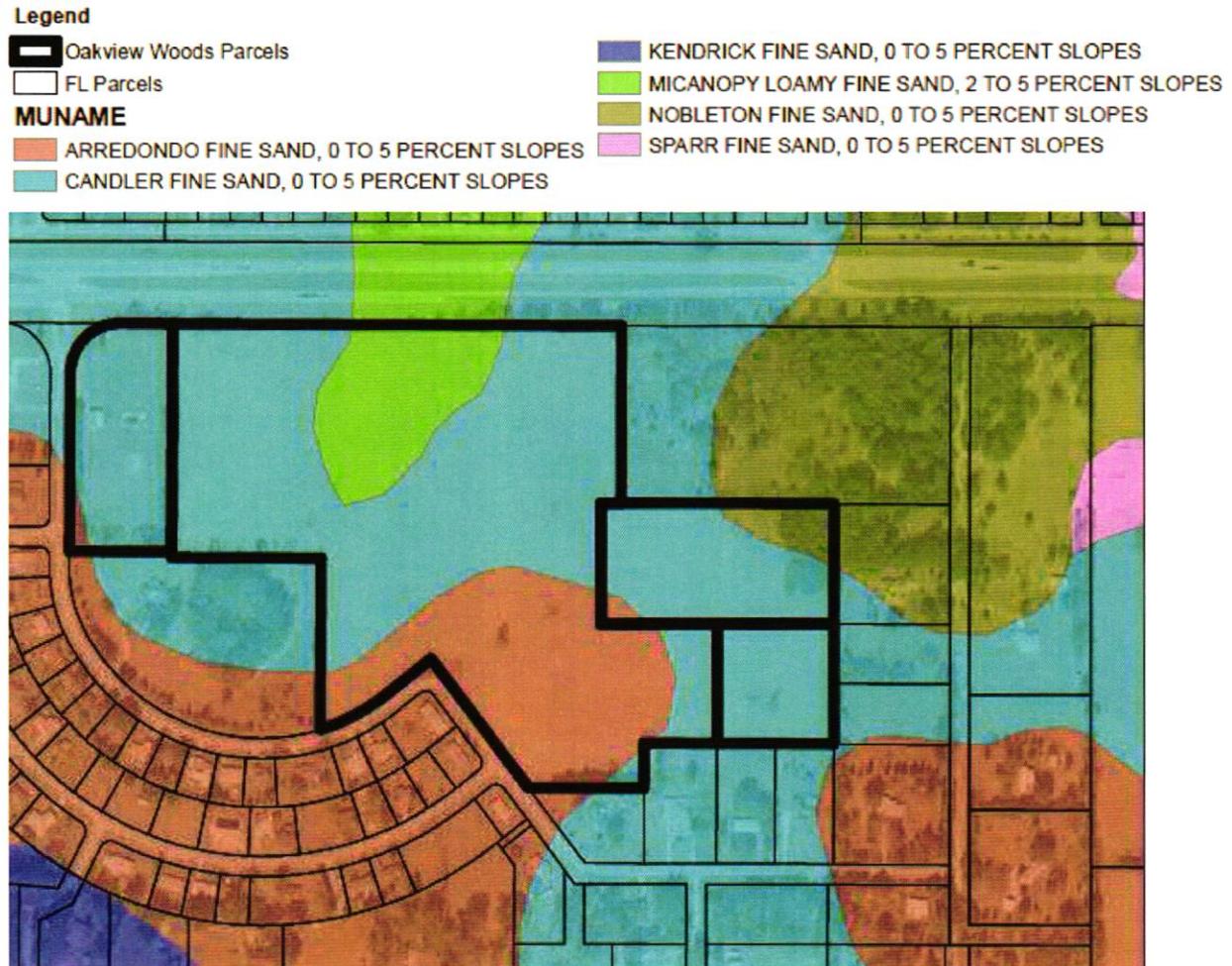


Figure 5. Floodplain Map

## Soils

Soils on the property consist of Arredondo fine sand, Candler fine sand, Micanopy Loamy Fine sand, and Nobleton Fine Sand 0 to 5 percent slopes as seen in Figure 6. Candler and Arredondo fine sands are extremely well-drained soil, suitable for the proposed project.



**Figure 6. Soils Map**

## Environmental

The site contains no significant environmental features. Prior to development Hernando County may require a listed species report. Any listed species on the site identified in the report will be treated in accordance with all State and Federal guidelines.

## Impact to Public Facilities

### Adequate Access

Access to the site is from Cortez Boulevard (SR 50) and Faber Drive. The Faber Drive access will be relocated as shown on the approved master plan from parcel key 00837777 to parcel

key 00893475. Cortez Boulevard operates at an excellent level of service and has available capacity. A traffic analysis study will be completed in the conditional plat phase and reviewed with the Hernando County Engineer

Public Facilities

Water and Sewer: The site will be served by Hernando County Utilities. The developer will make the necessary infrastructure improvements to provide service and conduct a utility capacity analysis as required. The necessary analysis will be performed during the preliminary engineering phase.

Solid Waste: The site will be served by a solid waste collection agency as designated by the County.

Police and Fire: The site is served by the Hernando County Sheriff’s Office for police protection and Fire/Rescue Station 7.

Drainage: The site will comply with the requirements of Hernando County and the Southwest Florida Water Management District for stormwater and flood prevention.

Concurrency

A Certificate of Concurrency from the County will be required at the time of Conditional Plat Review. Application is the responsibility of the permit applicant. The following facilities will be reviewed for adequate capacity:

- Potable Water
- Sanitary Sewer
- Drainage
- Solid Waste Disposal
- Transportation (roadways)
- Schools

At this time, it is anticipated that adequate capacity will be available to support the project.

## STAFF REPORT

---

**HEARINGS:** Planning & Zoning Commission: November 4, 2024  
Board of County Commissioners: December 17, 2024

**APPLICANT:** NVR, Inc/ Ryan Homes

**FILE NUMBER:** H-24-48

**REQUEST:** Master Plan Revision and Rezoning of a portion of Parcel Key 00893475 from C-1(General Commercial) to PDP(SF)/ Planned Development Project (Single Family) with Deviations

**GENERAL LOCATION:** South side of Cortez Boulevard, approximately 885' west of Frisco Road

**PARCEL KEY NUMBERS:** 893475, 837786, 837777, 837795

---

### APPLICANT'S REQUEST

On August 9, 2022, the Board of County Commissioners approved a Master Plan and rezoning on the subject property from AR (Agricultural/Residential) to PDP(SF)/ Planned Development Project (Single Family) with deviations. Under Resolution 2022-152, 110 single family lots were approved subject to 20 performance conditions. These performance conditions are detailed in Appendix B of this report.

The petitioner proposes a Master Plan revision on the subject sites to develop Phase II of the subdivision by making the following modifications:

1. Relocating the secondary access to Faber Drive access
2. Increasing the overall unit count by 15 lots. Phase I dwelling unit count is 110, and Phase II dwelling unit count is 15, totaling 125 lots.
3. Rezoning a portion of Parcel Key 00893475 from C-1(General Commercial) to PDP(SF)/ Planned Development Project (Single Family).
4. Increasing the overall size of the project from 30.0 acres to 31.09 acres.

### SITE CHARACTERISTICS

**Site Size:** 31.09 acres

**Surrounding Zoning & Land Uses:**

North:	Cortez Boulevard (SR 50)
South:	R-1B, AR; Undeveloped, Single Family
East:	AG, CPDP; Undeveloped, Single Family
West:	AR; Church, Single Family

**Current Zoning:** C-1(General Commercial) and PDP/SF (Planned Development Project/ Single Family)

**Future Land Use Map Designation:** Residential

**ENVIRONMENTAL REVIEW:**

**Soil Type:** Candler Fine Sand, Micanopy Loamy Fine Sand, Nobleton Fine Sand, Arredondo Fine Sand

**Comments:** A wildlife survey shall be prepared by a qualified professional. The petitioner is required to comply with all applicable FWC regulations and permitting.

**Protection Features:** There is a Wellhead Protection Area 1 (WHPA) located at the northwest corner of the property; the proposed use will not be affected. There are no Special Protection Areas (SPA) or archaeological/historical resources according to County data resources.

**Habitat:** The property is cleared, vacant, and shown as improved pasture according to FWC CLC (Florida Cooperative Land Cover Classification System that includes Florida Land Use Cover and Classification System). Soils and habitat are suitable for gopher tortoise (narrative states gopher tortoise are present). The petitioner is required to comply with all applicable FWC regulations and permitting.

**Comments:** The Builder/Developer shall provide new property owners with Florida-Friendly Landscaping™ Program information and encourage the use of the principles, techniques, and landscaping recommendations. Information on the County's Fertilizer Ordinance and fertilizer use is to be included. Educational information is available through Hernando County Utilities Department.

The developer shall provide geotechnical and geophysical subsurface testing in accordance with the Hernando County Facility Design Guidelines, including all proposed drainage retention areas (DRA) within the project to test for subsurface karst features.

**Flood Zone:** X, AE

**SCHOOL DISTRICT REVIEW**

The applicant shall apply for and receive a Finding of School Capacity from the School District prior to the approval of the conditional plat or the functional equivalent. The County will only issue a certificate of concurrency for schools upon the School District's written determination that adequate school capacity will be in place or under actual construction within three (3) years after

the issuance of subdivision approval or site plan approval (or functional equivalent) for each level of school without mitigation, or with the execution of a legally binding proportionate share mitigation agreement between the applicant, the School District, and the County.

## UTILITIES REVIEW

The Hernando County Utilities Department (HCUD) currently supplies water to Parcel Key # 893475. HCUD has indicated that water and sewer service is not currently supplied to Parcel Keys 837786, 837777, or 837795. However, HCUD can provide services to Parcel Keys 837,837777, and 837795. HCUD states they have no objection to the submitted revised Master Plan to now include a portion of Parcel Key #893475 along with an increase in the number of lots from 110 to 125, subject to a utility capacity analysis to be submitted with the Conditional Plat application and connection to the central water and sewer systems at the time of vertical construction. HCUD also stipulates that the developer shall provide utility placement details showing the locations of all utilities on the conditional plat for lots with side setbacks of less than 10 feet.

**Comment:** A capacity analysis shall be performed and submitted as part of the Conditional Plat. The Conditional Plat shall include utility placement details showing the locations of all utilities for lots with a side setback of less than 10'. Phase I and Phase II both contain lots with 5' side setbacks. The project shall connect to central water and sewer at the time of vertical construction.

## ENGINEERING REVIEW

The site is located on the south side of Cortez Boulevard, approximately 885' west of Frisco Road. Under the previous rezoning case H-22-16, two (2) access points were established for the development. With this application the petitioner proposes the relocation of the access point from Sumter Drive on the southern portion of the development, to Faber Drive approximately 350' south of its intersection with Cortez Boulevard, on the west side of the development. The access point to Cortez Boulevard is required to be Boulevard entrance for the subdivision. The County Engineer reviewed the petitioner's request and provided the following comments:

- All roadways shall meet the Hernando County Standards.
- Additional visitor parking areas shall be added to the Site Plan.
- Previous performance condition #19 regarding the emergency access has amended; Phase II of construction will require a 2<sup>nd</sup> access due to the deletion of the emergency access.
- The petitioner may consider adding a Transit stop with amenities.

**Comments:** The County Engineer has approved of the relocation of the proposed access point. Planning staff supports the County Engineer's approval.

## LAND USE REVIEW

This master plan revision includes the rezoning of a portion of the commercial parcel that is to the west between Faber Drive in Phase I. The owner of the parcel has granted an access easement for this subdivision. The owner has agreed to the partial rezoning of the property.

### Setbacks, Lot Width and Sizes

The petitioner is proposing the same lot dimensions as approved in Phase I. The lot widths and sizes are as follows:

- Lot Width: 40' and 50' (Previously approved deviation from 60')
- Lot Size: 4,400<sup>1</sup> and 5,500 square feet (Previously approved deviation from 6,000 square feet)

### Proposed Building Setbacks

The petitioner requests the same building setbacks for Phase 2 that were granted to Phase I. The approved setbacks are as follows:

- Front: 25'
- Rear: 15' (Previously approved deviation from 20')
- Side (internal): 5' (Previously approved deviation from 10')
- Faber Drive: 25'

### Buffers

The petitioner requests the same building setbacks for Phase 2 that were granted to Phase I. The approved setbacks are as follows:

- Cortez Blvd: 15' Landscape Buffer (Previously approved)
- West: 5' Landscape Buffer (Previously approved)
- South: 20' Landscape Buffer (Previously approved)
- Faber Drive: 15'

### Neighborhood Park

The park approved in Phase I is 3.43 acres. The Land Development regulations require 1.75 acres dedicated to neighborhood parks. The petitioner has provided acreage above and beyond what is required by the County. The petitioner is still required to ensure that the park is accessible through vehicular, pedestrian and bicycle means.

---

<sup>1</sup> Scrivener's Error: The lot sizes approved for Phase 1 contained a scrivener's error. The desired lot dimensions were 40'x110', which makes the square footage of the lots 4,400 square feet and not 4,800 square feet

### Natural Vegetation

Projects greater than twenty (20) acres shall designate an area of at least seven percent (7%) of the total project area as preserved natural vegetation and no construction activity can occur in this area. Preserved natural vegetation areas must be a minimum of twenty thousand (20,000) square feet.

**Comments:** The natural vegetation will be calculated using the acreage of both Phases; 7% of 31.09 = 2.18 acres.

### Fire Protection Plan

Hernando County LDRs require that a fire protection plan be completed for residential developments with lot sizes less than 60' in width.

**Comments:** If approved, the petitioner will submit a fire protection plan for Phase II at the time of Conditional Plat in accordance with Hernando County Land Development Regulations (LDRs).

## COMPREHENSIVE PLAN REVIEW

The area is characterized by commercial and single-family homes. The subject property is located within the Residential Land Use classification on the adopted Future Land Use Map.

### Future Land Use Map. Residential Category

Strategy 1.04A(3): The **Residential Category** accommodates residential growth clustered in and around urbanized areas and those areas that maximize the efficient use of infrastructure contained in long-range facilities plans of the County.

Objective 1.04B: The Residential Category allows primarily single family, duplex, resort and multi-family housing and associated ancillary uses such as recreational and institutional. Office and certain commercial uses may be allowed subject to the locational criteria and performance standards of this Plan. Residential density shall not exceed 22 dwelling units per gross acre.

Strategy 1.04B(1): Commercial and institutional uses within the Residential Category are generally associated with medium and high-density residential development and may include neighborhood commercial, office professional, recreational, schools, and hospitals. Minor public facilities that do not unduly disturb the peaceful enjoyment of residential uses may also be allowed.

Strategy 1.04B(2): Future residential development will be planned to locate where the Residential Category predominates on the Future Land Use Map as determined by the availability of facilities and services, the need to accommodate future growth, the strategies to discourage the

proliferation of urban sprawl, and the impacts to natural resources, including groundwater.

### Single-Family Housing

Strategy 1.04B(3): The Residential Category will include zoning for single-family housing, generally averaging a density of 2.5 dwelling units per gross acre to 6.0 dwelling units per gross acre comprised of varying lot sizes and dwelling unit types such as senior housing, villa housing, single family detached housing, and zero lot line housing.

### Land Use Compatibility

Objective 1.10B: The County shall establish standards by which land use compatibility is evaluated in the review of proposals for Future Land Use Map amendments, zoning changes, and other land development applications.

Strategy 1.10B(2): Zoning changes should be compatible with surrounding development and minimize impact to natural resources. Impacts may be mitigated through design of building placement, buffers, noise reduction, setbacks and other appropriate planning techniques or performance measures.

Strategy 1.10B(3): Protect existing and future residential areas from encroachment of incompatible uses that are destructive to the character and integrity of the surrounding residential area.

**Comments:** The subject property is within the Residential Future Land Use Classification. Additionally, the proposed use is consistent with the surrounding residential uses.

### FINDINGS OF FACT

The request for a Master Plan revision and rezoning from C-1(General Commercial) to PDP(SF)/Planned Development Project Single Family with deviations is appropriate based on the following conclusions:

1. The proposed revision is consistent with the approved Phase I of this development.
2. The density created by the additional lots is 4.02 which is not a significant increase from the previously approved density of 3.82.
3. The relocation of the secondary access point is appropriate to remove potential traffic from an existing neighborhood.

### NOTICE OF APPLICANT RESPONSIBILITY

*The rezoning process is a land use determination and does not constitute a permit for either construction on, or use of, the property, or a Certificate of Concurrency. Prior to use of, or*

*construction on, the property, the petitioner must receive approval from the appropriate County department(s) for the proposed use.*

*The granting of this land use determination does not protect the owner from civil liability for recorded deed restrictions which may exceed any county land use ordinances. Homeowner associations or architectural review committees require submission of plans for review and approval. The applicant for this land use request should contact the local association or the Public Records for all restrictions applicable to this property.*

*The applicant, property owner, or developer is responsible for ensuring the performance conditions established herein are provided to all contractors performing work for this project. All applications submitted for development activity on this project are expected to comply with the performance conditions established herein.*

#### **STAFF RECOMMENDATION:**

It is recommended that the Planning and Zoning Commission recommend approval of the petitioner's request for rezoning from C-1(General Commercial) to PDP/SF (Planned Development Project/Single Family) with deviations and the following performance conditions:

1. The petitioner shall obtain all permits from Hernando County and other applicable agencies and meet all applicable land development regulations, for either construction or use of the property, and complete all applicable development review processes.
2. **Maximum number of dwelling units: 125**
3. A wildlife survey shall be prepared by a qualified professional. The petitioner is required to comply with all applicable FWC regulations and permitting.
4. The petitioner shall meet the minimum requirements of Florida Friendly Landscaping™ publications and the Florida Yards and Neighborhoods Program for design techniques, principles, materials and plantings for required landscaping.
5. The Builder/Developer shall provide new property owners with Florida-Friendly Landscaping™ (FFL) Program information and include FFL language in the HOAs covenants and restrictions. Information on the County's Fertilizer Ordinance and fertilizer use is to be included. Educational information is available through Hernando County Utilities Department.
6. Geotechnical subsurface testing and reporting in accordance with Hernando County's Facility Design Guidelines shall be conducted, including all proposed drainage retention areas within the project to test for subsurface karst features.
7. The petitioner shall apply for and receive a Finding of School Capacity from the School District prior to the approval of the conditional plat or the functional equivalent. The County will only issue a certificate of concurrency for schools upon the School District's written determination that adequate school capacity will be in place or under actual construction within three (3) years after the issuance of subdivision approval or site plan approval (or functional equivalent) for each level of school without mitigation, or with the

execution of a legally binding proportionate share mitigation agreement between the applicant, the School District, and the County.

8. A Traffic Access Analysis **shall be performed and submitted to the engineering department for approval.** Any improvements identified by the Traffic Access Analysis shall be the responsibility of the developer. This Traffic Access Analysis shall also include a queuing analysis for the development.
9. FDOT access management and drainage permitting shall be required.
10. This project shall meet the storm drainage design requirements of Southwest Florida Water Management District (SWFWMD) and Hernando County Facility Design Guidelines.
11. Minimum Lot Widths: 40' and 50' (Previously approved deviation from 60')
12. Minimum Lot Sizes: ~~4,800~~ **4,400\*\*** and 5,500 square feet (Previously approved deviation from 6,000 square feet)  
\*\*correction of a scrivener's error from H-22-16 that will apply to all phases of the development.
13. Minimum Building Setbacks:
  - Front: 25'
  - Rear: 15' (Previously approved deviation from 20')
  - Side: 5' (Previously approved deviation from 10')
  - **Faber Drive: 25'**
14. Landscape Buffers:
  - Cortez Blvd: 15' (Previously approved)
  - West: 5' (Previously approved)
  - South: 20' (Previously approved)
  - **Faber Drive: 15'**
15. The petitioner shall provide the minimum neighborhood park acreage as required by the County's Land Development Regulations and ensure that this park is pedestrian accessible for all residents within the development.
16. The petitioner shall preserve the minimum seven percent (7%) natural vegetation as required by the County's Land Development Regulations. The required natural vegetation may be included as part of the required open space.
17. The petitioner shall submit a fire protection plan with the conditional plat **application** in accordance with Hernando County LDRs.
18. The developer shall provide a utility capacity analysis **with the Conditional Plat application** and shall connect to the central water and sewer systems at time of vertical construction. Furthermore, the developer will be required to provide utility placement details showing the locations of all utilities on the conditional plat for lots with side setbacks of less than 10'.

19. The petitioner shall be required to provide a treed boulevard entrance from Cortez Boulevard. Additionally, ~~a stub out to the west must be provided.~~ **a secondary access to Faber Drive is also required.**
20. The petitioner shall provide a revised plan in compliance with all the performance conditions within 30 calendar days of BCC approval. Failure to submit the revised plan will result in no further development permits being issued.

**APPENDIX A**

**H-22-21 Performance Conditions Approved by the  
Board of County Commissioners on August 9, 2022**

**BOCC Previously Approved Performance Conditions for H-22-16**

On August 9, 2022, the Board of County Commissioners voted 4-0 to adopt Resolution 2022-152, approving the petitioner's request for rezoning from AR (Agricultural/Residential) to PDP(SF)/Planned Development Project (Single Family) with deviations and the following modified performance conditions:

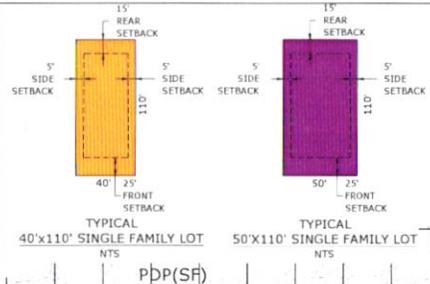
1. The petitioner must obtain all permits from Hernando County and other applicable agencies and meet all applicable land development regulations, for either construction or use of the property, and complete all applicable development review processes.
2. A wildlife survey shall be prepared by a qualified professional. The petitioner is required to comply with all applicable FWC regulations and permitting.
3. The petitioner must meet the minimum requirements of Florida Friendly Landscaping™ publications and the Florida Yards and Neighborhoods Program for design techniques, principles, materials and plantings for required landscaping.
4. The Builder/Developer shall provide new property owners with Florida-Friendly Landscaping™ (FFL) Program information and include FFL language in the HOAs covenants and restrictions. Information on the County's Fertilizer Ordinance and fertilizer use is to be included. Educational information is available through Hernando County Utilities Department.
5. Geotechnical subsurface testing and reporting in accordance with Hernando County's Facility Design Guidelines shall be conducted, including all proposed drainage retention areas within the project to test for subsurface karst features.
6. The petitioner must apply for and receive a Finding of School Capacity from the School District prior to the approval of the conditional plat or the functional equivalent. The County will only issue a certificate of concurrency for schools upon the School District's written determination that adequate school capacity will be in place or under actual construction within three (3) years after the issuance of subdivision approval or site plan approval (or functional equivalent) for each level of school without mitigation, or with the execution of a legally binding proportionate share mitigation agreement between the applicant, the School District, and the County.
7. A Traffic Access Analysis is required. Any improvements identified by the Traffic Access Analysis shall be the responsibility of the developer. This Traffic Access Analysis shall also include a queuing analysis for the development.
8. FDOT access management and drainage permitting shall be required.
9. This project must meet the storm drainage design requirements of Southwest Florida Water Management District (SWFWMD) and Hernando County Facility Design Guidelines.
10. Minimum Lot Widths: 40' and 50' (Deviation from 60')

11. Minimum Lot Sizes: 4,800 and 5,500 square feet (Deviation from 6,000 square feet)
12. Minimum Building Setbacks:
  - Front: 25'
  - Rear: 15' (Deviation from 20')
  - Side: 5' (Deviation from 10')
13. Landscape Buffers:
  - Cortez Blvd: 15'
  - West: 5'
  - South: 20'
14. The petitioner shall provide the minimum neighborhood park acreage as required by the County's Land Development Regulations and ensure that this park is pedestrian-accessible for all residents within the development.
15. The petitioner shall preserve the minimum seven percent (7%) natural vegetation as required by the County's Land Development Regulations. The required natural vegetation may be included as part of the required open space.
16. The petitioner shall submit a fire protection plan with the conditional plat in accordance with Hernando County LDRs.
17. The developer shall provide a utility capacity analysis and shall connect to the central water and sewer systems at time of vertical construction. Furthermore, the developer will be required to provide utility placement details showing the locations of all utilities on the conditional plat for lots with side setbacks of less than 10 feet.
18. The petitioner shall be required to provide a treed boulevard entrance from Cortez Boulevard. Additionally, a stub-out to the west must be provided.
19. The developer shall provide an emergency access connection to Faber Drive. This access connection shall be designed to meet all full access requirements as identified in the Hernando County Facility Design Guidelines and may be converted to a full access connection based on need, demand and public benefit as approved by the Board of County Commissioners through an amendment to this master plan. This language shall be included on the master plan and all development plans for the site. Faber Drive shall remain fully barricaded either by natural and/or supplemental barriers on the side of the road external to the development until construction is completed for the associated phase. As each stage of development is approved, it shall include the construction access plan for the site as approved by the Department of Public Works.
- ~~19.~~ 20. The petitioner shall provide a revised plan in compliance with all the performance conditions within 30 calendar days of BCC approval. Failure to submit the revised plan will result in no further development permits being issued.

LAND USE TABLE - PHASE 1			
LAND USE	ACRES	DWELLING UNITS	DENSITY
RESIDENTIAL & ROADS	16.43	110	
RECREATIONAL	3.43		
DRAINAGE, OPEN SPACE, BUFFER TRACTS	8.69		
<b>TOTAL AREA</b>	<b>± 28.75</b>	<b>110</b>	<b>APPROX. 3.83 UNITS /AC.</b>

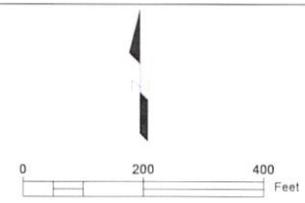
  

LAND USE TABLE - PHASE 2			
LAND USE	ACRES	DWELLING UNITS	DENSITY
RESIDENTIAL & ROADS	2.28	15	
DRAINAGE, OPEN SPACE, BUFFER TRACTS	0.12		
<b>TOTAL AREA</b>	<b>± 2.34</b>	<b>15</b>	<b>APPROX. 6.41 UNITS /AC.</b>



**LEGEND**

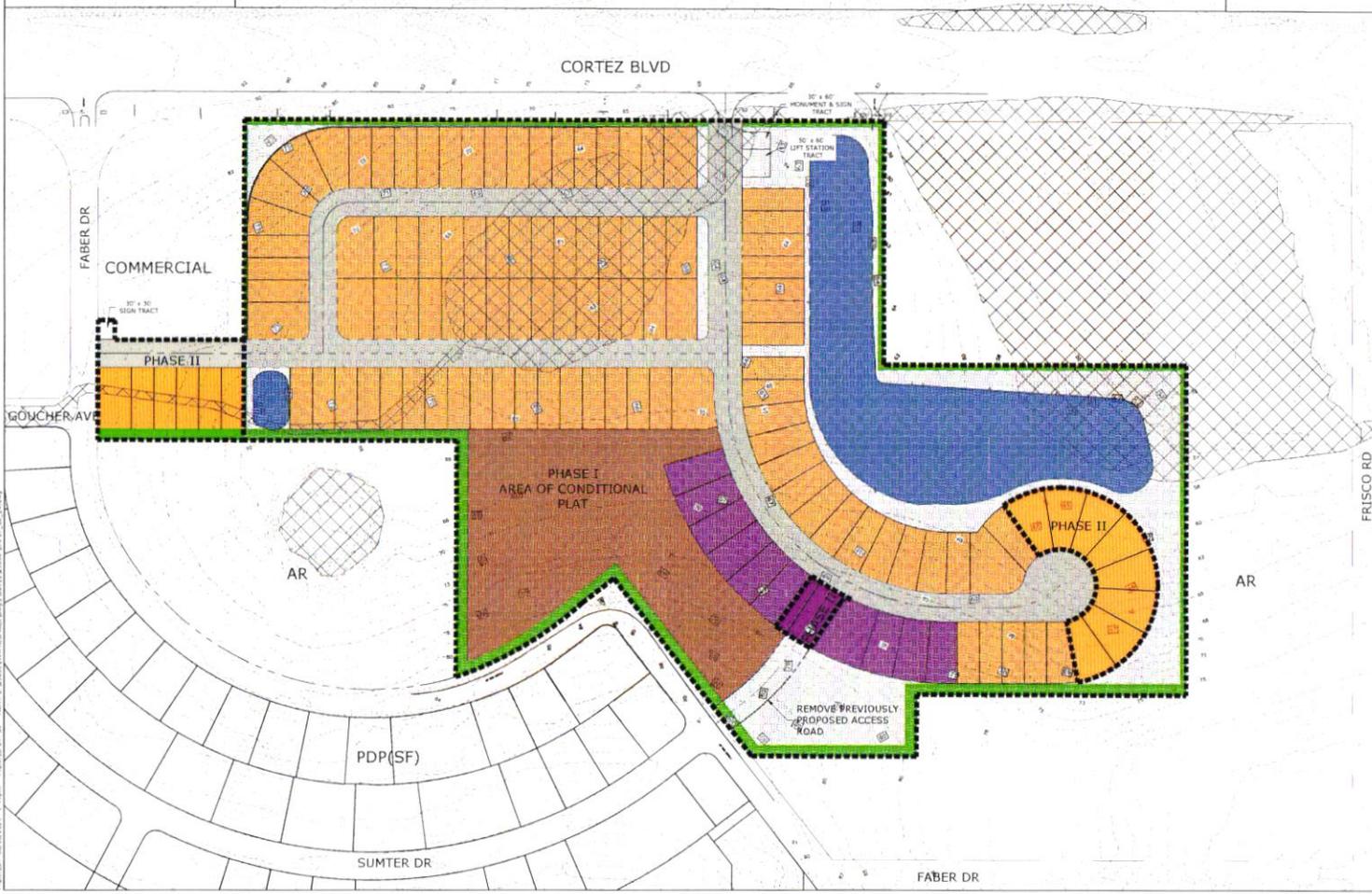
- DRAINAGE AREA
- RECREATION, OPEN SPACE, & POTENTIAL DRAINAGE
- BUFFER
- CONCEPTUAL STREET NETWORK
- FEMA 100 YR. FLOODPLAIN



REZONING MASTER PLAN  
NICHOLS PROPERTY PHASE II



**Coastal**  
Site Development Engineers • Architects • Planners  
15017 Peachtree Dunwoody • Atlanta, GA 30329  
404.414.1212



**SITE DATA**

**OWNER:** LINDA ANN NICHOLS  
**APPLICANT:** NVR, INC./ RYAN HOMES  
**PARCEL KEY NO.:** 00837786, 00837777, 00837795  
**SECTION/TOWNSHIP/RANGE:** 03/23/20  
**CURRENT ZONING:** PDP(SF)  
**PROPOSED ZONING:** PDP(SF) - REVISED MASTER PLAN  
**AREA:** ± 31.09 ACRES  
**PROPOSED NO. OF LOTS:** 125

**PERIMETER BUILDING SETBACKS (INCLUSIVE OF BUFFER):**  
 FRONT 35'  
 SOUTH 35'  
 EAST 25'  
 WEST 20'

**INTERNAL BUILDING SETBACKS:**  
 FRONT 35'  
 SIDE 5'  
 REAR 15'

**LOT SIZE:**  
 MIN LOT WIDTH-40'  
 MIN LOT DEPTH-110'  
 MIN LOT SF-4400 SF  
 MAXIMUM BUILDING HEIGHT: 35'

**BUFFERS:**  
 NORTH 10'  
 SOUTH 20' (AS SHOWN ON MASTER PLAN)  
 WEST 5'  
 EAST 10' (WHERE PROJECT LOTS ARE ADJACENT TO BOUNDARY)

Received  
AUG 7 2024

Planning Department  
Hernando County, Florida

REVISIONS

DATE	REV.	DESCRIPTION

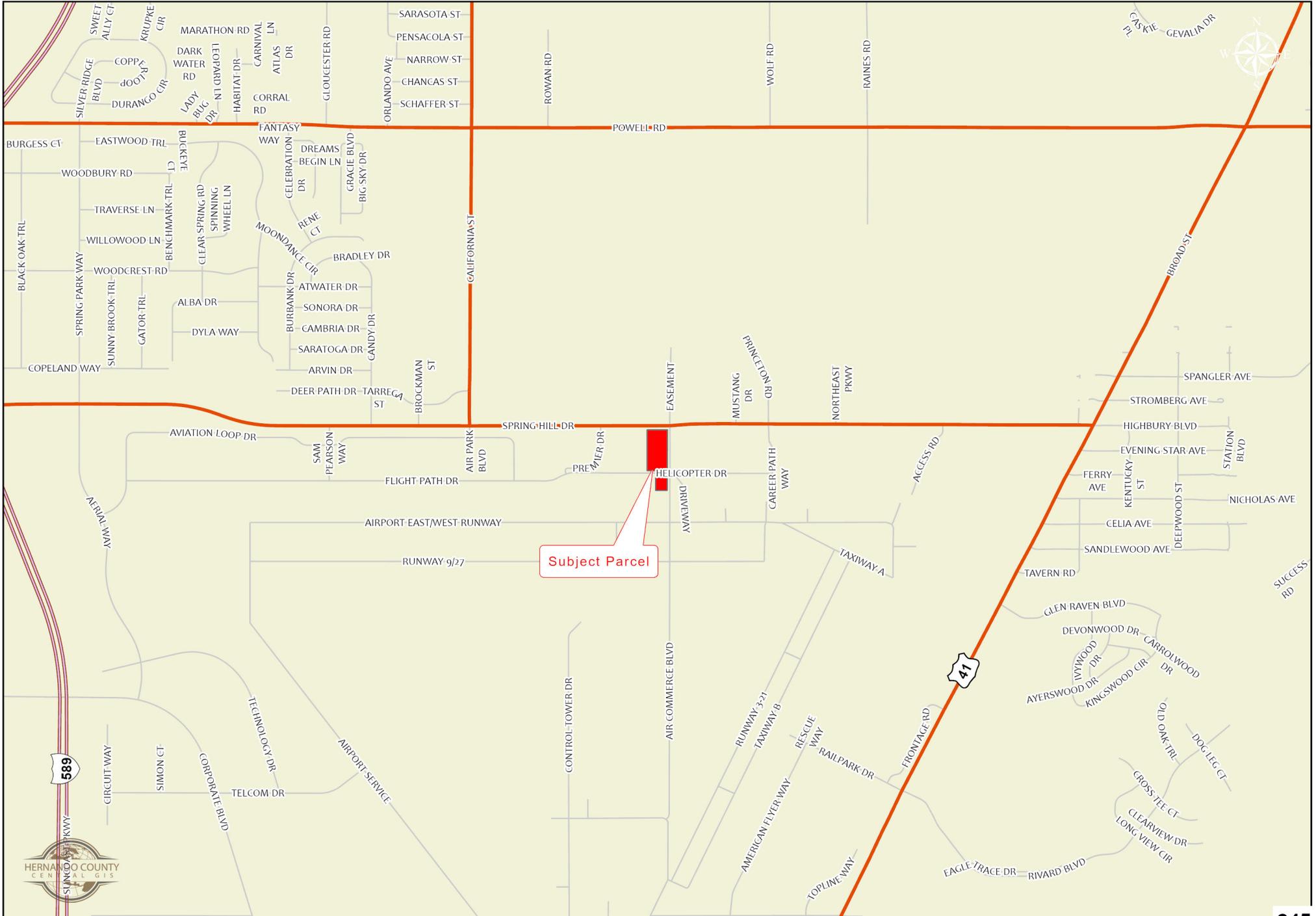
SHEET  
1

23058

DATE PLOTTED: 08/06/2024 11:44am. PLOTTED BY: JAH. PATH: L:\23058\NVR\_NICHOLS\_MASTER\_PLAN\15.0309-2907-28-24.dwg

# H-24-48 AREA MAP

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



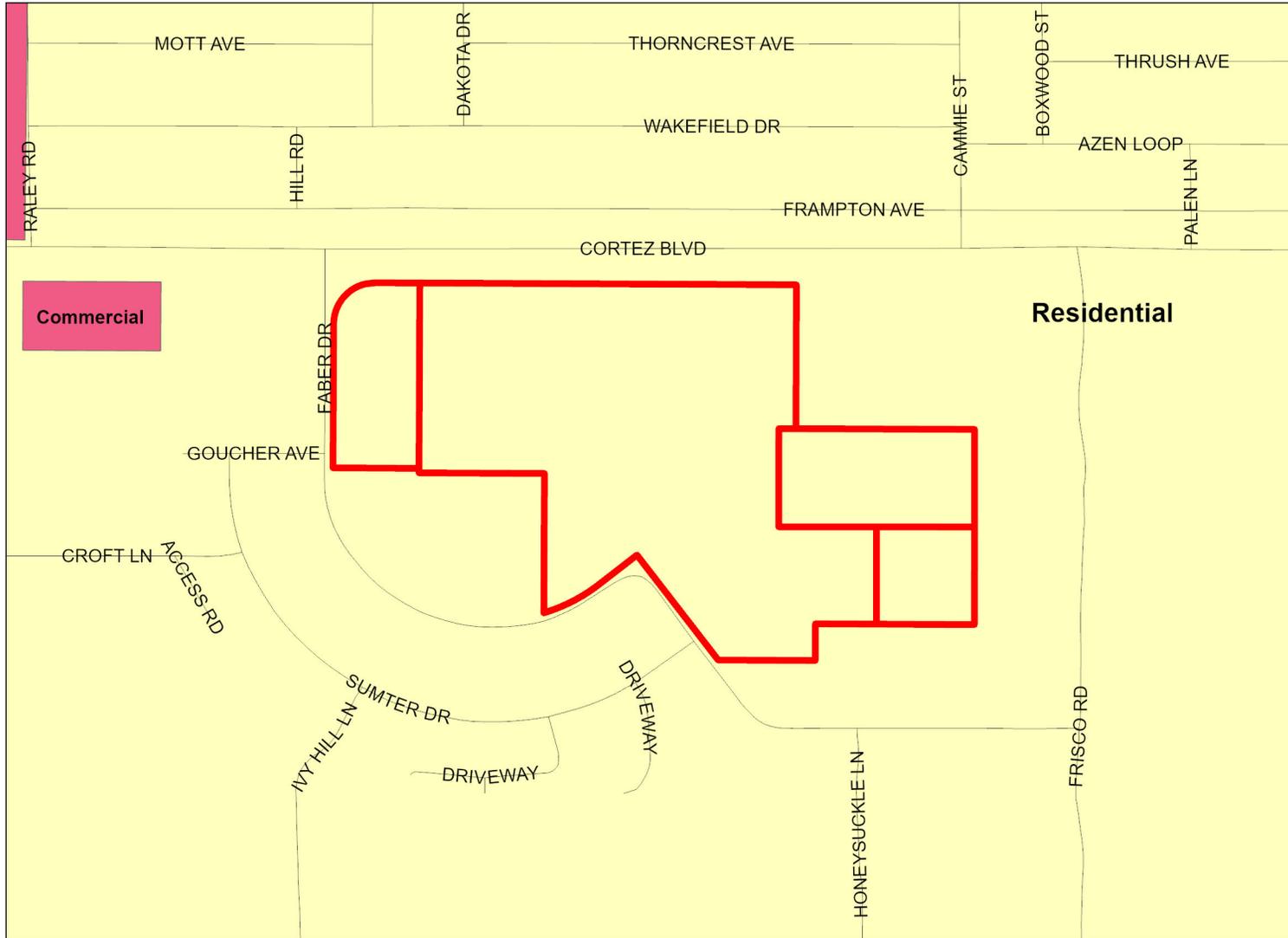
Subject Parcel

0 0.13 0.25 0.5 0.75 1 Miles



# Hernando County Comprehensive Plan Map

Existing Future Land Use: H-24-48  
Version Date: 12/09/2022



**H-24-48**

FLU Riverine District

Regional Commercial

**FLU**

- CITY
- COMMERCIAL
- CONSERVATION
- EDUCATION
- INDUSTRIAL
- MINING
- PLANNED DEVELOPMENT
- PUBLIC FACILITIES
- RECREATION
- RESIDENTIAL
- RURAL

**Future Land Use Map**

PLEASE REFER TO THE TEXT PORTION OF THE COMPREHENSIVE PLAN IN CONJUNCTION WITH THE USE OF THE FUTURE LAND USE MAP SERIES.

NOTE: THE RIVERINE DISTRICT IS SHOWN AS A LINE SETBACK PARALLEL TO THE WEEKI WACHEE, MUD AND WITHLACOOCHEE RIVERS.



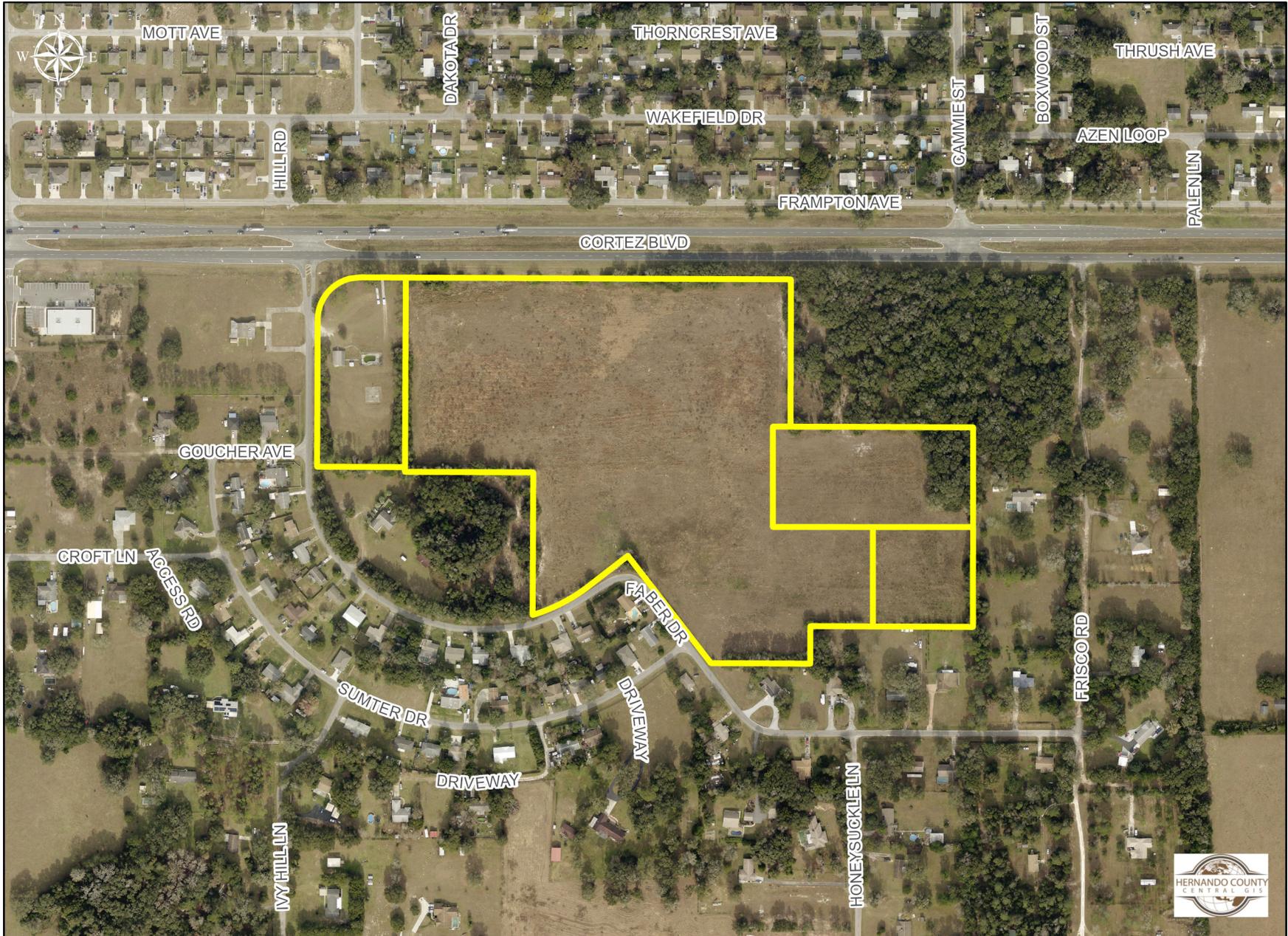
Date of mapping: 09/13/2024



# H-24-48

Photo date: 2023

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



# H-24-48

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



**Zoning:**

AC	PDP(HC)
AG	PDP(HHC)
AR	PDP(HID)
AR1	PDP(IND)
AR2	PDP(LI)
C1	PDP(MF)
C2	PDP(MH)
C3	PDP(NC)
C4	PDP(OP)
CITY	PDP(PSF)
CM1	PDP(REC)
CM2	PDP(RR)
CPDP	PDP(RUR)
CV	PDP(SF)
I1	PDP(SU)
I2	R1A
M	R1B
OP	R1C
PDP(AF)	R1MH
PDP(CM)	R2
PDP(CP)	R2.5
PDP(GC)	R3
PDP(GHC)	RC
	RM

City Zoning Pending





## AGENDA ITEM

### TITLE

Master Plan submitted by Bobby Eaton ProBuilt U.S. Inc (H-24-47)

### BRIEF OVERVIEW

**Request:**

A Master Plan for property zoned PDP(HC)/Planned Development Project (Highway Commercial) with deviations

**General Location:**

West side of Air Commerce Boulevard, between Spring Hill Drive and Helicopter Drive

### FINANCIAL IMPACT

A matter of policy. There is no financial impact.

### LEGAL NOTE

The Planning and Zoning Commission has jurisdiction to make a recommendation on the subject application. The Applicable Criteria for Planned Development Projects are contained in Appendix A, (Zoning Code) Article VIII. The Planned Development Project master plan must be consistent with the Comprehensive Plan.

The notice requirements of Appx. A, Art. VI, Sec. 7 of the Hernando County Code have been complied with.

### RECOMMENDATION

It is recommended that the Planning and Zoning Commission recommend the Board of County Commissioners adopt a resolution approving the petitioner’s request for a Master Plan on property zoned PDP(HC)/Planned Development Project (Highway Commercial) with deviations and performance conditions.

### REVIEW PROCESS

Omar DePablo	Approved	10/31/2024	8:44 AM
Toni Brady	Approved	10/31/2024	9:04 AM
Pamela Hare	Approved	10/31/2024	9:34 AM
Melissa Tartaglia	Approved	10/31/2024	10:17 AM
Danielle Nigro	Approved	10/31/2024	12:35 PM

<b>RESULT:</b>	<b>ADOPTED</b>
<b>MOVER:</b>	W. Steven Hickey
<b>SECONDER:</b>	Kathryn Birren
<b>AYES:</b>	Holmes, Hickey, Birren, McDonald and Morgan
<b>ABSENT:</b>	Noe



**HERNANDO COUNTY ZONING AMENDMENT PETITION**



Application to Change a Zoning Classification

**Application request** (check one):

- Rezoning  Standard  PDP
  - Master Plan  New  Revised
  - PSFOD  Communication Tower  Other
- PRINT OR TYPE ALL INFORMATION**

Date: 4-24-2024

File No. \_\_\_\_\_ Official Date Stamp:  
**H-24-47**  
**Received**  
**AUG 7 2024**  
 Planning Department  
 Hernando County, Florida

**APPLICANT NAME:** Bobby Eaton ProbuiltU.S.Inc

Address: 4534 Commercial Way  
 City: Spring Hill State: FL Zip: 34606  
 Phone: (352) 835-7995 Email: b.eaton@probuiltus.com  
**Property owner's name:** (if not the applicant) Hernando County

**REPRESENTATIVE/CONTACT NAME:**

Company Name: Coastal Engineering Associates, Inc.  
 Address: 966 Candlelight Blvd.  
 City: Brooksville State: FL Zip: 34601  
 Phone: (352) 796-9423 Email: dlacey@coastal-engineering.com

**HOME OWNERS ASSOCIATION:**  Yes  No (if applicable provide name) \_\_\_\_\_

Contact Name: \_\_\_\_\_  
 Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

**PROPERTY INFORMATION:**

1. PARCEL(S) **KEY** NUMBER(S): 1487466
2. SECTION 13, TOWNSHIP 23, RANGE 18
3. Current zoning classification: PDP/HC
4. Desired zoning classification: PDP/HC
5. Size of area covered by application: 3.4 acres
6. Highway and street boundaries: SW corner of Spring Hill Drive and Air Commerce Blvd.
7. Has a public hearing been held on this property within the past twelve months?  Yes  No
8. Will expert witness(es) be utilized during the public hearings?  Yes  No (If yes, identify on an attached list.)
9. Will additional time be required during the public hearing(s) and how much?  Yes  No (Time needed: \_\_\_\_\_)

**PROPERTY OWNER AFFIDIVAT**

I, Jeff Rogers, County Administrator, have thoroughly examined the instructions for filing this application and state and affirm that all information submitted within this petition are true and correct to the best of my knowledge and belief and are a matter of public record, and that (**check one**):

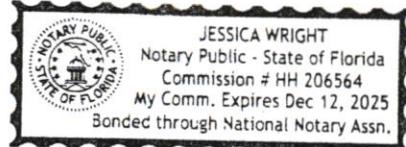
- I am the owner of the property and am making this application **OR**
- I am the owner of the property and am authorizing (applicant): Bobby Eaton ProbuiltU.S, Inc. and (representative, if applicable): Coastal Engineering Associates, Inc. to submit an application for the described property.

  
 \_\_\_\_\_  
 Signature of Property Owner

**STATE OF FLORIDA  
COUNTY OF HERNANDO**

The foregoing instrument was acknowledged before me this 29 day of April, 2024, by Jeffrey Rogers who is personally known to me or produced Driver License as identification.

  
 \_\_\_\_\_  
 Signature of Notary Public



Effective Date: 11/8/16 Last Revision: 11/8/16

Notary Seal/Stamp

## ProBUILTUS BKV Airport Development

Parcel Key: 1487466

### General Location

The property is located at the southwest corner of Spring Hill Drive and Air Commerce Boulevard and is bisected by Helicopter Drive. The property key consists of approximately 4.80 acres and is identified as Parcel Key # 1487466 by the Hernando County Property Appraiser. However, a portion of the property south of Helicopter Drive is currently leased by the Air National Guard. Development on the site will occur on 3.4 acres north of Helicopter Drive.

Property ownership is in the name of Hernando County. Development of the property will require a lease agreement with Hernando County through the Brooksville Tampa Bay Regional Airport (BKV). Please refer to Figure 1 for the General Location of the site.

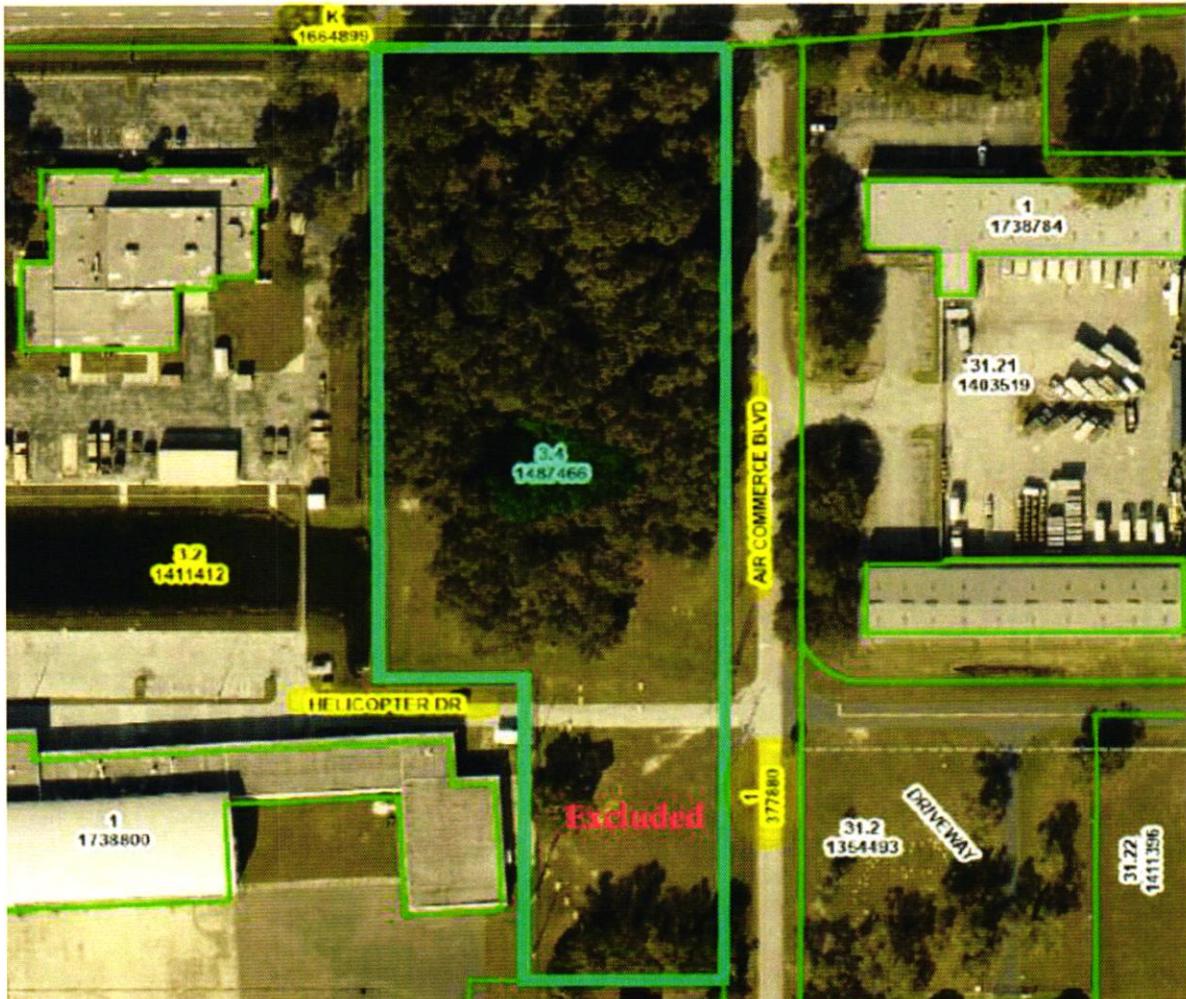


Figure 1 ProBUILTUS Aerial, and General Location Map

## Request

The request is for approval of a master plan on property zoned PDP/HC (Planned Development/Highway Commercial).

## Project Description

The proposed use of the property includes up to 35,000 square feet of commercial/office/warehouse space in two (2) separate buildings for use by multiple tenants. The front building facing Spring Hill Drive will consist of retail space and the two (2) rear buildings will be designed as storefront buildings with roll up access in the rear to provide for multitenant warehouse units.

Construction will occur on approximately 3.4 acres north of Helicopter Drive. The balance of the property which is south of Helicopter Drive will be used for retention.

## Proposed Uses

*PDP (Highway Commercial):* All permitted uses in the C-2 zoning district. Any special exception uses allowed in the C-2 zoning district which have been specifically designated or specified in the narrative or on the master plan. Any permitted and special exception uses from the O/P and C-4 zoning districts specifically designated in the narrative or on the master plan.

Special Exception Uses from the C-2 District

- Light Wholesale and Storage
- Welding Shops

Permitted Uses from the C-4 District

- Cabinet Shops
- Light Wholesale and Storage Establishments
- Light Manufacturing with or without outside storage
- Construction Service Establishments
- Aircraft Parts Establishment

## Airport Master Plan

The Airport Master Plan land use drawing (Sheet 14 of Master Plan) designates the site for future commercial use. Please refer to Figure 2 for the Airport Master Plan designation of the site.

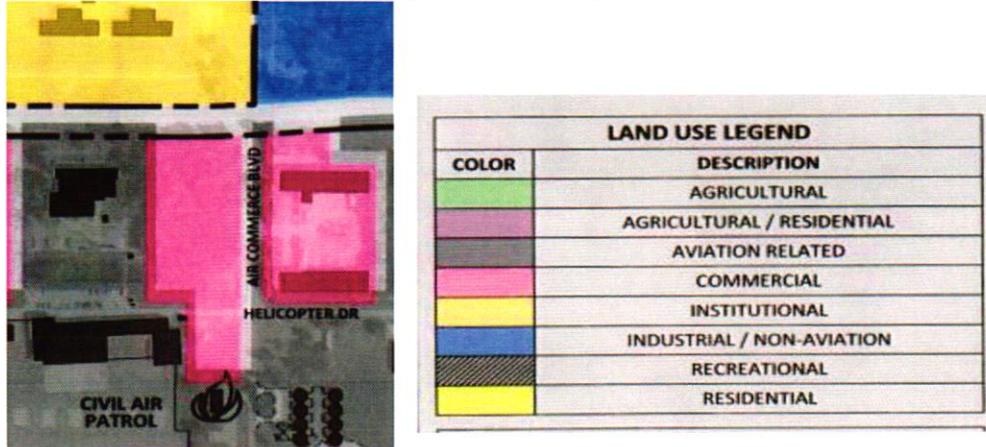


Figure 2 ProBuiltUS Airport Master Plan

## Current Zoning Designation

The current Zoning Designation on the property by Hernando County is Planned Development/Highway Commercial (PDP/HC) on the 3.4 acres proposed for development. The property key is split zoned as the portion of the site leased to the Air National Guard is zoned Planned Development Public Service Facility (PDP/PSF). Please refer to Figure 3 for the Current Zoning Designation of the site.

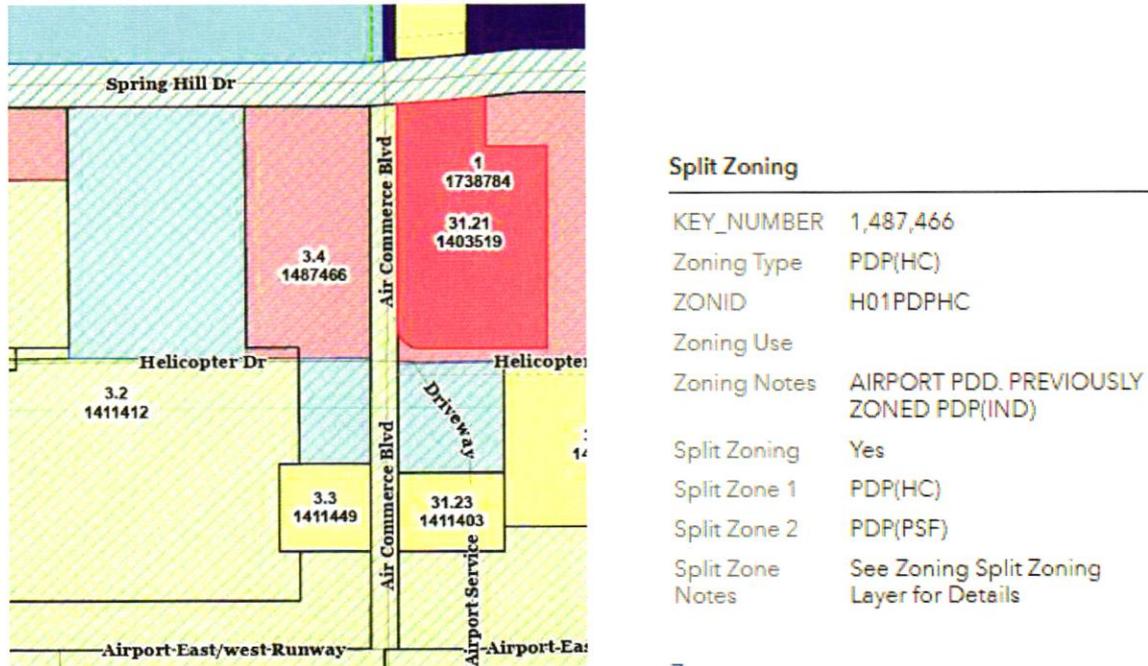


Figure 3 ProBuiltUS Current Zoning Designation

## Current Land Use Designation

The current Future Land Use Designation by the Hernando County 2040 Future Land Use Map is Airport Planned Development District. Please refer to Figure 4 for the Current Land Use Designation of the site.

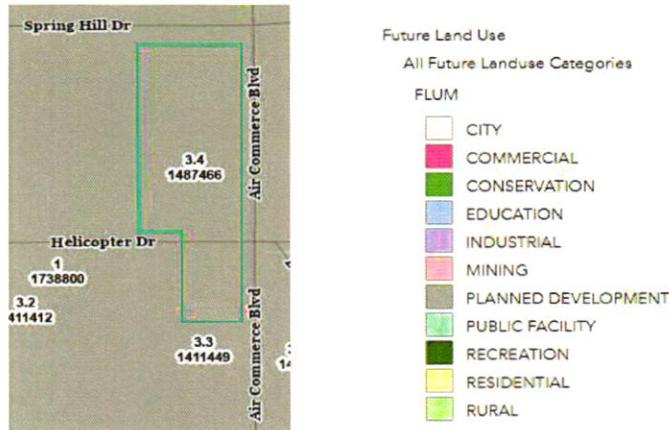


Figure 4 ProBuiltUS Current Land Use Designation

## Surrounding Zoning and Land Use

	Property Description	Zoning	Future Land Use
<b>North</b>	Correctional Facility	Planned Development Project/Corporate Park (PDP/CP), Planned Development Project/Industrial (PDP/IND) and Planned Development Project/Public Service Facility Overlay (PDP/PSF)	Airport Planned Development District
<b>South</b>	Air National Guard, Civil Air Patrol	Planned Development Project/Aviation Facilities (PDP/AF) Planned Development Project/Public Service Facility Overlay (PDP/PSF)	Airport Planned Development District
<b>East</b>	Gale Insulation, American Aviation	Planned Development Project/Highway Commercial (PDP/HC)	Airport Planned Development District
<b>West</b>	Air National Guard	Planned Development Project/Public Service Facility Overlay (PDP/PSF)	Airport Planned Development District

## Consistency with the Comprehensive Plan

The current Future Land Use Designation by the Hernando County 2040 Future Land Use Map is Airport Planned Development District. The use of the property is governed by the following Objective and Strategy from the 2040 Plan:

**Objective 1.05B:** The Airport Planned Development District (Airport PDD) is created to facilitate maximum utilization of the Brooksville Tampa Bay Regional Airport as a center for aviation and aviation related uses, industrial and business park uses and the development of private lands in support of an employment center.

**Strategy 1.05B(1):** The Airport PDD includes both public and privately owned lands. Primary uses allowed include a mixture of aviation, commercial, industrial, and public facilities. Recommended uses for publicly owned airport properties are guided by the Airport Master Plan for the Brooksville-Tampa Bay Regional Airport, as updated from time to time.

**Strategy 1.05B(7):** Commercial and industrial development must be compatible with airport operations and other airport activities. Industrial development shall generally be encouraged and incentivized over commercial for the purpose of protecting the employment base of the Airport PDD

*Analysis:* The request for a mixed use commercial project consisting of retail store fronts and flex space for business uses/accessory offices and light industrial is consistent with the strategies that govern the uses in the Airport Planned Development District (PDD).

## Dimensional Standards

Perimeter Building Setbacks:

Front (Spring Hill Drive):	75 Feet
Front (Air Commerce Drive):	50 Feet
South:	25 Feet
West:	10 Feet (Deviation from 20 feet)

Buffers:

Spring Hill Drive (North):	5 Feet
East Air Commerce Blvd. (East):	5 Feet
West:	5 Feet
Helicopter Drive (South):	5 Feet

Maximum Building Height: 60 feet (Allowed by the dimensional standards for the C-2 District)

## Deviation Requests

Reduction in the Perimeter Setback from the West from 20 Feet to 10 Feet

*Justification:* The site is rectangular in shape with the visible portion of the site perpendicular to Spring Hill Drive, restricting the shape of the site buildable area. The elongated portion of the site is facing Air

Commerce Drive restricting the depth of the site. In order to take full advantage of the Spring Hill Drive frontage for potential retail users a deviation to the perimeter setback along the west property line is required. This is necessary to make full use of the developable portion of the site. In addition, the remaining site setbacks are met.

## Site Characteristics

### Topography

The site ranges in elevation from 64 MSL to 68 MSL. There is a large stormwater pond to the west of the site that encroaches on the site which will be expanded to provide additional retention. Please refer to Figure 5 for the topography on the site.

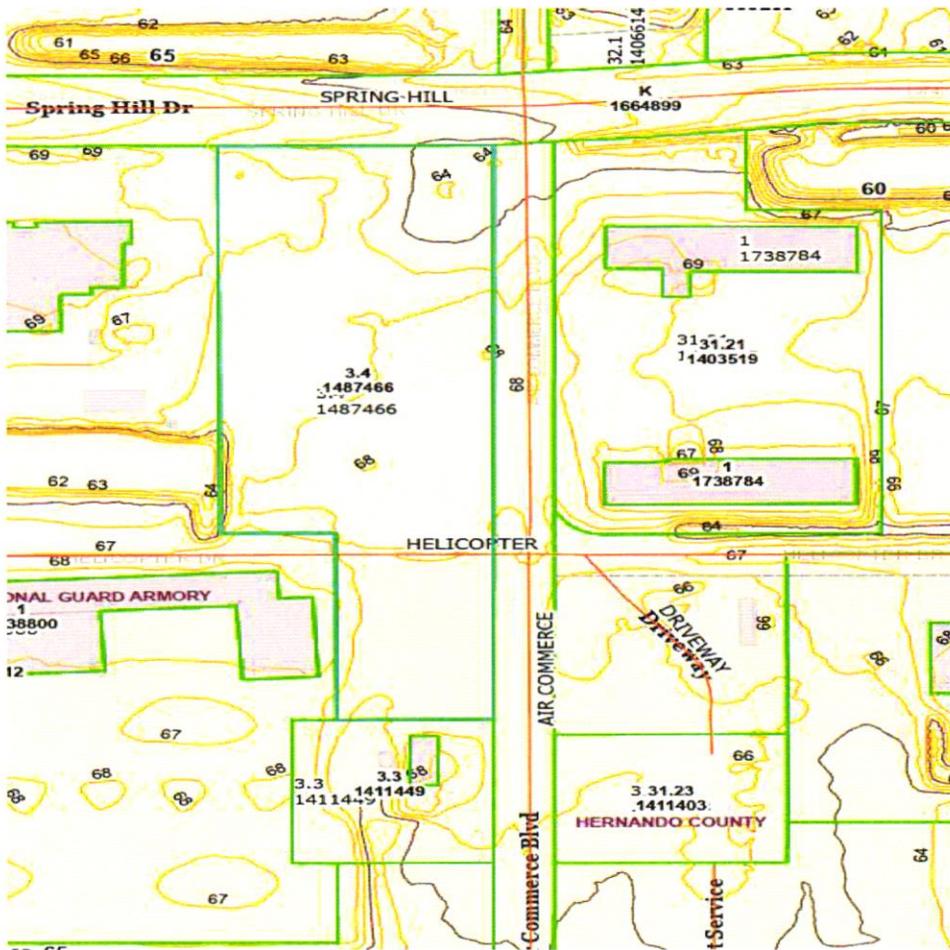


Figure 5 ProBUILTUS Current Site Topography

### Floodplain

Portions of the site designated as Special Flood Hazard Areas by the FEMA DFIRM Maps as A and AE (DFIRM Panel 10253C0327D). Base Flood elevation has not been provided which will require the Engineer of Record to provide base flood elevation data in accordance with currently accepted engineering practices (Sec. 13.32 Hernando County Code of Ordinances). Development of the site must comply with Chapter 13, Flood Damage Prevention and Protection, of the Hernando County Code of Ordinances. Please refer to Figure 6 for the Floodplain Designation of the site.

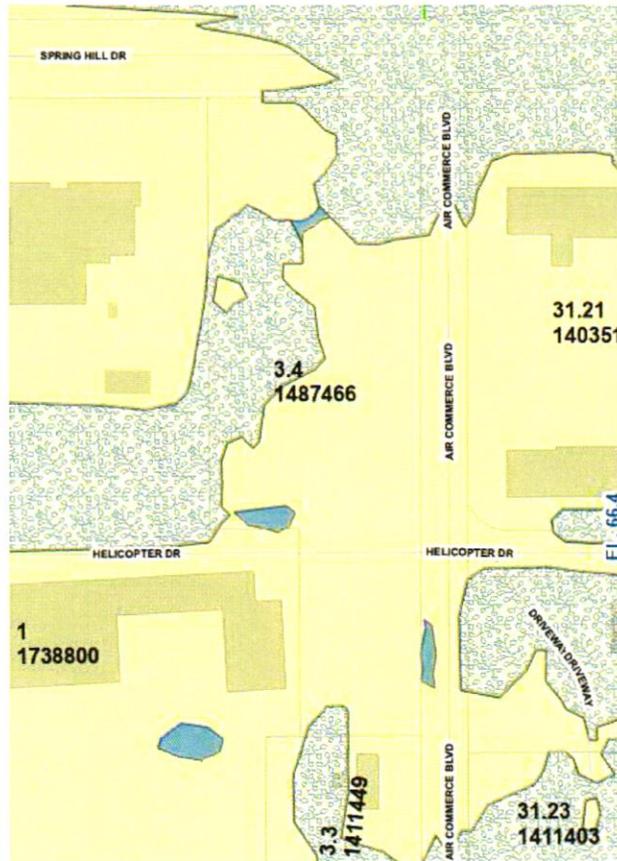


Figure 6 ProBuiltUS Current Floodplain Designation

### Soils

The soil types consist of Masaryk very fine sand/0 to 5 % slopes and Candler fine sands/ 0 to 5 % slope. Please refer to Figure 7 for the soil types on the site.

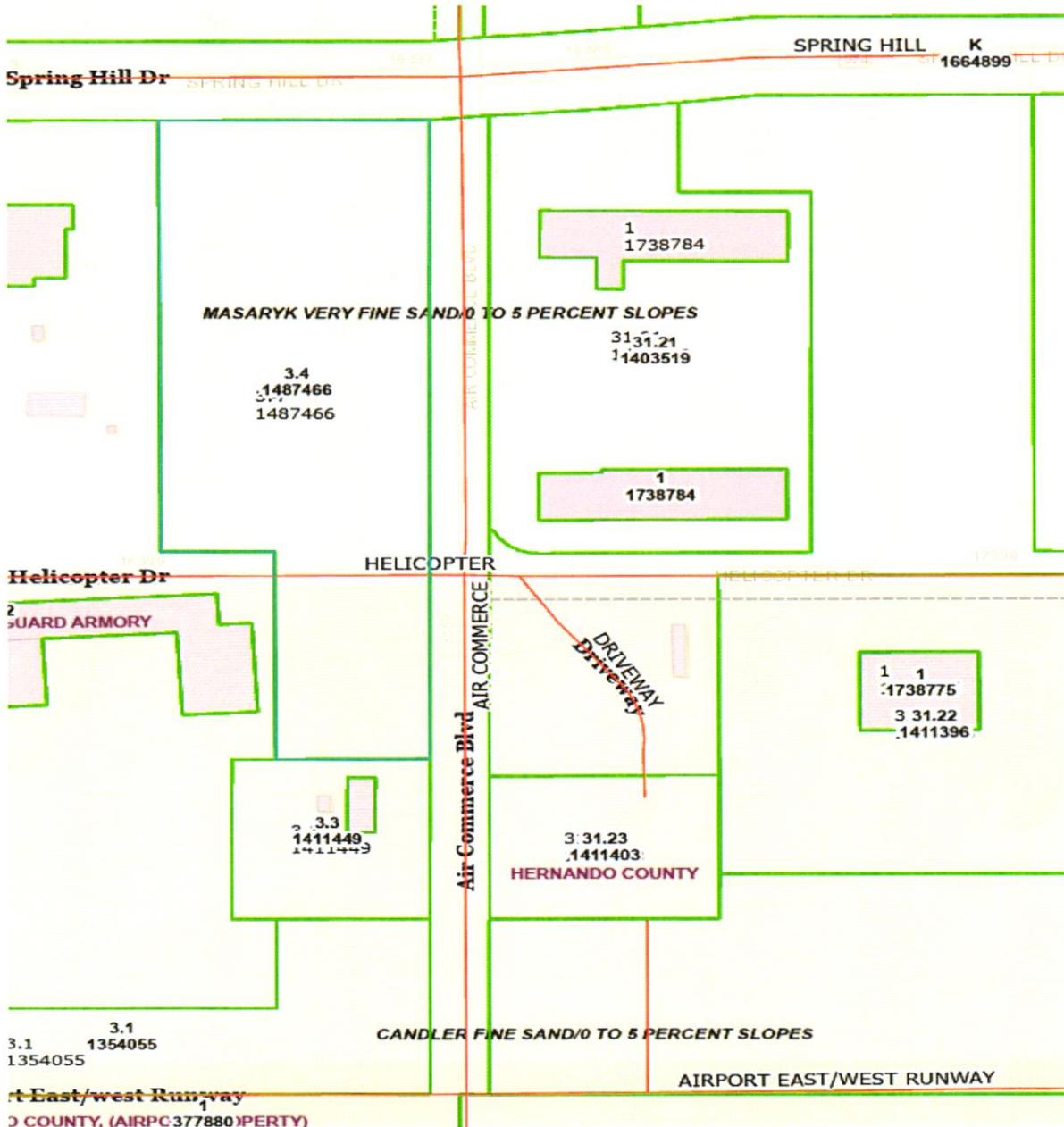


Figure 7 ProBUILTUS Soil Types

## Environmental

The site contains no significant environmental features. Prior to development Hernando County may require a listed species survey. Any listed species on the site identified in the report will need to be treated in accordance with all State and Federal guidelines.

## Impact to Public Facilities

### Adequate Access

Access to the site is from Spring Hill Drive and Air Commerce Boulevard. Spring Hill Drive is a County maintained 4-lane collector roadway. The 2045 MPO Transportation Plan does not identify the need for future projects anticipating that the roadway will continue to operate at an acceptable level of service. Air Commerce Boulevard is a local roadway maintained by the Brooksville Tampa Bay Regional Airport (BKV). Driveway locations and design will comply with the Hernando County Facility Design Guidelines.

### Public Facilities

**Water and Sewer:** The site will be served by Hernando County Utilities. The developer will make the necessary infrastructure improvements to provide service and conduct a utility capacity analysis as required.

**Solid Waste:** The site will be served by a solid waste collection agency as designated by the County.

**Police and Fire:** The site is served by the Hernando County Sheriff's Office for police protection and Fire/Rescue Station 14.

**Drainage:** The site will comply with the requirements of Hernando County and the Southwest Florida Water Management District for stormwater and flood prevention.

## Concurrency

A Certificate of Concurrency from the County will be required at the time of permitting. Application is the responsibility of the permit applicant. The following facilities will be reviewed for adequate capacity:

- Potable Water
- Sanitary Sewer
- Drainage
- Solid Waste Disposal
- Transportation (roadways)

At this time, it is anticipated that adequate capacity will be available to support the project.

## STAFF REPORT

---

**HEARINGS:** Planning & Zoning Commission: November 4, 2024  
Board of County Commissioners: December 17, 2024

**APPLICANT:** Bobby Eaton Probuilt U.S. Inc

**FILE NUMBER:** H-24-47

**REQUEST:** A Master Plan for property zoned PDP(HC)/Planned Development Project (Highway Commercial) with deviations

### GENERAL

**LOCATION:** West side of Air Commerce Boulevard, between Spring Hill Drive and Helicopter Drive

**PARCEL KEY:** 1487466

---

### APPLICANT'S REQUEST:

The petitioner is requesting a Master Plan on property zoned PDP(HC)/Planned Development Project (Highway Commercial) with deviations. The petitioner is proposing two (2) buildings for up to 35,000 square feet of commercial/office and warehouse space for use by multiple tenants.

#### Requested Deviations:

1. Westside Setback: 10' (Deviation from 20')
2. Maximum Height Deviation: 60' (deviation from 35')
3. Buffer Deviation: 5' (Deviation from 10')

### SITE CHARACTERISTICS:

**Site Size:** 4.40 acres

#### **Surrounding Zoning & Land Uses:**

North: PDP(PSF) FDOT & FDOC Use (Road Prison)  
South: PDP(AF); Air National Guard  
East: PDP(HC); Warehouse  
West: PDP(CP)(HC); Shopping Plaza

**Current Zoning:** PDP(HC)/Planned Development Project (Highway Commercial)

**Future Land Use  
Map Designation:** Airport Planned Development District

**ENVIRONMENTAL REVIEW:**

**Soil Type:** Masaryk Very Fine Sand

**Habitat:** Undeveloped properties shown as successional hardwood forest according to FWC CLC (Florida Cooperative Land Cover Classification System that combines Florida Land Use Cover and Classification System with fish and wildlife data) mapping.

**Comments:** Masaryk Very Fine Sand provides habitat suitable for gopher tortoises and commensal species. A comprehensive wildlife survey shall be prepared by a qualified professional. The petitioner is required to comply with all applicable FWC regulations.

**Hydrologic Features:** The property does not contain any wetlands, Wellhead Protection Area (WHPA) or Special Protection Areas (SPA), according to County data resources.

**Comments:** This project is located within the Weeki Wachee Basin identified by FDEP as contributing nutrients to the Weeki Wachee Riverine System.

The petitioner shall meet the minimum recommendations of the Florida Yards & Neighborhoods (FYN) Program for design techniques and principles for all required landscaping.

**AIRPORT REVIEW:**

As part of the approval that the petitioner must demonstrate satisfactory compliance with federal aviation regulation's part 77 and Federal Aviation Administration "Advisory Circular (AC) 70/7460-1J" regarding Obstruction Marking and Lighting. An Avigation Easement shall be provided by the petitioner to the Hernando County Airport.

**UTILITIES REVIEW:**

Hernando County Utilities Department (HCUD) does not currently supply water or sewer service to this parcel; however, water and sewer service are available to this parcel.

**Comments:** HCUD has no objection to the request. A utility capacity analysis and connection to the central water and sewer systems at time of vertical construction

## ENGINEERING REVIEW:

The subject site is located on the west side of Air Commerce Boulevard, between Spring Hill Drive and Helicopter Drive. The petitioner has indicated access from Helicopter Drive. The County Engineer has reviewed the petitioners' request and indicated the following:

- Traffic Access Analysis may be required, any improvements identified by analysis will be the responsibility of the developer to install.
- Air Commerce Boulevard may be required to be brought up to a Major Local/Commercial Roadway.
- Parking spaces, drive aisles, signage and pavement markings and driveway connections will need to meet County Standards.
- A sidewalk shall be installed on Spring Hill Drive for the entire frontage.
- A sidewalk connection is needed to connect the buildings to the sidewalk on Spring Hill Drive.
- Project may consider adding a Transit stop with amenities. Note: Helicopter Drive is located within the parcel site and may require future improvement(s)
- FDOT access management permit required.
- FDOT drainage permit may be required.

## LAND USE REVIEW:

### Minimum Building setbacks

North (Spring Hill Drive):	75'
South (Helicopter Drive):	25'(Deviation from 35')
East (Air Commerce Drive):	50'
West:	10'(Deviations from 20')

### Building Height

The petitioner is proposing a maximum height of 60' for the development.

**Comments:** Although the commercial zoning district permits structure heights of 60', the proposed development shall coordinate its height with the Airport to ensure no flight path conflicts.

### Parking

County LDRs require minimum off-street parking ratios based on the type of use. If the master plan is approved, the petitioner shall be required to meet the minimum parking requirements of the Land Development Regulations.

**Landscaping:**

The petitioner must meet the minimum requirements of Florida Friendly Landscaping™ publications for design techniques, principles, materials, and plantings for required landscaping.

**Buffers**

A minimum of a ten (10') foot landscape strip shall be installed along all street property lines, exclusive of driveways. When the ten (10') foot landscape strip occurs between a parking area or vehicle maneuvering or loading area and the street landscape shrub screen of at least thirty (30%) percent opaqueness and a minimum of four (4) feet in height within one year after installation is required. Mature trees at a maximum spacing of twenty (20') feet may be substituted for or combined with the shrub screen. This landscaping may be calculated as part of the thirty (30%) percent of the landscaping requirement.

**Comments:** The petitioner is proposing a deviation from 10' to a 5' vegetative buffer around the property.

**Lighting:**

County LDRs require lighting that enhances the visual impact of the project on the community and specifically addresses lighting intensity levels and glare accordingly. Commercial buildings and projects shall be designed to provide safe, convenient and efficient lighting for pedestrians and vehicles.

**Comments:** The petitioner has not indicated any provisions for lighting of the subject property. If approved, the petitioner should be required to provide full cutoff fixtures and retain all light on-site and prevent any light spillage onto neighboring uses.

**COMPREHENSIVE PLAN REVIEW:**

**Objective 1.05B:** The Airport Planned Development District (Airport PDD) is created to facilitate maximum utilization of the Brooksville Tampa Bay Regional Airport as a center for aviation and aviation related uses, industrial and business park uses and the development of private lands in support of an employment center.

**Strategy 1.05B(1):** The Airport PDD includes both public and privately owned lands. Primary uses allowed include a mixture of aviation, commercial, industrial, and public facilities. Recommended uses for publicly owned airport properties are guided by the Airport Master Plan for the Brooksville-Tampa Bay Regional Airport, as updated from time to time

**Strategy 1.05B(7):** Commercial and industrial development must be compatible with airport operations and other airport activities. Industrial

development shall generally be encouraged and incentivized over commercial for the purpose of protecting the employment base of the Airport PDD.

**Comments:** The subject site is located within the Airport Corporate Park and the Airports adopted Master Plan. The proposed uses are compatible with the surrounding area and consistent with the Airport PDD goal cluster in the Comprehensive Plan.

**FINDING OF FACTS:**

A Master Plan for property zoned PDP(HC)/Planned Development Project (Highway Commercial) with deviations is appropriate based on the following:

The proposed development is compatible with the surrounding area and consist with the Comprehensive Plan.

**NOTICE OF APPLICANT RESPONSIBILITY:**

*The rezoning process is a land use determination and does not constitute a permit for either construction on, or use of, the property, or a Certificate of Concurrence. Prior to use of, or construction on, the property, the petitioner must receive approval from the appropriate County department(s) for the proposed use.*

*The granting of this land use determination does not protect the owner from civil liability for recorded deed restrictions which may exceed any county land use ordinances. Homeowner’s associations or architectural review committees require submission of plans for review and approval. The applicant for this land use request should contact the local association or the Public Records for all restrictions applicable to this property.*

**STAFF RECOMMENDATION:**

It is recommended that the Planning and Zoning Commission recommend the Board of County Commissioners adopt a resolution approving the petitioner’s request for a Master Plan on property zoned PDP(HC)/Planned Development Project (Highway Commercial) with deviations and the following performance conditions:

1. The petitioner must obtain all permits from Hernando County and other applicable agencies and meet all applicable land development regulations, for either construction or use of the property, and complete all applicable development review processes.
2. Minimum Building setbacks

North (Spring Hill Drive):	75'
South (Helicopter Drive):	25'(Deviation from 35')
East (Air Commerce Drive):	50'

- West: 10'(Deviations from 20')
3. The petitioner shall coordinate the height of all proposed structures with the Airport.
  4. The petitioner must meet the minimum requirements of Florida Friendly Landscaping™ publications for design techniques, principles, materials, and plantings for required landscaping.
  5. The petitioner shall be required to provide full cutoff fixtures and retain all light on-site and prevent any light spillage.
  6. A Traffic analysis is required at the time of development. Any improvements identified by the Traffic Access Analysis shall be the responsibility of the developer.
  7. The Internal Roadway shall be a Major Local / Commercial and could be a Collector depending on the number of trips associated with this project.
  8. The petitioner shall add Transit stop with Amenities.
  9. The petitioner shall be required to make any future improvements to Helicopter Drive as it is located within the parcel.
  10. The petitioner shall be required to construct the driveway connection to meet FDOT standards.
  11. The petitioner shall provide parking spaces (including Disabled parking spaces), drive aisles, signage and pavement markings will need to meet County Standards.
  12. The petitioner shall be required to install a sidewalk connection to connect the buildings to the sidewalk on Spring Hill Drive.
  13. The petitioner shall be required to install a sidewalk along Spring Hill Drive for the entire property frontage may be required by FDOT
  14. The petitioner shall have to conduct a utility capacity analysis and connection to the central water and sewer systems at the time of vertical construction.
  15. A comprehensive wildlife survey shall be prepared by a qualified professional. The petitioner is required to comply with all applicable FWC regulations.
  16. The petitioner shall demonstrate satisfactory compliance with federal aviation regulation's part 77 and Federal Aviation Administration "Advisory Circular (AC) 70/7460-1J" regarding Obstruction Marking and Lighting.

17. An Avigation Easement shall be provided by the petitioner to the Hernando County Airport.
18. The petitioner shall provide a master plan in compliance with all of the performance conditions within 30 calendar days of BCC approval. Failure to submit the revised plan will result in no further development permits being issued.



# H-24-47

Photo date: 2023

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



# Hernando County Comprehensive Plan Map

Existing Future Land Use: H-24-47  
Version Date: 12/09/2022



**H-24-47**

**FLU Riverine District**

**Regional Commercial**

**FLU**

- CITY
- COMMERCIAL
- CONSERVATION
- EDUCATION
- INDUSTRIAL
- MINING
- PLANNED DEVELOPMENT
- PUBLIC FACILITIES
- RECREATION
- RESIDENTIAL
- RURAL

**Future Land Use Map**

PLEASE REFER TO THE TEXT PORTION OF THE COMPREHENSIVE PLAN IN CONJUNCTION WITH THE USE OF THE FUTURE LAND USE MAP SERIES.

NOTE: THE RIVERINE DISTRICT IS SHOWN AS A LINE SETBACK PARALLEL TO THE WEEKI WACHEE, MUD AND WITHLACOOCHEE RIVERS.

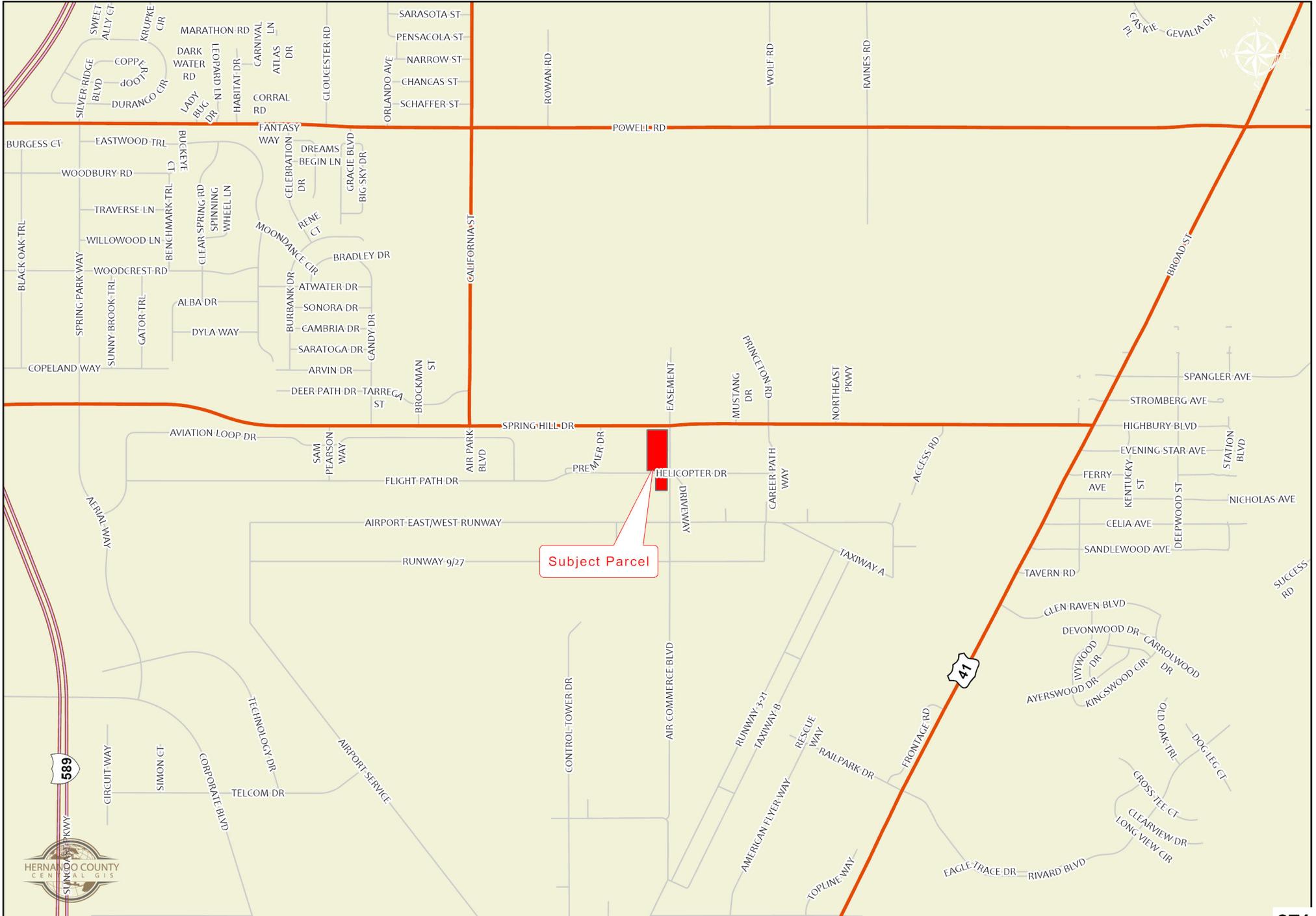


Date of mapping: 09/10/2024



# H-24-47 AREA MAP

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.

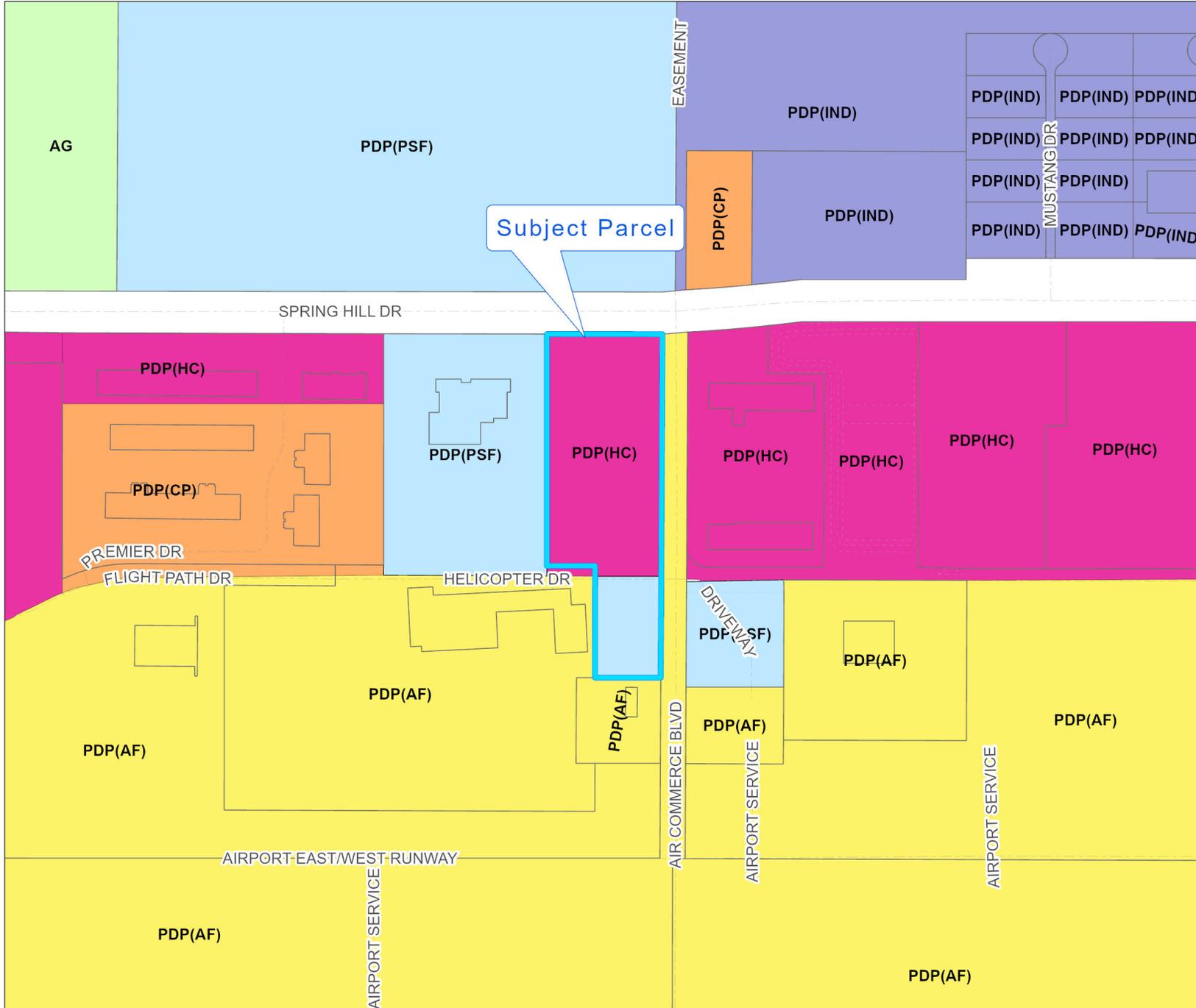


Subject Parcel



# H-24-47

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



**Zoning:**

AC	PDP(HC)
AG	PDP(HHC)
AR	PDP(HID)
AR1	PDP(IND)
AR2	PDP(LI)
C1	PDP(MF)
C2	PDP(MH)
C3	PDP(NC)
C4	PDP(OP)
CITY	PDP(PSF)
CM1	PDP(REC)
CM2	PDP(RR)
CPDP	PDP(RUR)
CV	PDP(SF)
I1	PDP(SU)
I2	R1A
M	R1B
OP	R1C
PDP(AF)	R1MH
PDP(CM)	R2
PDP(CP)	R2.5
PDP(GC)	R3
PDP(GHC)	RC
	RM

City Zoning Pending





# Planning & Zoning Commission

## AGENDA ITEM

Meeting: 11/04/2024  
Department: Planning  
Prepared By: Danielle Nigro  
Initiator: Omar DePablo  
DOC ID: 14766  
Legal Request Number:  
Bid/Contract Number:

### TITLE

Master Plan Revision Petition Submitted by Hawk Lake Hideaway LLC (H-24-50)

### BRIEF OVERVIEW

#### Request:

Master Plan Revision on property zoned CPDP (Combined Planning Development Project) with SF (Single-family), MF (Multifamily), OP (Office Professional), REC (Recreation), and NC (Neighborhood Commercial) with specific C-1 (General Commercial) uses with Deviations

#### General Location:

South side of Bourassa Boulevard, between its intersection with Blanket Street to the west and the Power Line Easement to the east

### FINANCIAL IMPACT

A matter of policy. There is no financial impact.

### LEGAL NOTE

The Planning and Zoning Commission has jurisdiction to make a recommendation on the subject application. The Applicable Criteria for Planned Development Projects are contained in Appendix A, (Zoning Code) Article VIII. The Planned Development Project master plan must be consistent with the Comprehensive Plan.

The notice requirements of Appx. A, Art. VI, Sec. 7 of the Hernando County Code have been complied with.

### RECOMMENDATION

It is recommended that the Planning and Zoning Commission recommend the Board of County Commissioners adopt a resolution approving the petitioner’s request for a Master Plan Revision on property zoned CPDP (Combined Planning Development Project) with SF (Single-family), MF (Multifamily), OP (Office Professional), REC (Recreation), and NC (Neighborhood Commercial) with specific C-1 (General Commercial) uses with deviations and performance conditions.

### REVIEW PROCESS

Omar DePablo	Approved	10/31/2024	7:10 AM
Toni Brady	Approved	10/31/2024	9:29 AM
Pamela Hare	Approved	10/31/2024	9:59 AM
Melissa Tartaglia	Approved	10/31/2024	11:34 AM
Danielle Nigro	Approved	10/31/2024	12:35 PM

**RESULT: ADOPTED**

**MOVER:** W. Steven Hickey  
**SECONDER:** Jonathan McDonald  
**AYES:** Holmes, Hickey and McDonald  
**NAYES:** Birren and Morgan  
**ABSENT:** Noe

**HERNANDO COUNTY ZONING AMENDMENT PETITION**



Application to Change a Zoning Classification

**Application request** (check one):

- Rezoning  Standard  PDP
  - Master Plan  New  Revised
  - PSFOD  Communication Tower  Other
- PRINT OR TYPE ALL INFORMATION**

Date: 7/30/2024

File No. \_\_\_\_\_ Official Date Stamp:

H-24-50

Received

AUG 12 2024

Planning Department  
Hernando County, Florida

**APPLICANT NAME:** Hawk Lake Hideaway LLC

Address: 2502 ROCKY POINT DRIVE STE 1050

City: TAMPA

State: FL

Zip: 33607

Phone: 813-288-8178 Email: gregj@metrodg.com (Greg Jones)

**Property owner's name:** (if not the applicant) \_\_\_\_\_

**REPRESENTATIVE/CONTACT NAME:** Donald R. Lacey, A.I.C.P.

Company Name: Coastal Engineering Associates, Inc.

Address: 966 Candlelight Boulevard

City: Brooksville

State: FL

Zip: 34601

Phone: 352-796-9423 Email: dlacey@coastal-engineering.com

**HOME OWNERS ASSOCIATION:**  Yes  No (if applicable provide name) Woodland Waters

Contact Name: Jane Heid, President

Address: 10246 Woodland Waters Blvd.

City: Weeki Wachee

State: FL

Zip: 34613

**PROPERTY INFORMATION:**

1. PARCEL(S) **KEY** NUMBER(S): 344577 (lagoon location)
2. SECTION 17, TOWNSHIP 22, RANGE 18
3. Current zoning classification: CPDP (PDP/SF, PDP/MF, PDP/OP, PDP/REC, PDP/NC with specific C-1 Uses)
4. Desired zoning classification: Master Plan Revision
5. Size of area covered by application: 20 Acres MOL
6. Highway and street boundaries: US 19/Commercial Way, Hyde St, Bourassa Boulevard
7. Has a public hearing been held on this property within the past twelve months?  Yes  No
8. Will expert witness(es) be utilized during the public hearings?  Yes  No (If yes, identify on an attached list.)
9. Will additional time be required during the public hearing(s) and how much?  Yes  No (Time needed: \_\_\_\_\_)

**PROPERTY OWNER AFFIDIVAT**

I, John M. Ryan, Hawk Lake Hideaway, LLC, have thoroughly examined the instructions for filing this application and state and affirm that all information submitted within this petition are true and correct to the best of my knowledge and belief and are a matter of public record, and that (check one):

I am the owner of the property and am making this application **OR**

I am the owner of the property and am authorizing (applicant): \_\_\_\_\_

and (representative, if applicable): \_\_\_\_\_

to submit an application for the described property.

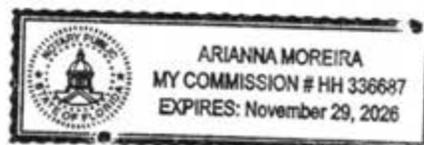
Signature of Property Owner

STATE OF FLORIDA

COUNTY OF ~~HERNANDO~~ Hillsborough

The foregoing instrument was acknowledged before me this 1st day of August, 2024, by John M. Ryan who is personally known to me or produced \_\_\_\_\_ as identification.

Signature of Notary Public



Notary Seal/Stamp

Effective Date: 11/8/16 Last Revision: 11/8/16

# Hawk Lake Hideaway LLC

## Lagoon

Received

AUG 12 2024

Parcel Key: 344577

### General Location

Planning Department  
Hernando County, Florida

The applicant proposes to construct a recreational lagoon amenity within Pod C of the Lake Hideaway Combined Planned Development Project (CPDP). This amenity is proposed to be located on the south side of Eagle Shore Drive (formerly Bourassa Boulevard), west of a 100 foot wide utility easement corridor, and north and east of residential development within the Lake Hideaway development. This site is located within Parcel Key # 344577 as identified by the Hernando County Property Appraiser.

Please refer to Figure 1 for the location of the site.



Figure 1: Hawk Lake Hideaway LLC Lagoon

### Request

On February 8, 2022, the Board of County Commissioners adopted Resolution 2022-40 approving a Master Plan for the Lake Hideaway development subject to 21 performance conditions. The approved performance conditions included the following condition:

20. The location and design of the lagoon will require a Master Plan revision.

This request constitutes the required request for approval of a Master Plan Revision to allow the design and location of the Metro Lagoon.

No other changes to the approved Master Plan or Performance Conditions are requested.

## Current Zoning

The current zoning on the property is CPDP/(Combined Planned Development Project), including PDP(SF)/Planned Development Project (Single-Family), PDP(MF)/Planned Development Project (Multifamily), PDP(OP)/Planned Development Project (Office Professional), PDP(REC)/Planned Development Project (Recreation) and PDP(NC)/Planned Development Project (Neighborhood Commercial) with specific C-1(General Commercial) uses.

The approved Master Plan and current Combined Planned Development Project (CPDP) zoning designation anticipates and permits a mixed-use lagoon concept with associated supporting uses and structures.

## Project Description

Metro Development Group introduced the Crystal Lagoon concept to the Tampa Bay market at Epperson Ranch within its "Connected City" master-planned community in Pasco County, which was the first Crystal Lagoon within North America. Since the inaugural project, Metro Communities has included the Lagoon as a central feature in numerous central and south Florida communities. Lake Hideaway will introduce the Lagoon into the Hernando County marketplace.

The Lagoon will provide not only an active recreational water amenity, but also a lifestyle center which provides entertainment, food and beverage, passive and active recreation, health club and spa services, recreation equipment rental, and a banquet and special event venue. The project will include a community recreation area with an approximately 4 acre swim lagoon and 25,000 square feet of supportive commercial which includes food service and retail sales. Amenities may include, but are not to be limited to, cabanas, shaded seating areas, recreational activity areas, kayaking, paddleboarding, volleyball, pools, food trucks and food services.

The lagoon amenity parcel will be located approximately 580 feet from Woodland Waters to the southwest (See Figure 1) and will be surrounded/buffered by residential development, landscaping and other buffers. The lagoon will be separated from adjacent properties to the north by Eagle Shore Drive (formerly Bourassa Boulevard) which will function as an internal collector roadway with a 10 foot multipurpose trail on one side. Eagle Shore Drive will provide connectivity throughout the entirety of the Lake Hideaway Development.

While the Lagoon complex serves as a semi-private recreational club amenity for the project residents, it will also be operated to allow outside patrons who wish to enjoy special events or to secure daily access rights when seasonally available. This semi-private access helps to integrate the private community with the surrounding area and to build an inclusive relationship along the larger regional community. It also serves as an important marketing feature to expose the project to prospective residents and to enhance the marketability and success of the project. Resident memberships (including their guests) to the lagoon will be included with the purchase of any dwelling

within the community. Non-resident access to the lagoon amenities and recreational facilities requires a reservation. Such reservations shall be limited based on the number of available parking spaces at the time of reservation, which will be monitored and controlled by Lagoon staff. The hours of operation for residents and their guests will be from 10:00 am to 11:00 pm. Visitor hours will be limited to from 10:00 am to 8:00 pm.

Lagoon lighting will meet the following requirements as specified within performance condition 10.E of Resolution 2022-40 as listed below:

#### E. Lighting

Enhanced lighting beyond minimum standards shall be required as follows:

- a. Lighting throughout the Development shall be designed to shield the night sky. Shielding means a fixture, either directly from the lamp or indirectly from a fixture, are projected below a horizontal plane running through the lowest point on the fixture where light is emitted.
- b. Internal residential area lighting shall be decorative, not exceed 12 feet in height with full cut-off fixtures.
- c. Street and parking lot lighting shall be oriented downward with full cut-off fixtures. Fifty percent of all lighting fixtures within parking lots shall be turned off within one hour after closing or between 10:00 pm and sunrise, whichever occurs first.
- d. Neighborhood/Retail, Office, Recreation/Clubhouse and public or private recreational facility lighting shall not exceed 20-feet in height and shall be full cut of fixtures and shall only be illuminated while in use. The illumination must be extinguished by an automatic shutoff device between the hours of 11:00 pm and sunrise, or one hour after the termination of the event and/or use, whichever occurs first.
- e. Solar streetlighting shall be allowed within public or private road rights-of way areas and may be privately owned and/or operated by the HOA, CDD or the Developer, at the Developer's discretion.

Buffering and screening will be provided between the lagoon and surrounding properties. The developer has agreed to provide a 50-foot undisturbed buffer adjacent to the Woodland Waters Subdivision. This buffer will be retained in its natural state except for removal of dead trees and invasive species. Vegetation will provide 80% opacity either through preservation of existing vegetation or through supplemental plantings. The lagoon site will be further separated from the Woodland Waters Subdivision with residential development.

## Future Current Land Use and Consistency with the Comprehensive Plan

The subject property is classified as Residential within the Hernando County 2040 Future Land Use Map. Figure 2 depicts the current land use designation of the site and surrounding properties. The approved CPDP Master Plan and zoning is consistent with this designation.

On February 8, 2022, the Board of County Commissioners adopted Resolution 2022-40 approving a Master Plan for the Lake Hideaway development making the finding that the project is consistent with the current land use designation of Residential and associated strategies and objectives from the Hernando County 2040 Plan.

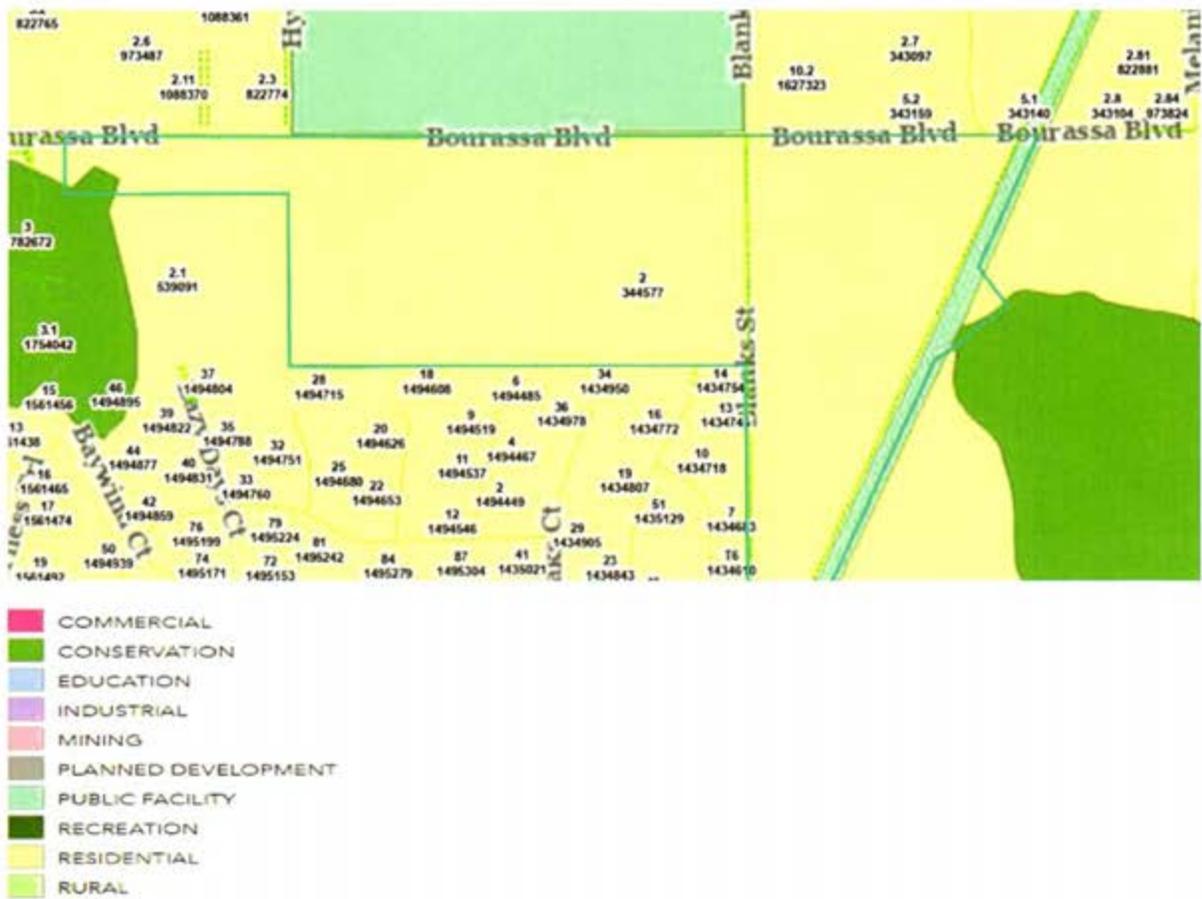


Figure 2: Hawk Lake Hideaway LLC Lagoon Current Land Use (Source: Hernando County GIS)

### Surrounding Zoning and Future Land Use

	Property Description	Zoning	Land Use
North	Hernando County Utilities; rural residences; vacant acreage	Agricultural (AG)	Residential; Public Facility
South	Woodland Waters Subdivision	Agricultural (AG) and Residential (AR 2 and PDP/SF)	Residential
East	Lake Hideaway CPDP	Combined Planned Development Project (CPDP)	Residential; Conservation
West	Woodland Waters Subdivision; rural residences	Residential (CPDP), Agriculture (AG), Residential (PDP/SF)	Residential; Conservation

## Site Characteristics

### Topography

The site topography is relatively flat and ranges in elevation from approximately 45 MSL to 50 MSL.

### Soils

The site's soil consists predominantly of well-drained Candler fine sand, 0 to 5 percent slopes, Candler fine sand, 5 to 8 percent slopes and Tavares Fine Sand, 0 to 5 percent slopes.

### Floodplain

The Lake Hideaway Lagoon is not within an area designated as a Special Flood Hazard by FEMA DFIRM Map Panels 12053C0158D and 12053C0159D. Please refer to Figure 3 for the floodplain map of the site and surrounding area.



Figure 3: Floodplain Map Hawk Lake Hideaway LLC Lagoon (source: FEMA National Flood Hazard Layer Viewer)

## Environmental

The Lake Hideaway Lagoon site contains no significant environmental features. Prior to development Hernando County may require a listed species survey. Any listed species on the site identified in the report will be treated in accordance with all State and Federal guidelines.

## Impact to Public Facilities

### Adequate Access

Access to the lagoon site is from US 19 via Eagle Shore Drive (formerly Bourassa Boulevard) which is being developed with the Lake Hideaway project as an internal collector roadway. One (1) future access point to Star Road and one (1) future access point to Hexam Road will also be provided for the development. All directly accessed roadways currently have an acceptable level of service.

The overall master plan for Lake Hideaway requires that updated traffic impact monitoring studies (TIM) in accordance with the requirements of the County Engineer be provided five (5) years after the master plan approval and continuing with every 600<sup>th</sup> unit.

### Public Facilities

*Water and Sewer:* The site will be served by Hernando County Utilities. Infrastructure to serve the development will be installed by the developer.

*Solid Waste:* The site will be served by a solid waste collection agency as designated by the County.

*Police and Fire:* The site is served by the Hernando County Sheriff's Office for police protection and Fire/Rescue Station 13. Fire hydrants will be placed throughout the Lake Hideaway community at a minimum of 250' curb line distance intervals which is consistent with county standards. The potable water system will be designed to provide a minimum of 1,000 GPM for use in firefighting as required by NFPA guidelines as required by Hernando County.

The Lake Hideaway project is required to reserve land for a future fire station as well as for a potential substation for the Hernando County Sheriff's Office.

*Drainage:* The site will comply with the requirements of Hernando County and the Southwest Florida Water Management District for stormwater and flood prevention.

*Schools:* The development will be served by the Hernando County School District (HCSD).

## Concurrency

A Certificate of Concurrency from the County will be required at the time of permitting for the Lake Hideaway Lagoon. Application is the responsibility of the permit applicant. The following facilities will be reviewed for adequate capacity by the County:

- Potable Water
- Sanitary Sewer
- Drainage
- Solid Waste Disposal
- Schools
- Transportation (roadways)

## STAFF REPORT

---

**HEARINGS:** Planning & Zoning Commission: November 4, 2024  
Board of County Commissioners: December 17, 2024

**APPLICANT:** Hawk Lake Hideaway, LLC

**FILE NUMBER:** H-24-50

**REQUEST:** Master Plan Revision on property zoned CPDP (Combined Planning Development Project) with SF (Single-family), MF (Multifamily), OP (Office Professional), REC (Recreation), and NC (Neighborhood Commercial) with specific C-1 (General Commercial) uses with Deviations

**GENERAL LOCATION:** South side of Bourassa Boulevard, between its intersection with Blanket Street to the west and the Power Line Easement to the east

**PARCEL KEY:** 344577

---

### APPLICANT'S REQUEST:

The petitioner requests master plan approval for the Lagoon portion for the original rezoning case of H-21-10, known as the Lake Hideaway development. This application is a requirement that was established in the performance conditions of H-21-10. This lagoon portion of the Lake Hideaway Development is within Phase 1 and is subject to the Development Agreement. The Development Agreement, effective February 8, 2022, states the "Lagoon" recreation area shall satisfy the Developer's requirement to provide a twenty (20) acre community park within the Development, provided the amenity shall be open to the public.

The petitioner's narrative states:

“while the Lagoon complex serves as a semi-private recreational club amenity for the project residents, it will also be operated to allow outside patrons who wish to enjoy special events or to secure daily access rights when seasonally available. This semi-private access helps to integrate the private community with the surrounding area and to build an inclusive relationship along the larger regional community; it also serves as an important marketing feature to expose the project to prospective residents and to enhance the marketability and success of the project. Resident memberships (including their guests) to the lagoon will be included with the purchase of any dwelling within the community.

Non-residential access to the lagoon amenities and recreational facilities requires a reservation. Such reservations shall be limited based on the number of available parking spaces at the time of reservation, which will be monitored and controlled by lagoon staff. The hours of operation for residents and their guests will be from 10:00 am to 11:00 pm. Visitor hours will be limited to 10:00 am to 8:00 pm.”

**SITE CHARACTERISTICS:**

<b>Site Size:</b>	20.0 acres MOL (More or Less)
<b>Surrounding Zoning &amp; Land Uses:</b>	North: Lake Hideaway CPDP; undeveloped. South: Lake Hideaway CPDP; undeveloped. East: Lake Hideaway CPDP; undeveloped. West: Lake Hideaway CPDP; undeveloped.
<b>Current Zoning:</b>	CPDP (Combined Planning Development Project) with SF (Single-family), MF (Multifamily), OP (Office Professional), REC (Recreation), and NC (Neighborhood Commercial) with specific C-1 (General Commercial) uses with Deviations, H-21-10.
<b>Future Land Use Map Designation:</b>	Residential

**ENVIRONMENTAL REVIEW:**

<b>Soil Type:</b>	Candler Fine Sand and Tavares Fine Sand
<b>Comments:</b>	Candler Fine Sand provides a habitat suitable for gopher tortoises (a listed species) and commensal species. A comprehensive faunal (wildlife) survey shall be prepared by a qualified professional and submitted during the construction plans stage of development. The petitioner is required to comply with all applicable FWC regulations and permitting.
<b>Habitat:</b>	The property has been designated <i>Sandhill</i> and <i>Coniferous Plantations</i> habitat according to FWC CLC mapping (Florida Cooperative Land Cover Classification System that combines Florida Land Use Cover and Classification System with fish and wildlife data). There is the potential for the Sherman's Fox Squirrel, Florida Mouse, American Kestrel, Southern Bald Eagle, and Gopher Tortoise to be present on the subject property.
<b>Comments:</b>	A comprehensive wildlife, floral and faunal evaluation, prepared by a qualified professional, shall be conducted prior to any development occurring on the property. The petitioner is required to comply with all applicable FWC regulations. Invasive plant species shall be removed during the development process as required by the associated permitting agencies, environmental reports and development review processes.
<b>Hydrologic Features:</b>	The property does not contain wetlands or Wellhead Protection Areas (WHPA) according to County data resources.
<b>Protection Features:</b>	The property contains no Special Protection Area (SPA) according to County data resources.

**Water Quality:** The proposed development is within the Weeki Wachee Priority Focus Area for the Weeki Wachee River Basin Management Action Plan and subject to a nutrient Total Maximum Daily Load (TMDL) for nitrates. This project is located within the Weeki Wachee Basin identified by FDEP as contributing nutrients to the Weeki Wachee Riverine System. The property is also in the Weeki Wachee Outstanding Florida Spring Group (OFS)

**Comments:** Where stormwater is directed to retention/detention areas the developer shall use enhanced treatment methods to reduce nitrogen loading. Florida Friendly Landscaping™ Techniques shall be used for this property.

**Archaeology:** There is the potential for archaeological sites within this area. If archaeological artifacts are discovered during Development construction, the Developer shall stop construction in that area and immediately notify the County, WRPC, DEO and the Division of Historical Resources of the Florida Department of State; and

## UTILITIES REVIEW

Hernando County Utilities Department (HCUD) reviewed the petitioner's request and provided the following comments:

- HCUD does not currently supply water or sewer service to this parcel. Water and sewer service are available to this parcel.
- HCUD has no objection to the submitted Master Plan revision that shows the required design and location of the Metro Lagoon (northeastern corner of the parcel) to include a mixed-use lagoon concept with associated uses and structures, subject to a utility capacity analysis and connection to the central water and sewer systems at time of vertical construction, with the stipulation that HCUD will only provide water for the commercial and domestic (restroom) uses; water for the lagoon/water feature will need to be provided (via well) through a separate water use permit to be obtained by the developer.

**Comments:** HCUD states that the water for the lagoon itself will need to be created through its own water use permit with SWFWMD. This prevents the water for the lagoon coming from Hernando County's water use permit with SWFWMD, therefore preserving the County's water availability for future development and removing the burden from the County to accommodate the water usage for the lagoon itself.

## ENGINEERING REVIEW

The subject site is located on the southeastern corner of Bourassa Boulevard and Blanket Street. The property contains areas of flood zone AE and X. The County Engineer reviewed the petitioner's request and provided the following comments:

- The property is in the Tooke Lake Watershed.
- Access to the lagoon shall be developed in accordance with the approved master plan and development agreement conditions.

- The Driveways and parking layout will be required to meet Hernando County standards to include disabled parking areas.
- Sidewalks shall be installed on all roads that access this pod.
- Since the lagoon will be open to the public, a transit stop with amenities shall be required and coordinated with TheBus and the Engineering Department.

### **Access**

The petitioner states access to the lagoon site will be directly accessed from Eagle Shore Drive, formerly Bourassa Boulevard, which is being expanded to a “collector” roadway. The petitioner will work with the County Engineer to coordinate the best location for the entrance.

### **LAND USE REVIEW**

The lagoon is an approved part of the original Master Plan for the Lake Hideaway development project. The use of the land in this manner has already been approved. The petitioner, in the narrative, states that the Lagoon will provide not only an active recreational water amenity, but also a lifestyle center which provides entertainment, food and beverage, passive and active recreation, health club and spa services, recreation equipment rental, and a banquet and special event venue. The project will include a community recreation area with an approximately four (4) acre swimming lagoon and 25,000 square feet of supportive commercial which includes food service and retail sales.

### **Setbacks and Lot Coverage**

The internal setbacks for this non-residential pod:

- Front (Structure to Parking): 5'
- Front (Structure to Public right-of-way): 0'
- Side (Structure to Structure): 5'
- Side (Structure to Parking): 5'
- Side (Structure to Public right-of-way): 0'
- Rear (Structure to Parking): 5'
- Rear (Structure to Public right of way): 0'
- Maximum Lot Coverage: 100%
- When non-residential lots are adjacent to the project perimeter, the perimeter setbacks shall govern setbacks for individual development areas as appropriate.

### **Buffers**

The petitioner states that buffering and screening will be provided between the lagoon and surrounding properties. The developer has agreed to provide a 50' undisturbed buffer adjacent to the Woodland Waters Subdivision (located to the southwest of this pod). This buffer will remain in its natural state except for the removal of dead trees and invasive species. Vegetation will provide 80% opacity either through preservation of existing vegetation or through supplemental plantings. The lagoon site will be further separated from the Woodland Waters Subdivision with residential development.

**Comments:** The petitioner shows buffers around the lagoon pod on the presented master plan but does not establish any widths for these buffers. Staff recommend:

- a 20' buffer on the southern boundary of this pod, between the lagoon and the residential development that will occur in the future.
- A 10' landscaped buffer along the north and western boundary. This buffer may be considered a parking lot buffer, protecting the adjacent properties from headlights and providing a visual break external to the pod.
- A 10' landscaped buffer on the eastern boundary, against the 100' Florida Power easement. While the power line easement will provide a distance buffer from the activities within the lagoon pod, the 10' buffer will provide a visual break between the residential and non-residential uses.

### **Lighting**

The requirements for lighting were established in the H-21-10 performance conditions for the entire project. They are as follows:

- a. Lighting throughout the Development shall be designed to shield the night sky. Shielding means a fixture, either directly from the lamp or indirectly from a fixture and are projected below a horizontal plane running through the lowest point on the fixture where light is emitted.
- b. Internal residential area lighting shall be decorative, and not exceed 12' in height with full cut-off fixtures.
- c. Street and parking lot lighting shall be oriented downward with full cut-off fixtures. Fifty percent of all lighting fixtures within parking lots shall be turned off within one hour after closing or between 10:00 pm and sunrise, whichever occurs first.
- d. Neighborhood/Retail, Office, Recreation/Clubhouse and public or private recreational facility lighting shall not exceed 20' in height and shall be full cut of fixtures and shall only be illuminated while in use. The illumination must be extinguished by an automatic shutoff device between the hours of 11:00 pm and sunrise, or one hour after the termination of the event and/or use, whichever occurs first.
- e. Solar streetlighting shall be allowed within public or private road rights-of-way areas and may be privately owned and/or operated by the HOA, CDD or the Developer, at the Developer's discretion.

### **CONCURRENCY**

The petitioner is required to get a separate certificate of concurrency for this lagoon pod. The applicant is responsible for applying for a concurrency permit. The petitioner identifies the following facilities to be reviewed for this Certificate of Concurrency:

- |                  |                        |
|------------------|------------------------|
| • Potable Water  | • Solid Waste Disposal |
| • Sanitary Sewer | • Schools              |
| • Drainage       | • Transportation       |

## FINDING OF FACTS

The petitioner's request for a master plan revision to add a lagoon, fulfills the requirement of rezoning case H-21-10 performance condition 20.

## NOTICE OF APPLICANT RESPONSIBILITY

*The rezoning process is a land use determination and does not constitute a permit for either construction on, or use of, the property, or a Certificate of Concurrency. Prior to use of, or construction on, the property, the petitioner must receive approval from the appropriate County department(s) for the proposed use.*

*The granting of this land use determination does not protect the owner from civil liability for recorded deed restrictions which may exceed any county land use ordinances. Homeowner's associations or architectural review committees require submission of plans for review and approval. The applicant for this land use request should contact the local association or the Public Records for all restrictions applicable to this property.*

*The applicant, property owner, or developer is responsible for ensuring the performance conditions established herein are provided to all contractors performing work for this project. All applications submitted for development activity on this project are expected to comply with the performance conditions established herein.*

## STAFF RECOMMENDATION

It is recommended that the Planning and Zoning Commission recommend the Board of County Commissioners adopt a resolution approving the petitioner's request for a Master Plan Revision on property zoned CPDP (Combined Planning Development Project) with SF (Single-family), MF (Multifamily), OP (Office Professional), REC (Recreation), and NC (Neighborhood Commercial) with specific C-1 (General Commercial) uses with deviations and the following performance conditions.

1. The petitioner must obtain all permits from Hernando County and other applicable agencies and meet all applicable land development regulations (unless provided otherwise in the approved Development Agreement), for either construction or use of the property, and complete all applicable development review processes.
2. All performance conditions detailed in H-21-10 shall be in full force and effect.
3. HCUD will only provide water for the commercial and domestic (restroom) uses; water for the lagoon/water feature will need to be provided (via well) through a separate water use permit to be obtained by the developer.
4. With the submittal of construction plans for each phase, the Developer shall provide the following materials for review:
  - Soil borings shall be used to verify that a minimum of five (5) feet of suitable soil cover is maintained between each drainage retention area (DRA) bottom and any subsurface limestone rock strata, limestone pinnacles or potential karst connections.

In the event another regulatory agency with jurisdiction requires a greater separation depth than 5', compliance with that agency's greater depth shall be required.

- BMPs for wetland protection (if applicable); control of siltation and turbidity during construction; minimization of site disturbance and wind erosion.
- Low Impact Development (LID) design techniques (where reasonably feasible) as part of the stormwater plan.

5. Buffers

- North: 10' landscaped buffer planted to achieve 80% opacity within 12 months
- South: 20' landscaped buffer planted to achieve 80% opacity within 12 months
- East: 10' landscaped buffer against the 100' Florida Power easement.
- West: 10' landscaped buffer planted to achieve 80% opacity within 12 months

6. If a fence is used to secure the property, it shall comply with the fencing required for the rest of the Lake Hideaway development: An 8' black security chain link fence shall be placed on the Lagoon side of the buffer.

7. The petitioner shall provide a revised plan in compliance with all the performance conditions within 30 calendar days upon rendition of the resolution and the BOCC performance conditions. Failure to submit the revised plan will result in no further development permits being issued until submitted by the applicant.

**APPENDIX B**  
**PERFORMANCE CONDITIONS FOR H-21-10**

**BOCC PERFORMANCE CONDITIONS FOR H-21-10**

On February 8, 2022, the Board of County Commissioners voted 5-0 to adopt Resolution 2022-40 approving the petitioner’s request for a Master Plan Revision on Property Zoned CPDP/(Combined Planned Development Project), including PDP(SF)/Planned Development Project (Single-Family), PDP(MF)/Planned Development Project (Multifamily), PDP(OP)/Planned Development Project (Office Professional), PDP(REC)/Planned Development Project (Recreation) and PDP(NC)/Planned Development Project (Neighborhood Commercial) with specific C-1/(General Commercial) uses with deviations with the following unmodified performance conditions:

1. The petitioner must obtain all permits from Hernando County and other applicable agencies and meet all applicable land development regulations (unless provided otherwise in the approved Development Agreement), for either construction or use of the property, and complete all applicable development review processes.
2. The project is approved for the entitlements outlined in the Land Use Schedule below. Supporting and ancillary facilities are also approved as enumerated in the approved development agreement for the site, including 5 acres for an HCUD potable water facility, 6 acres for community recreation (Lagoon), up to 6 acres for a potential charter school site, 2 acres for a Fire Station site and up to 1 acre for a potential substation for the Hernando County Sheriff’s Office.

Land Use <sup>i</sup>	Units	Square Feet	Acres
<b>Phase 1</b>			
Single-Family Attached (Townhouses)	644		
Senior Adult Attached Housing	656		
Single-Family Detached Housing	2,400		
Fire Station Site			2 acres
Community Recreation (Lagoon)			6 acres
Community Recreation Area – Supportive Commercial/Retail		25,000	
Public Safety			1 acre
Water Plant Expansion			5 acres
Charter School			6 acres
<b>Subtotal (Phase 1)</b>	<b>3,700</b>	<b>25,000</b>	
<b>Phase 2<sup>ii</sup></b>			
Commercial		25,000	
Office		150,000	
Subtotal (Phase 2)		<b>175,000</b>	
<b>Total Project</b>	<b>3,700</b>	<b>200,000</b>	

*Note: The project is approved for up to 656 age-restricted dwelling units. All age-restricted units shall be approved by the School District and enumerated in an agreement recorded in the public record.*

3. At each conditional plat, the petitioner shall be required to provide the following land use entitlement tracking:
  - Number of units and square foot of nonresidential requested versus total allowed for entire development.
  - Percentage allocation to affordable and/or senior housing
4. The Developer shall generate a project absorption schedule, differentiating age-restricted and nonage-restricted dwelling units. This schedule shall be updated on an annual basis based upon actual home occupancy and shall be provided to the Hernando County School District and the Hernando County Planning Department.
5. The petitioner shall maintain the following perimeter setbacks for the proposed development:
  - From US 19: 75'
  - From Hexam Road: 35'
  - From Star Road: 35'
  - From Weeping Willow Street Right-of-Way: 0'
  - From South Boundary of Pod C: 100'
  - From all other project boundaries: 35'

Perimeter setbacks from Hexam Road and Star Road shall be measured from the edge of the new rights-of-way reserved for the future expansion, as identified in the master plan.

6. The petitioner shall maintain the following minimum internal lot setbacks and dimensional criteria:

**Non-Residential**

- Front (Structure to Parking): 5'
- Front (Structure to Public right-of-way): 0'
- Side (Structure to Structure): 5'
- Side (Structure to Parking): 5'
- Side (Structure to Public right-of-way): 0'
- Rear (Structure to Parking): 5'
- Rear (Structure to Public right of way): 0'
- Maximum Lot Coverage: 100%

When non-residential lots are adjacent to the project perimeter, the perimeter setbacks shall govern setbacks for individual development areas as appropriate.

**Residential (single-family detached lots)**

- Front (Primary Structure): 10' (Deviation from 25')
- Front (Garage Door): 20'
- Side: 5' (Deviation from 10')
- Rear (Primary structure): 15' (Deviation from 20')
- Rear (Accessory structure): 5'
- Minimum Lot size: 4,000 ft<sup>2</sup> (Deviation from 6,000 ft<sup>2</sup>)
- Minimum Lot width: 40' (Deviation from 60')
- Maximum Lot Coverage (Primary Structure): 75%
- Maximum Lot Coverage (Accessory Structure): 15%

**Residential (single-family, zero Lot Line)**

- Front: 10' (Deviation from 25')
- Side (Primary Structure - Internal): 0' (Deviation from 10')
- Side (Primary Structure – External): 10'
- Side (Accessory Structure): 5'
- Building Separation: 10'
- Rear (Primary Structure): 15' (Deviation from 20')
- Rear (Accessory Structure): 5'
- Minimum Lot Size: 4000 ft<sup>2</sup> (Deviation from 6,000 ft<sup>2</sup>)
- Minimum Lot Width: 40' (Deviation from 60')
- Maximum Lot Coverage (Primary Structure): 75%
- Maximum Lot Coverage (Accessory Structure): 15%

**Residential (single-family attached):**

- Front (Primary Structure): 0' (Deviation from 25')
- Front (Garage Door): 20'
- Side (Primary Structure): 0' (Deviation from 10')
- Building Separation: 10'
- Rear: 0' (Deviation from 20')
- Minimum Lot Size: 900 ft<sup>2</sup> (Deviation from 6,000 ft<sup>2</sup>)
- Minimum Lot Width: 15' (Deviation from 60')

**Residential (multi-family building with common parking):**

- Front (Primary Structure): 0' (Deviation from 25')
- Side: 0' (Deviation from 15')
- Rear: 0' (Deviation from 20')
- Garage Door: 20'
- Maximum Lot Coverage: 100% (Primary structure)

**Maximum Building Heights:**

- Non-Residential Height: 65' (Deviation from 45')
- Multi-Family Height: 65' (Deviation from 45')
- Single Family Attached Height: 45' (Deviation from 35')
- Single Family Detached Height: 35'

7. The petitioner shall develop the Lake Hideaway community with the following perimeter buffers and in accordance with the cross-sections included with the master plan:
  - **Hexam Road (Northernmost Project Boundary):** 35' vegetative buffer, measured from the southern edge of the 30' right-of-way preserved for future Hexam Road expansions.
  - **Star Road (Southernmost Project Boundary):** 35' vegetative buffer, measured from the northern edge of the 20' right-of-way preserved for future Star Road expansions.
  - **Southern and Eastern Buffers where Adjacent to Woodland Waters Subdivision:** 50' vegetative buffer. This buffer shall be developed and maintained in accordance with the Buffer Note included as a detail to this Master Plan. An 8' black security chain link fence shall be placed on the Lake Hideaway side of the buffer.
8. All streets internal to the project may be public or private with the exception of the major internal collector road which shall be public. Private roads within single family or multifamily tracts may be gated with provision for emergency vehicle access in accordance with the requirements of the Hernando County Fire and Emergency Services Department and the Hernando County Facility Design Guidelines.
9. The development shall be limited to one access on Star Road and one on Hexam Road.
10. Development types permitted within the designated areas shown on the master plan shall be as follows:

**A. Commercial Area**

The commercial pod south of Hexam Road identified within Pod E of the Master Plan is designated Neighborhood Commercial, and includes up to 50,000 Sq. Ft., subject to the uses permitted by the C-3 zoning district.

The following C-1 uses also are permitted:

- a. Veterinary clinics with air conditioned, sound-attenuated runs
- b. Restaurants: Limited to 75 seats
- c. Convenience goods stores: limited to 4 vehicle fueling stations
- d. Pharmacies: Limited to 2,500 square feet
- e. Indoor commercial amusement establishments
- f. Antique stores
- g. Dry cleaning establishments
- h. Business Training Schools
- i. Retail Food Stores
- j. Domestic Business Establishment
- k. Comparison Goods Store: Limited to 2,500 square feet per establishment

**B. Office**

The Office (OFF) uses are designated PDP OP and will allow all OP/Office Professional zoning district uses. These uses will be exclusively located within Pod E of the associated Master Plan.

**C. Residential Areas (SF/MF)**

- a. Single-family detached, single-family detached zero lot line and single-family attached residential units may be developed at different land use densities, lot sizes, and product varieties. Any increase in Single Family units can not result in a reduction of open space.
- b. Multi-family residential units (1,300 units total) may be developed at different land use densities. At least 30 of those units shall be set aside for those residents making less than 80% of the area median income as identified by the Florida Housing Finance Corporation.
- c. Ancillary uses associated with a recreation/clubhouse may be permitted and designated PDP(REC), including maintenance facilities, restrooms, dining, banquet facilities, recreation center, health club or spa, pool, exercise facilities, meeting rooms and similar supporting uses for other recreation facilities.
- d. Pod A shall be permitted to have a temporary sales center or similar use, and landscaping/ development signage along the western property boundary/US 19.

- e. The project will have up to 656 age-restricted units

### **Single Family Residential Area Design Standards**

- a. Single-family, single-family semi-detached or single-family attached uses shall not exceed 45 percent (deviation from 35%) building area coverage within each phase of development.
- b. All proposed single-family dwellings shall meet the minimum standards for determination of similarity in exterior appearance within the individual pod of development as provided for in Article II, General Regulations, Section 2, General Regulations for Structures and Uses.
- c. The maximum number of single-family attached dwelling units per building is 8 units.
- d. Deviation is granted from the subdivision roadway standards for the Typical Townhome with Common areas as shown on the master plan.
- e. Single Family Pods more than 50 dwelling units shall provide dual access or boulevard and emergency access
- f. All multifamily development shall meet the minimum Multifamily Design Standards of the County's LDRs.

### **D. Residential Protection Standards**

The master plan and the Design Standards affirm that the commercial use portion of the development will comply with the county's "residential protection standards" as outlined in Hernando County Code of Ordinances.

### **E. Lighting**

Enhanced lighting beyond minimum standards shall be required as follows:

- a. Lighting throughout the Development shall be designed to shield the night sky. Shielding means a fixture, either directly from the lamp or indirectly from a fixture, are projected below a horizontal plane running through the lowest point on the fixture where light is emitted.
- b. Internal residential area lighting shall be decorative, not exceed 12 feet in height with full cut-off fixtures.
- c. Street and parking lot lighting shall be oriented downward with full cut-off fixtures. Fifty percent of all lighting fixtures within parking lots shall be turned off within one hour after closing or between 10:00 pm and sunrise, whichever occurs first.
- d. Neighborhood/Retail, Office, Recreation/Clubhouse and public or private recreational facility lighting shall not exceed 20-feet in height and shall be full cut of fixtures and shall only be illuminated while in use. The illumination must be extinguished by an automatic shutoff device between the hours of 11:00 pm and sunrise, or one hour after the termination of the event and/or use, whichever occurs first.

- e. Solar streetlighting shall be allowed within public or private road rights-of-way areas and may be privately owned and/or operated by the HOA, CDD or the Developer, at the Developer's discretion.
11. Covenant, Conditions and Restrictions (CC&Rs) will be established to govern development within the C/PDP. The CC&Rs shall implement the applicable requirements of the zoning and associated Development Agreement and provide for enforcement by the Property Owners Association. The CC&Rs will be submitted to Hernando County for review and comment prior to final plat approval for each phase. The CC&Rs shall be recorded against those portions of the Development subject to such plat.
12. A geotechnical report prepared by a qualified professional shall be used in the design and layout of the Lake Hideaway project and shall be submitted to the County at time of and in connection with the conditional platting of each phase to ascertain that the Developer has used its best efforts to avoid adverse impacts to sensitive karst and subsurface features in the overall project design and layout of the project.
13. Any proposed security fencing along the perimeter of Lake Hideaway will be constructed of non-masonry, non-opaque materials. The fence will be designed to blend into the natural landscape of the area and will be supplemented with natural vegetation and screening landscaping as necessary. Other natural materials such as wood, stone or brick may be used in conjunction with project identification and entry monumentation features.
14. Five years after approval of this Master Plan, and continuing every 600<sup>th</sup> unit thereafter until buildout, the Developer shall complete and submit updated Traffic Impact Monitoring (TIM) studies in accordance with the requirements of the County Engineer.
15. With the submittal of construction plans for each phase, the Developer shall provide the following materials for review:
  - Soil borings shall be used to verify that a minimum of five (5) feet of suitable soil cover is maintained between each drainage retention area (DRA) bottom and any subsurface limestone rock strata, limestone pinnacles or potential karst connections. In the event another regulatory agency with jurisdiction requires a greater separation depth than 5', compliance with that agency's greater depth shall be required.
  - BMPs for wetland protection (if applicable); control of siltation and turbidity during construction; minimization of site disturbance and wind erosion.
  - Low Impact Development (LID) design techniques (where reasonably feasible) as part of the stormwater plan.
16. If archaeological artifacts are discovered during Development construction, the Developer shall stop construction in that area and immediately notify the County, WRPC, DEO, and the Division of Historical Resources of the Florida Department of State.

17. Invasive plant species shall be removed during the development process as required by the associated permitting agencies, environmental reports and development review processes.
18. The master plan shall remain valid as long as the development proceeds in accordance with the terms of the Development Agreement.
19. All the foregoing performance conditions are intended to conform to the associated Development Agreement for Lake Hideaway, and not to alter any requirement or condition of the Development Agreement. In the event of a conflict between the Development Agreement, these conditions, and any County land use regulations or ordinances, the Development Agreement shall supersede and control. This notwithstanding, any applicable County Ordinance containing additional details or regulations, which do not conflict with the provisions of the Development Agreement, shall govern the actions of the developer.
20. The location and design of the lagoon will require a Master Plan Revision.
21. The petitioner shall provide a revised plan in compliance with all the performance conditions within 30 calendar days of BCC approval. Failure to submit the revised plan will result in no further development permits being issued.

---

<sup>i</sup> *Land Uses may be exchanged in accordance with the Land Use Equivalency Matrix, approved as part of the Lake Hideaway Development Agreement. All land use exchanges must be approved, in writing, by the Hernando County Planning Department*

<sup>ii</sup> *All Phase 2 entitlements are to be located within Pod E on the master plan*





# H-24-50

Photo date: 2023

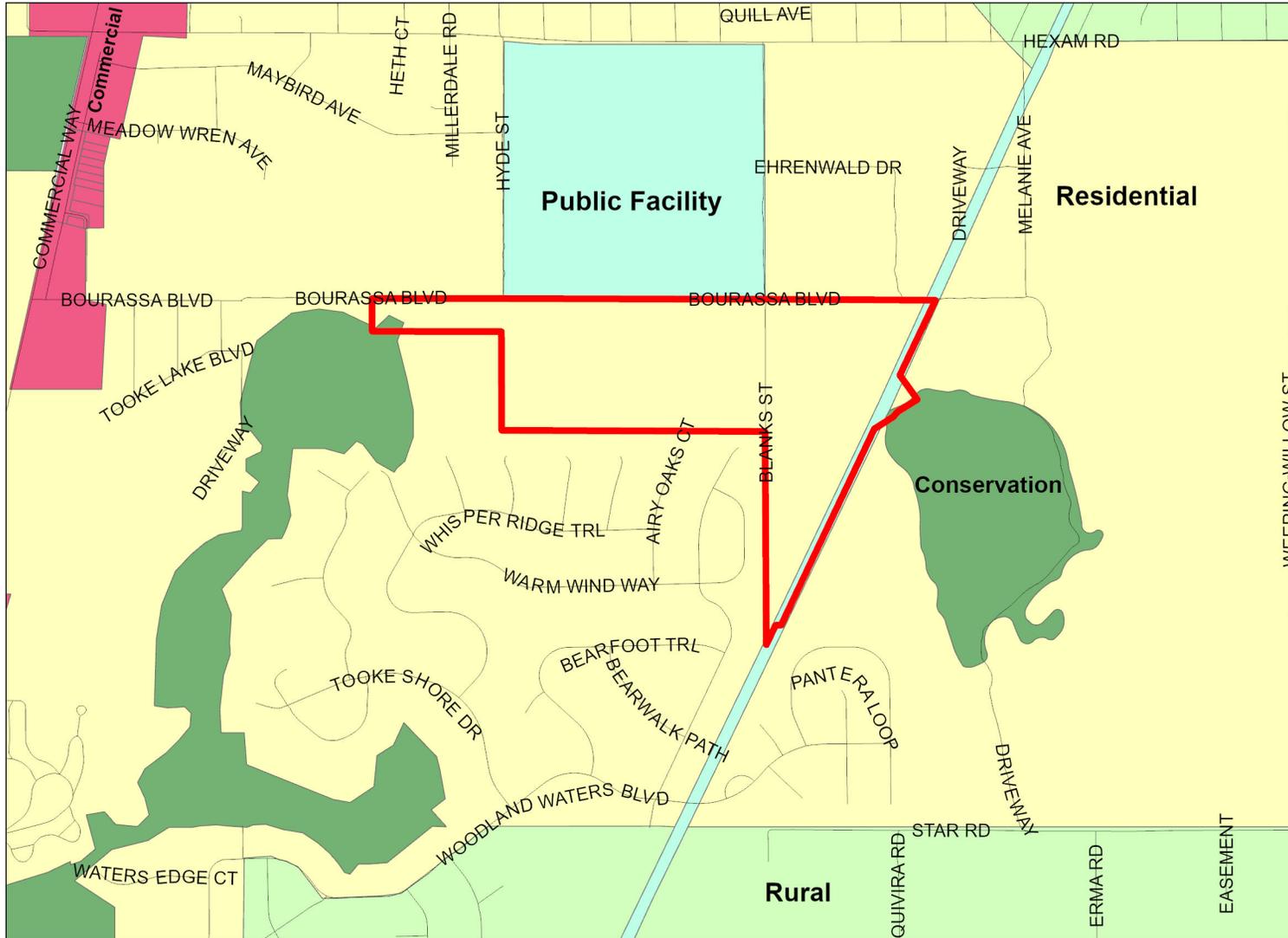
This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



# Hernando County Comprehensive Plan Map

Existing Future Land Use: H-24-50

Version Date: 12/09/2022



**H-24-50**

FLU Riverine District

Regional Commercial

**FLU**

- CITY
- COMMERCIAL
- CONSERVATION
- EDUCATION
- INDUSTRIAL
- MINING
- PLANNED DEVELOPMENT
- PUBLIC FACILITIES
- RECREATION
- RESIDENTIAL
- RURAL

**Future Land Use Map**

PLEASE REFER TO THE TEXT PORTION OF THE COMPREHENSIVE PLAN IN CONJUNCTION WITH THE USE OF THE FUTURE LAND USE MAP SERIES.

NOTE: THE RIVERINE DISTRICT IS SHOWN AS A LINE SETBACK PARALLEL TO THE WEEKI WACHEE, MUD AND WITHLACOOCHEE RIVERS.

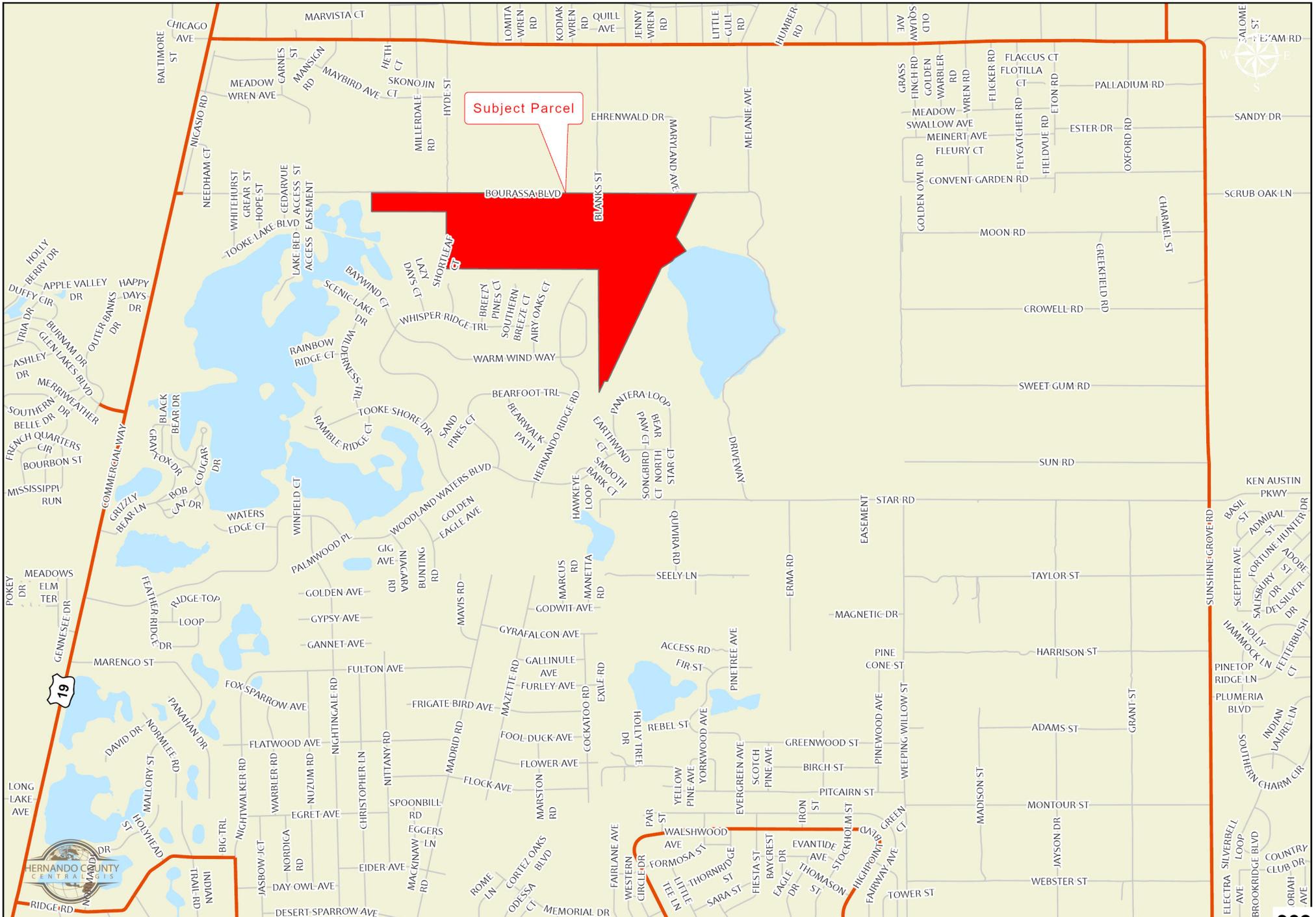


Date of mapping: 09/16/2024



# H-24-50 AREA MAP

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



Subject Parcel



# H-24-50

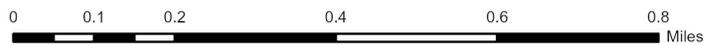
This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



**Zoning:**

AC	PDP(HC)
AG	PDP(HHC)
AR	PDP(HID)
AR1	PDP(IND)
AR2	PDP(LI)
C1	PDP(MF)
C2	PDP(MH)
C3	PDP(NC)
C4	PDP(OP)
CITY	PDP(PSF)
CM1	PDP(REC)
CM2	PDP(RR)
CPDP	PDP(RUR)
CV	PDP(SF)
I1	PDP(SU)
I2	R1A
M	R1B
OP	R1C
PDP(AF)	R1MH
PDP(CM)	R2
PDP(CP)	R2.5
PDP(GC)	R3
PDP(GHC)	RC
	RM

City Zoning Pending





Planning & Zoning Commission

Meeting: 11/04/2024
Department: Planning
Prepared By: Danielle Nigro
Initiator: Omar DePablo
DOC ID: 14770
Legal Request Number:
Bid/Contract Number:

AGENDA ITEM

TITLE

PSFOD Petition Submitted by Hernando County Board of County Commissioners (H-24-60)

BRIEF OVERVIEW

Request:

Rezoning from M (Mining) to PSFOD (Public Services Facility Overlay District) for a Public Safety Training Facility

General Location:

Citrus Way, approximately 657' south of Peach Orchard Road

FINANCIAL IMPACT

A matter of policy. There is no financial impact.

LEGAL NOTE

The Planning and Zoning Commission has jurisdiction to make a recommendation on the subject application. The Applicable Criteria for a Zoning District Amendment are contained in Appendix A, (Zoning Code) Article VI. The applicable Public Service Facility (PSF) Overlay District Standards are contained in Article IV, Section 11. The Zoning District Amendment must be consistent with the Comprehensive Plan.

The notice requirements of Appx. A, Art. VI, Sec. 7 of the Hernando County Code have been complied with.

RECOMMENDATION

It is recommended that the Planning and Zoning Commission recommend the Board of County Commissioners adopt a resolution approving the petitioner's request for a rezoning from M(Mining) to PSFOD (Public Services Facility Overlay District) for a Public Safety Training Facility.

REVIEW PROCESS

Table with 4 columns: Name, Status, Date, Time. Rows include Omar DePablo, Toni Brady, Pamela Hare, Melissa Tartaglia, and Danielle Nigro, all with 'Approved' status.

RESULT: ADOPTED
MOVER: W. Steven Hickey
SECONDER: Jonathan McDonald
AYES: Holmes, Hickey, Birren, McDonald and Morgan

**ABSENT:** Noe

# HERNANDO COUNTY ZONING AMENDMENT PETITION

File No. **H2460** Official Date Stamp:



Application to Change a Zoning Classification

**Application request** (check one):

- Rezoning  Standard  PDP
  - Master Plan  New  Revised
  - PSFOD  Communication Tower  Other
- PRINT OR TYPE ALL INFORMATION**

Date: \_\_\_\_\_

**APPLICANT NAME:** \_\_\_\_\_

Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Email: \_\_\_\_\_  
**Property owner's name:** (if not the applicant) \_\_\_\_\_

**REPRESENTATIVE/CONTACT NAME:** \_\_\_\_\_

Company Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**HOME OWNERS ASSOCIATION:**  Yes  No (if applicable provide name) \_\_\_\_\_

Contact Name: \_\_\_\_\_  
 Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

**PROPERTY INFORMATION:**

1. PARCEL(S) **KEY** NUMBER(S): \_\_\_\_\_
2. SECTION \_\_\_\_\_, TOWNSHIP \_\_\_\_\_, RANGE \_\_\_\_\_
3. Current zoning classification: \_\_\_\_\_
4. Desired zoning classification: \_\_\_\_\_
5. Size of area covered by application: \_\_\_\_\_
6. Highway and street boundaries: \_\_\_\_\_
7. Has a public hearing been held on this property within the past twelve months?  Yes  No
8. Will expert witness(es) be utilized during the public hearings?  Yes  No (If yes, identify on an attached list.)
9. Will additional time be required during the public hearing(s) and how much?  Yes  No (Time needed: \_\_\_\_\_)

**PROPERTY OWNER AFFIDIVAT**

I, \_\_\_\_\_, have thoroughly examined the instructions for filing this application and state and affirm that all information submitted within this petition are true and correct to the best of my knowledge and belief and are a matter of public record, and that (**check one**):

- I am the owner of the property and am making this application **OR**
- I am the owner of the property and am authorizing (applicant): \_\_\_\_\_  
 and (representative, if applicable): \_\_\_\_\_  
 to submit an application for the described property.

\_\_\_\_\_  
Signature of Property Owner

**STATE OF FLORIDA  
COUNTY OF HERNANDO**

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_ who is personally known to me or produced \_\_\_\_\_ as identification.

\_\_\_\_\_  
Signature of Notary Public

Effective Date: 11/8/16 Last Revision: 11/8/16

Notary Seal/Stamp

## Narrative

Continued education and training are vital to the Emergency Services provided by the County for public health and safety. Hernando County does not have adequate training facilities available and must travel outside the County for their Fire, EMS, and Law Enforcement training needs. Since 2012 these departments have been working to identify an appropriate location, and possible funding sources to develop an educational campus to accommodate the ongoing training needs of the County's first responders.

While there are numerous training facilities located in other areas of the State, the time and money spent traveling and staying at these locations is a burden on the departmental budgets and staff. When the Fire Department is training in Pasco, they are still called to respond to emergencies in Hernando, significantly increasing the department's response time. To meet the rapidly expanding emergency response needs of the County a suitable facility needs to be constructed within Hernando County.

This proposed Public Safety Training Facility will be designed to meet the County's current and future needs and functions. The subject site was chosen with consideration as to how it will impact the surrounding land uses and residents. The property, on Citrus Way Approximately 657' south of Peach Orchard Road has been identified as the best option for the facility location.

The site will require infrastructure installation, environmental mitigation, and road widening. By developing a single campus for a Public Safety Training Facility, the County will be able to provide an "economy of scale" and a reduction in costs by not duplicating buildings and functions on separate sites. Tactical training can utilize portions of new the burn tower, the vehicular driving pad can be configured for multiple uses, obvious infrastructure, restrooms, and other common spaces will be modular in nature and provide a range of options for use. Administrative office and educational facilities have the same opportunities.

The development of the property is proposed to be accomplished in phases; those phases are as follows:

### Phase 1:

- Master site planning and construction of infrastructure.
- A 4-story training tower. The Fire Facilities Commissioner model serves as an example of what will meet the needs of Fire. Additional options can be added for use by both entities.  
Outdoor rifle and 2 pistol ranges are contained within the plan. The design and construction of these facilities are outlined in the attached "Range Design Criteria" as developed by the United States Department of Energy. Further development of the specific design should follow these guidelines.
- Combined use Emergency Vehicle Training pad with additional reinforcement for heavy apparatus. This pad may be asphaltic or concrete paving materials and a determination of life cycle costs shall be reviewed to determine the best option. A pavilion shall be placed to provide shelter from the elements.
- Roadways, adequate parking, and staging areas for initial use.

Phase 2 :

- A combined office and conference hall for law and fire. An office/classroom facility combined with auditorium, gym, and locker rooms. It is the plan to utilize mobile classrooms initially on-site until funding is available for the new administrative classroom building. The Fire Department will have 2 that will become available after the construction of Station 2 and 6. Due to the potential of these being re-used in future fire station projects a third modular will be purchased and remain for use by the Public Safety Training Facility. Location of the temporary structures shall be considered in the overall scheme and plan so as not to interfere with future planned improvements, yet utilize the long-term infrastructure built in the initial phase.
- A metal apparatus and equipment storage facility. The size and type is similar to the facility at fire station 2 that is currently used by the Supervisor of Elections and serves as a good example. The current example is 3 bays, and the plan expands the size requirement to 4 bays. The building could house shower and bathroom facilities for decontamination and clean areas.
  1. An outdoor break/staging area for personnel. This may be envisioned as a large concrete foundation with a pavilion style roof, otherwise open.
  2. Considerations for other standalone bathroom structures, depending on distances from training areas.
  3. Parking lot
  4. Training props, such as propane emergencies, vehicle fires, technical rescue, Haz Mat, etc.
  5. K-9 training and kennels.
  6. A tactical house- Examples of options are contained in the appendix 3 entitled "Public Safety Facilities".

## STAFF REPORT

---

**HEARINGS:** Planning & Zoning Commission: November 4, 2024  
Board of County Commissioners: December 17, 2024

**APPLICANT:** Hernando County Board of County Commissioners

**FILE NUMBER:** H-24-60

**REQUEST:** Rezoning from M (Mining) to PSFOD (Public Services Facility Overlay District) for a Public Safety Training Facility

**GENERAL**

**LOCATION:** Citrus Way, approximately 657' south of Peach Orchard Road

**PARCEL KEY NUMBER(S):** 1837098

---

### APPLICANT'S REQUEST

The County is seeking to establish a PSFOD/Public Service Facility Overlay District for a Public Safety Training Facility to provide continued education and training for public health and safety. Hernando County does not have adequate training facilities and staff is required to travel outside the County for their Fire, EMS, and Law Enforcement training needs. Since 2012 these departments have been working to identify an appropriate location, and possible funding sources to develop an educational campus to accommodate the ongoing training needs of the County's first responders.

This proposed Public Safety Training Facility will be designed to meet the County's current and future needs. The subject site was chosen with consideration as to how it will impact the surrounding land uses and residents.

The site will require infrastructure installation, environmental mitigation, and road widening. By developing a single campus for a Public Safety Training Facility, the County will be able to provide an "economy of scale" and a reduction in costs by not duplicating buildings and functions on separate sites. Tactical training can utilize portions of new the burn tower, the vehicular driving pad can be configured for multiple uses, obvious infrastructure, restrooms, and other common spaces will be modular in nature and provide a range of options for use. Administrative office and educational facilities have the same opportunities.

The development of the property is proposed as the following phases:

**Phase 1:**

- Master site planning and construction of infrastructure.
- A 4-story training tower. The Fire Facilities Commissioner model serves as an example of what will meet the needs of Fire. Additional options can be added for use by both entities.
- Outdoor rifle and two (2) pistol ranges are contained within the plan. The design and construction of these facilities are outlined in the attached “Range Design Criteria” as developed by the United States Department of Energy. Further development of the specific design should follow these guidelines.
- Combined use Emergency Vehicle Training pad with additional reinforcement for heavy apparatus. This pad may be asphaltic or concrete paving materials and a determination of life cycle costs shall be reviewed to determine the best option. A pavilion shall be placed to provide shelter from the elements.
- Roadways, adequate parking, and staging areas for initial use.

**Phase 2:**

- A combined office and conference hall for law and fire. An office/classroom facility combined with auditorium, gym, and locker rooms. The petitioner proposes to utilize mobile classrooms initially, until funding is available for the new administrative classroom building. The Fire Department currently has two (2) mobile classrooms. Due to the potential of these being re-used in future fire station projects, a third modular will be purchased and remain for use by the Public Safety Training Facility. Location of the temporary structures shall be considered in the overall scheme and plan so as not to interfere with future planned improvements,
- A metal apparatus and equipment storage facility. The size and type is similar to the facility at Fire Station 2 that is currently used by the Supervisor of Elections. The current example is three (3) bays, with plan to expand to four (4) bays. The building may also provide showers and bathroom facilities for decontamination and clean areas.

**SITE CHARACTERISTICS**

<b>Site Size:</b>	60.10 acres
<b>Surrounding Zoning; Land Uses:</b>	North: AG; Agricultural
	South: M; Mining
	East: M; Mining
	West: M; Mining

**Current Zoning:** Mining  
**Future Land Use**  
**Map Designation:** Mining

**ENVIRONMENTAL REVIEW:**

**Soil Type:** Candler Fine Sand

**Comments:** The subject site has a history with mining activities, however, none in recent years. The underlying soils are prone to gopher tortoises and will require a comprehensive wildlife/gopher tortoise survey, prepared by a qualified professional shall be conducted prior to any development occurring on the property. The petitioner is required to comply with all applicable FWC regulations.

**Hydrologic Features:**

The property contains portions of a large wetland along the south property line; however, no Wellhead Protection Areas (WHPA) are located on the site according to County data resources.

**Comments:** The petitioner shall delineate the southern wetland on all future plans and meet the minimum buffer standards as required and as applicable by County LDRs.

**Protection Features:**

The property contains a Special Protection Area (SPA) according to County data resources due to previous mining activities.

**Comments:** The petitioner shall meet the minimum recommendations of the Florida Yards & Neighborhoods (FYN) Program for design techniques and principles for all required landscaping.

**UTILITIES REVIEW**

Hernando County Utilities Department (HCUD) does not currently supply water or sewer service to this parcel. This parcel is located within the City of Brooksville Utility Department's (CBUD) first right to serve district; contact CBUD for any utility related comments.

**Comments:** The petitioner shall reach out to the City of Brooksville for utilities at time of vertical construction.

## ENGINEERING REVIEW

The subject property is located Citrus Way, approximately 657' south of Peach Orchard Road. The County Engineer has reviewed the petitioner's request and provided the following comments:

- A Traffic Access Analysis is required, or applicant must demonstrate thru trip generation that analysis is not required.
- The driveway connections will be required to meet Hernando County standards.
- The parking spaces, drive aisles, signage and pavement markings shall meet Hernando County standards.
- FDOT access management permit required. FDOT drainage permit may be required.

## LAND USE REVIEW

### Building Setbacks

Minimum Building setbacks for the underlining district is 75' from all property lines.

**Comments:** Due to the sensitivity of the activities proposed by the petitioner, the petitioner shall provide a 100' boundary from all property lines.

### Buffers

The underlying zoning of mining buffer shall consist of a minimum of one hundred (100) feet measured perpendicular from the property line. The buffer shall consist of a vegetated screen, augmented by a berm if required to obtain opacity. The petitioner shall be required to preserve or enhance existing vegetation to reach a minimum opacity of 80% around the entire perimeter of the property. The berm shall generally run parallel to, and no closer than fifty (50) feet from, the property line

**Comments:** If approved, the petitioner shall provide a 100' buffer along Citrus Way.

### Landscaping:

The petitioner must meet the minimum requirements of Florida Friendly Landscaping™ publications for design techniques, principles, materials, and plantings for required landscaping.

### Lighting:

County LDRs require lighting that enhances the visual impact of the project on the community and specifically address lighting intensity levels and glare accordingly. Commercial buildings and projects shall be designed to provide safe, convenient and efficient lighting for pedestrians and vehicles.

**Comments:** The petitioner has not indicated any provisions for lighting of the subject property. If approved, the petitioner should be required to provide full

cutoff fixtures and retain all light on-site and prevent any light spillage onto neighboring uses.

**COMPREHENSIVE PLAN REVIEW**

The subject property is within the Mining land use classification, Public Service Facilities Overlay Districts are allowed in all zoning districts on the adopted Future Land Use Map. The area is characterized by Mining zoning along Citrus Way (South, East and West) and Agricultural to the North.

**Public Facilities Category**

**Objective 1.04K**     **The Public Facilities Category includes major facilities that serve a large portion of the County, the entire County, or that include service areas beyond the County.**

**Strategy 1.04K(2):** The Public Service Facility Zoning Overlay District will be used to evaluate and review all proposed public facilities. Conditions and performance standards may be required through the public facility review process which are binding for purposes of issuance of development orders and permits.

**Comments:**     The subject site is located along Citrus Way an arterial roadway and is adjacent to mining. The location of the subject site provides the necessary distance buffering for the proposed use and the rezoning is compatible with the surrounding area and is consistent with the Comprehensive Plan.

**FINDING OF FACTS**

A rezoning from M (Mining) to PSFOD (Public Services Facility Overlay District) for a Public Safety Training Facility is appropriate based on the following:

The request is consistent with the County’s adopted Comprehensive Plan and is compatible with the surrounding land uses subject to compliance with all performance conditions.

**NOTICE OF APPLICANT RESPONSIBILITY**

*The rezoning process is a land use determination and does not constitute a permit for either construction on, or use of, the property, or a Certificate of Concurrency. Prior to use of, or construction on, the property, the petitioner must receive approval from the appropriate County department(s) for the proposed use.*

*The granting of this land use determination does not protect the owner from civil liability for recorded deed restrictions which may exceed any county land use*

*ordinances. Homeowner associations or architectural review committees require submission of plans for review and approval. The applicant for this land use request should contact the local association or the Public Records for all restrictions applicable to this property.*

## **STAFF RECOMMENDATION**

It is recommended that the Planning and Zoning Commission recommend the Board of County Commissioners adopt a resolution approving the petitioner's request for a rezoning from M(Mining) to PSFOD (Public Services Facility Overlay District) for a Public Safety Training Facility.

1. The petitioner must obtain all permits from Hernando County and other applicable agencies and meet all applicable land development regulations, for either construction or use of the property, and complete all applicable development review processes.
2. The petitioner shall have a minimum building setback of 100' from all property lines.
3. The petitioner shall provide a wildlife survey to include a gopher tortoise survey, prepared by a qualified professional prior to any development occurring on the property. Furthermore, copies of any required permits shall be provided prior to the issuance of development permits by Hernando County.
4. All onsite lighting must provide full cutoff fixtures and retain all light on site to prevent any light spillage onto neighboring properties. Security lighting shall be shielded from the neighboring uses.
5. The petitioner shall provide a minimum of one hundred (100) foot buffer measured perpendicular from the property line. The buffer shall consist of a vegetated screen, augmented by a berm if required to obtain opacity. The petitioner shall be required to preserve or enhance existing vegetation to reach a minimum opacity of 80% around the entire perimeter of the property. The berm shall generally run parallel to, and no closer than fifty (50) feet from, the property line and meet the County's LDRs
6. The petitioner must meet the minimum requirements of Florida Friendly Landscaping™ publications for design techniques, principles, materials, and plantings for required landscaping.
7. A Traffic analysis is required at the time of development. Any improvements identified by the Traffic Access Analysis shall be the responsibility of the developer.

8. The petitioner shall provide driveway connection, parking spaces and lot layout in accordance with Hernando County standards.
9. The petitioner shall coordinate the proposed driveway location with the County Engineer.
10. FDOT Access Management Permit shall be required. A FDOT drainage permit may also be required.
11. The petitioner shall coordinate with the City of Brooksville for utilities systems at time of vertical construction.
12. A comprehensive wildlife/gopher tortoise survey, prepared by a qualified professional shall be conducted prior to any development occurring on the property. The petitioner is required to comply with all applicable FWC regulations.
13. The petitioner shall provide a revised plan in compliance with all performance conditions within 30 calendar days of BCC approval. Failure to submit the revised plan will result in no further development permits being issued.

# SITE PLAN : EXISTING CONDITIONS



01

# SITE PLAN : EXISTING CONDITIONS



01

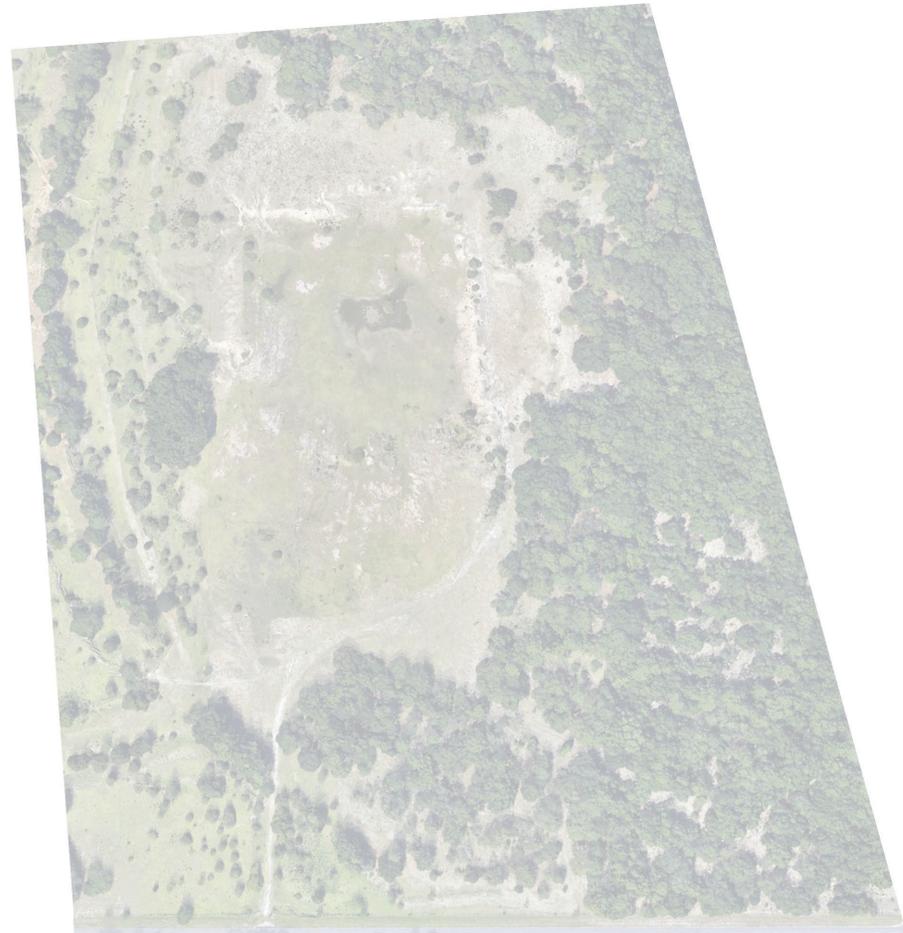
# SITE PLAN : EXISTING CONDITIONS



CITRUS WAY

01

# SITE PLAN : EXISTING CONDITIONS



CITRUS WAY



01

# SITE PLAN : EXISTING CONDITIONS

--- PROPERTY LINE



CITRUS WAY



01

# SITE PLAN : EXISTING CONDITIONS

- - - PROPERTY LINE
- - - 50' BUILDING SETBACK



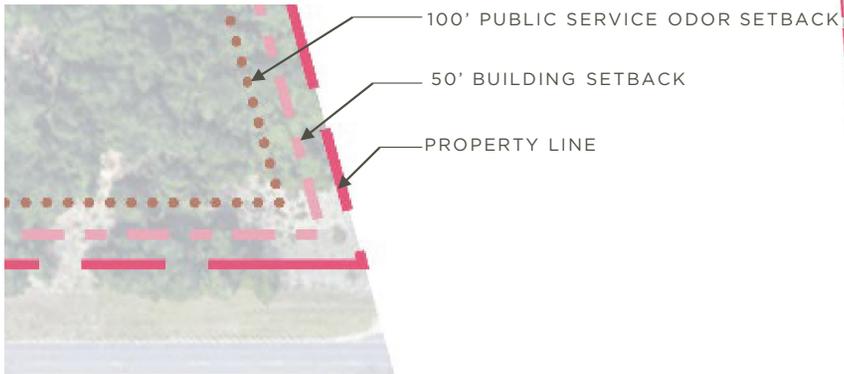
CITRUS WAY



01

# SITE PLAN : EXISTING CONDITIONS

- PROPERTY LINE
- 50' BUILDING SETBACK
- ..... 100' PUBLIC SERVICE ODOR SETBACK



CITRUS WAY



01

# SITE PLAN : EXISTING CONDITIONS

- — — — — PROPERTY LINE
- - - - - 50' BUILDING SETBACK
- ..... 100' PUBLIC SERVICE SETBACK
- TOPOGRAPHY

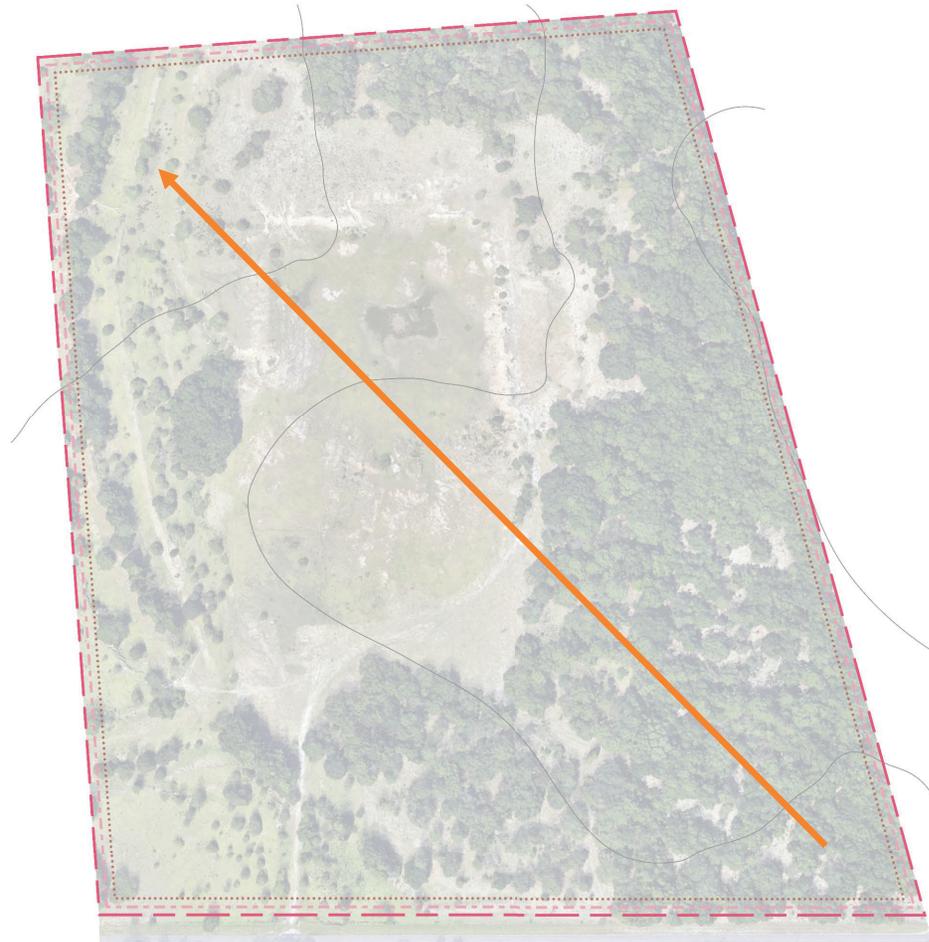


CITRUS WAY

01

# SITE PLAN : EXISTING CONDITIONS

- - - PROPERTY LINE
- - - 50' BUILDING SETBACK
- ..... 100' PUBLIC SERVICE SETBACK
- TOPOGRAPHY



01

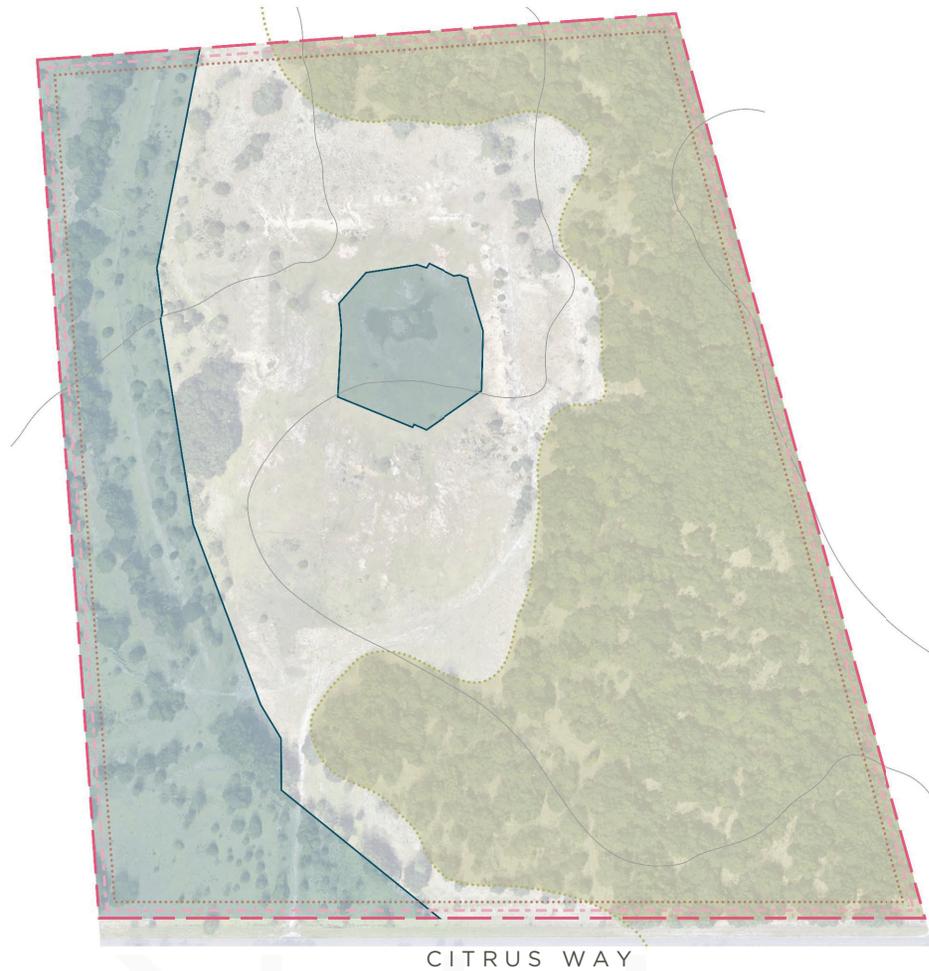
# SITE PLAN : EXISTING CONDITIONS

- — — — — PROPERTY LINE
- - - - - 50' BUILDING SETBACK
- ..... 100' PUBLIC SERVICE SETBACK
- TOPOGRAPHY
- TREELINE



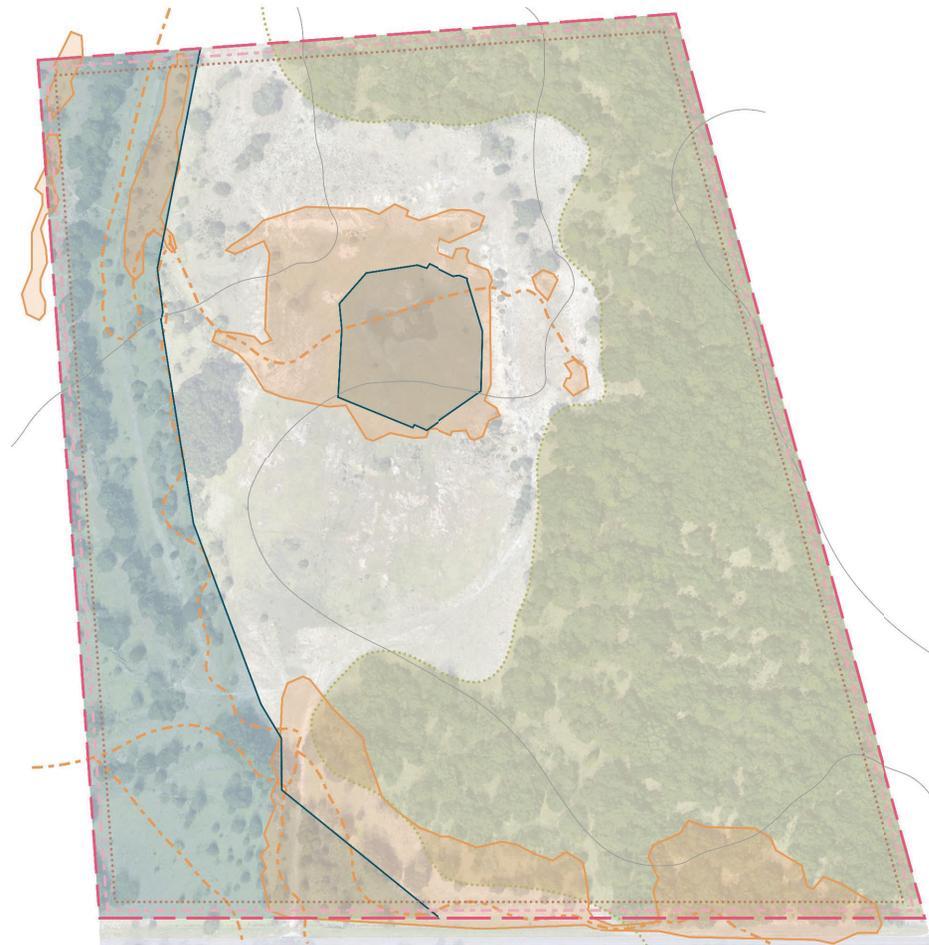
# SITE PLAN : EXISTING CONDITIONS

- PROPERTY LINE
- 50' BUILDING SETBACK
- ..... 100' PUBLIC SERVICE SETBACK
- TOPOGRAPHY
- TREELINE
- WETLANDS



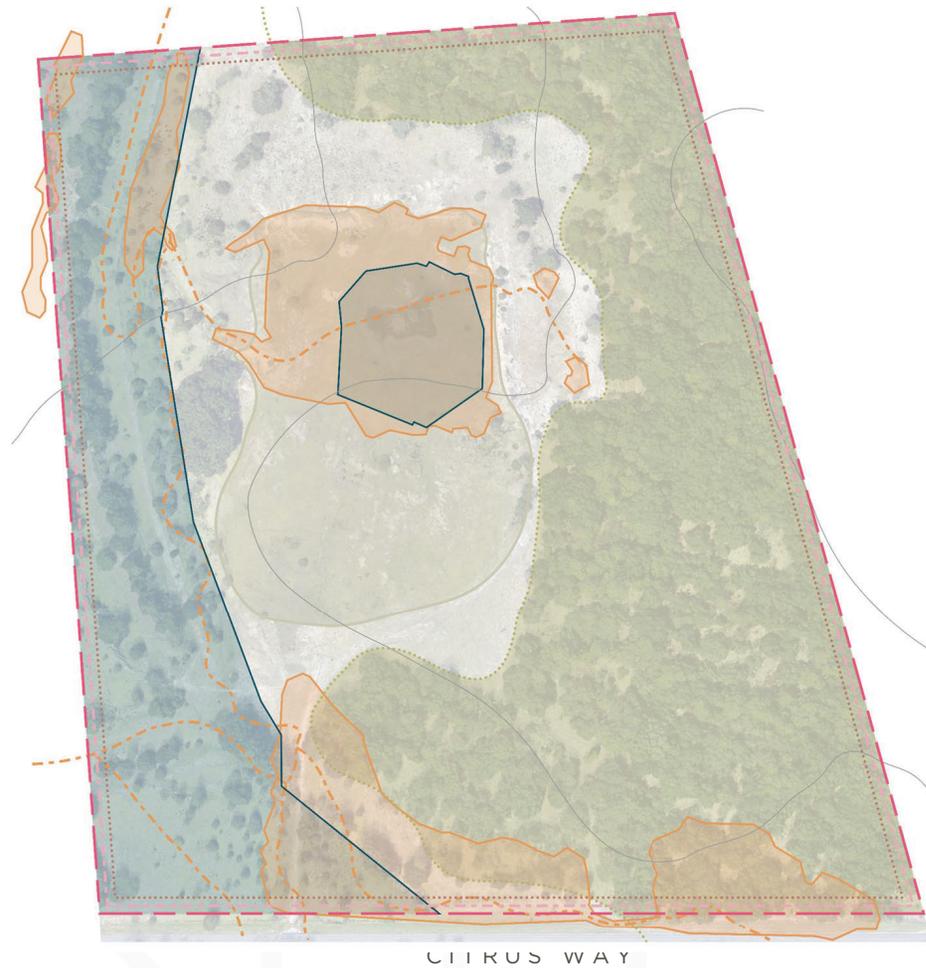
# SITE PLAN : EXISTING CONDITIONS

- PROPERTY LINE
- 50' BUILDING SETBACK
- ..... 100' PUBLIC SERVICE SETBACK
- TOPOGRAPHY
- TREELINE
- WETLANDS
- FLOOD ZONE AE



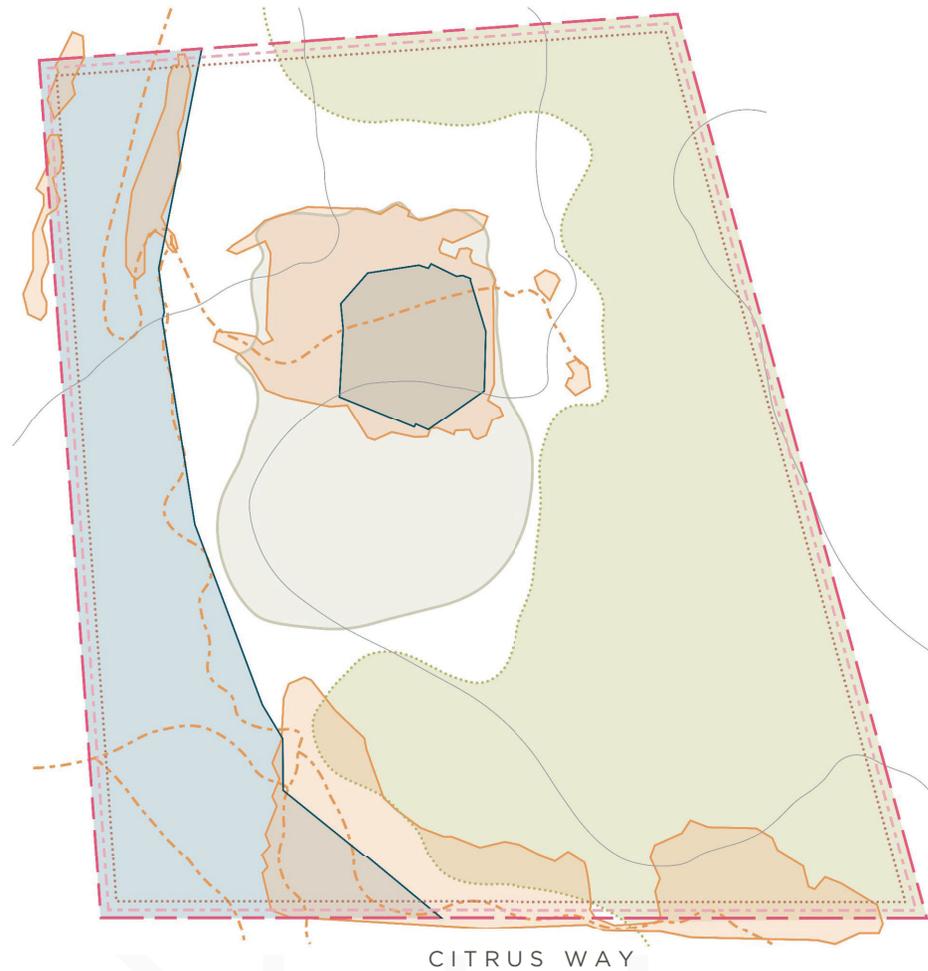
# SITE PLAN : EXISTING CONDITIONS

- PROPERTY LINE
- 50' BUILDING SETBACK
- ..... 100' PUBLIC SERVICE SETBACK
- TOPOGRAPHY
- TREELINE
- WETLANDS
- FLOOD ZONE AE
- SINKHOLE



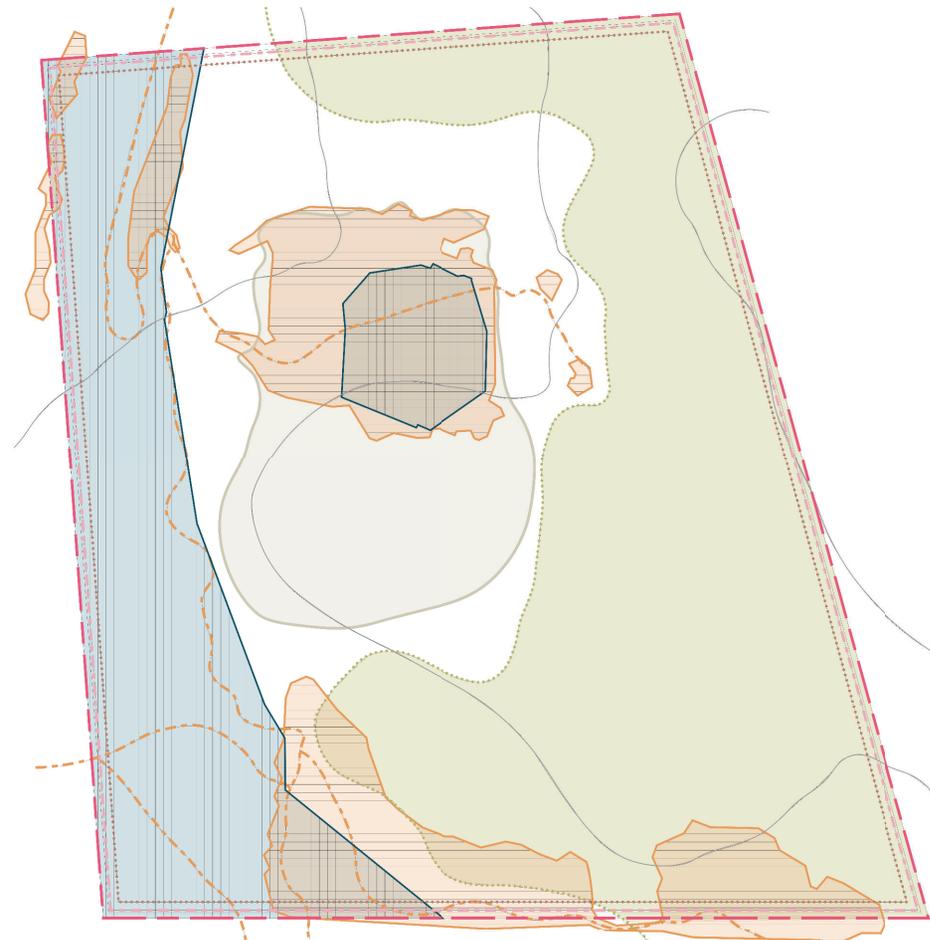
# SITE PLAN : EXISTING CONDITIONS

- PROPERTY LINE
- 50' BUILDING SETBACK
- ..... 100' PUBLIC SERVICE SETBACK
- TOPOGRAPHY
- TREELINE
- WETLANDS
- FLOOD ZONE AE
- SINKHOLE



# SITE PLAN : EXISTING CONDITIONS

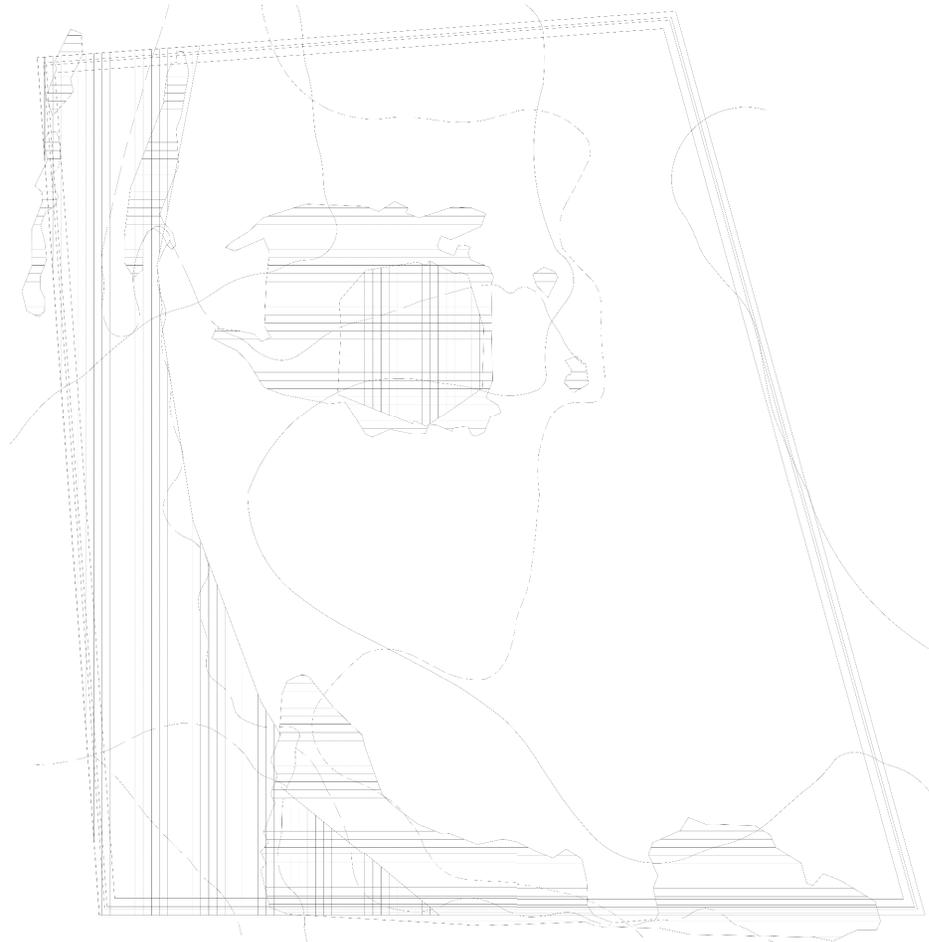
- — — — — PROPERTY LINE
- · — · — · — 50' BUILDING SETBACK
- 100' PUBLIC SERVICE SETBACK
- TOPOGRAPHY
- TREELINE
- WETLANDS
- FLOOD ZONE AE
- SINKHOLE



CITRUS WAY



# SITE PLAN : EXISTING CONDITIONS



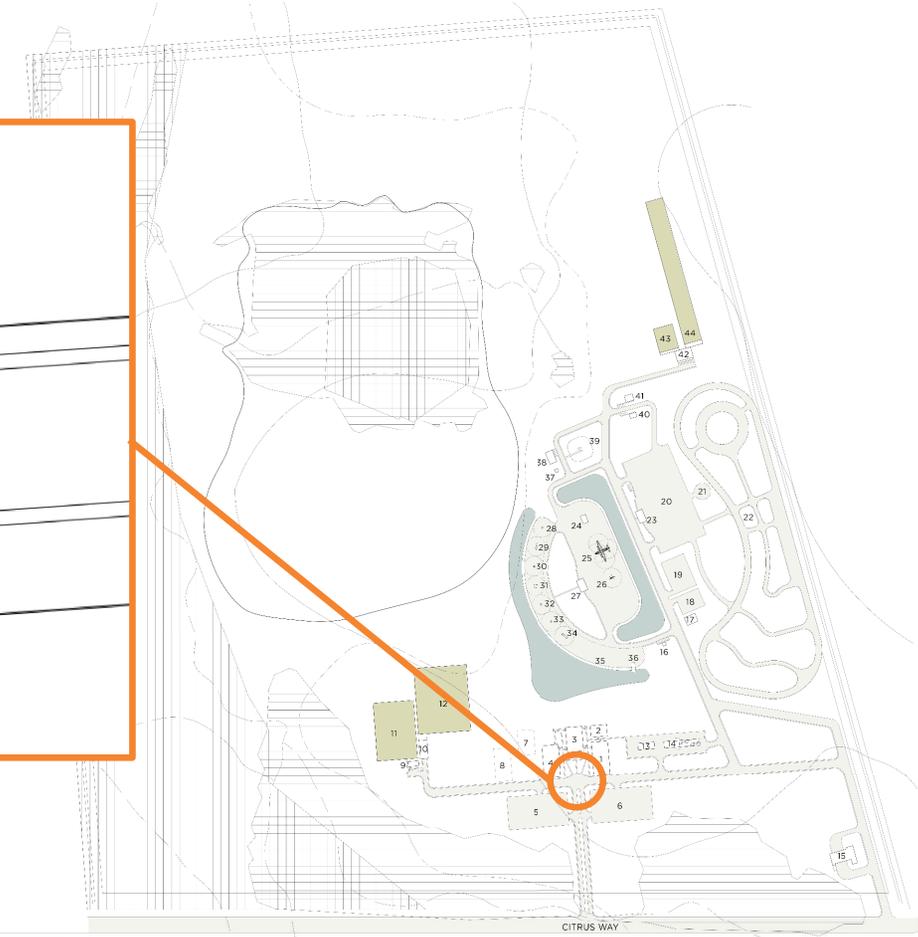
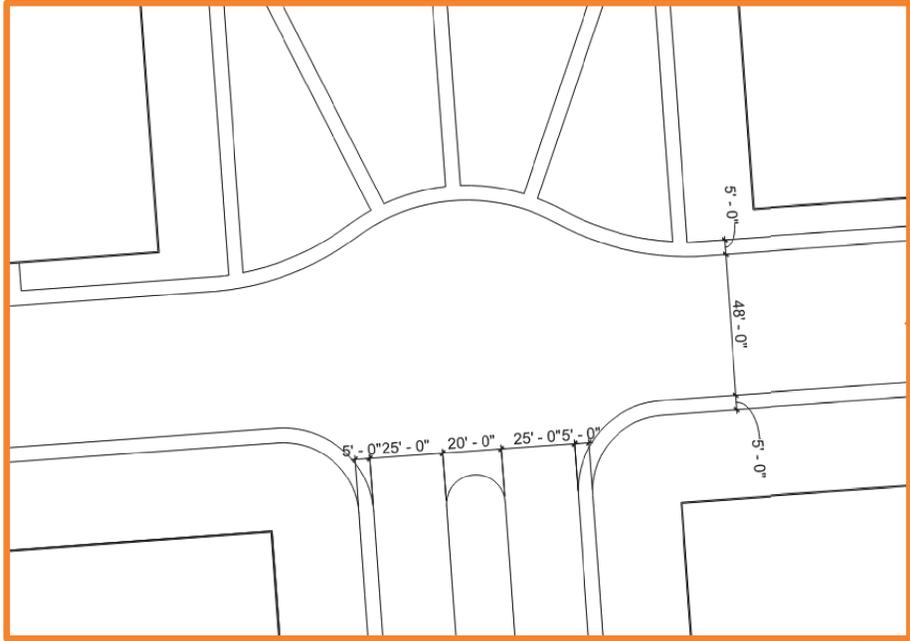
CITRUS WAY

02

# OPTION CONTINENT



# SITE PLAN : SCALE



# SITE PLAN : CONTINENT

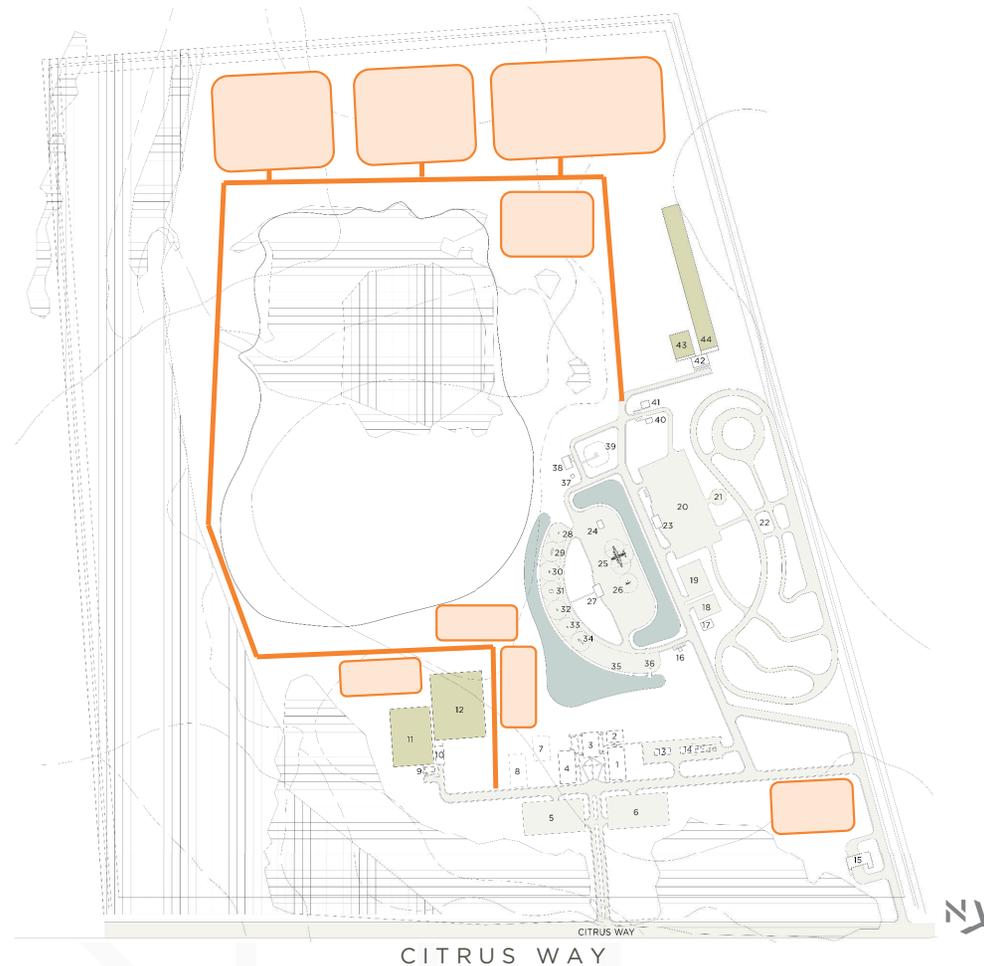
1. Classroom & Administration Building
2. Fitness Center
3. Auditorium & Locker Building
4. EOC & 911 Back-Up Center
5. Parking Lot A
6. Parking Lot B
7. Future Building
8. Future Building
9. K-9 & Mounted Administration Building
10. Mounted Patrol Barn
11. K-9 Paddock
12. Mounted Patrol Paddock
13. Fueling Station
14. Shop & Covered Vehicle Storage
15. Fire Station
16. Observation Tower
17. Collapsed Building
18. Rubble Pile
19. VMR Area
20. Driving Pad
21. Helicopter Pad
22. Driving Course
23. Pavilion
24. Burn Building
25. Airplane Prop
26. Helicopter Prop
27. Pavilion
28. Vehicle Fire
29. Fuel Tanker
30. Gas Meter Prop
31. Fuel Spill
32. Electric Vehicle Fire
33. Dumpster Prop
34. Rail Tanker
35. Pump Ops
36. Boat Ramp
37. Confined Space
38. Aquatic Training
39. Trench
40. Tactical House
41. Search House
42. Range Building & Storage
43. Shooting Range (24)
44. Rifle Range (12)



# SITE PLAN : CONTINENT PHASE FUTURE

1. Classroom & Administration Building
2. Fitness Center
3. Auditorium & Locker Building
4. EOC & 911 Back-Up Center
5. Parking Lot A
6. Parking Lot B
7. Future Building
8. Future Building
9. K-9 & Mounted Administration Building
10. Mounted Patrol Barn
11. K-9 Paddock
12. Mounted Patrol Paddock
13. Fueling Station
14. Shop & Covered Vehicle Storage
15. Fire Station
16. Observation Tower
17. Collapsed Building
18. Rubble Pile
19. VMR Area
20. Driving Pad
21. Helicopter Pad
22. Driving Course
23. Pavilion
24. Burn Building
25. Airplane Prop
26. Helicopter Prop
27. Pavilion
28. Vehicle Fire
29. Fuel Tanker
30. Gas Meter Prop
31. Fuel Spill
32. Electric Vehicle Fire

33. Dumpster Prop
34. Rail Tanker
35. Pump Ops
36. Boat Ramp
37. Confined Space
38. Aquatic Training
39. Trench
40. Tactical House
41. Search House
42. Range Building & Storage
43. Shooting Range (24)
44. Rifle Range (12)



# SITE PLAN : CONTINENT PHASE 1

1. Classroom & Administration Building
2. Fitness Center
3. Auditorium & Locker Building
4. EOC & 911 Back-Up Center
5. Parking Lot A
6. Parking Lot B
7. Future Building
8. Future Building
9. K-9 & Mounted Administration Building
10. Mounted Patrol Barn
11. K-9 Paddock
12. Mounted Patrol Paddock
13. Fueling Station
14. Shop & Covered Vehicle Storage
15. Fire Station
16. Observation Tower
17. Collapsed Building
18. Rubble Pile
19. VMR Area
20. Driving Pad
21. Helicopter Pad
22. Driving Course
23. Pavilion
24. Burn Building
25. Airplane Prop
26. Helicopter Prop
27. Pavilion
28. Vehicle Fire
29. Fuel Tanker
30. Gas Meter Prop
31. Fuel Spill
32. Electric Vehicle Fire

33. Dumpster Prop
34. Rail Tanker
35. Pump Ops
36. Boat Ramp
37. Confined Space
38. Aquatic Training
39. Trench
40. Tactical House
41. Search House
42. Range Building & Storage
43. Shooting Range (24)
44. Rifle Range (12)



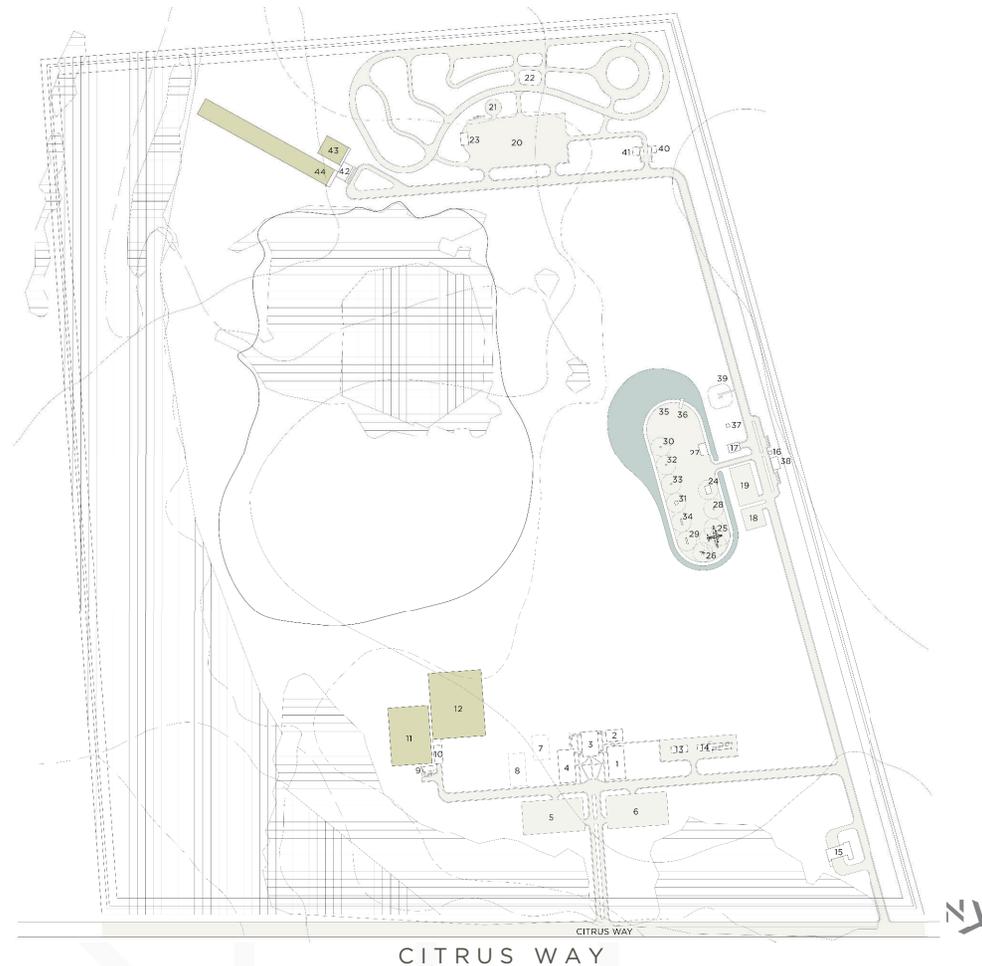
03

# OPTION ISLANDS



# SITE PLAN : ISLANDS

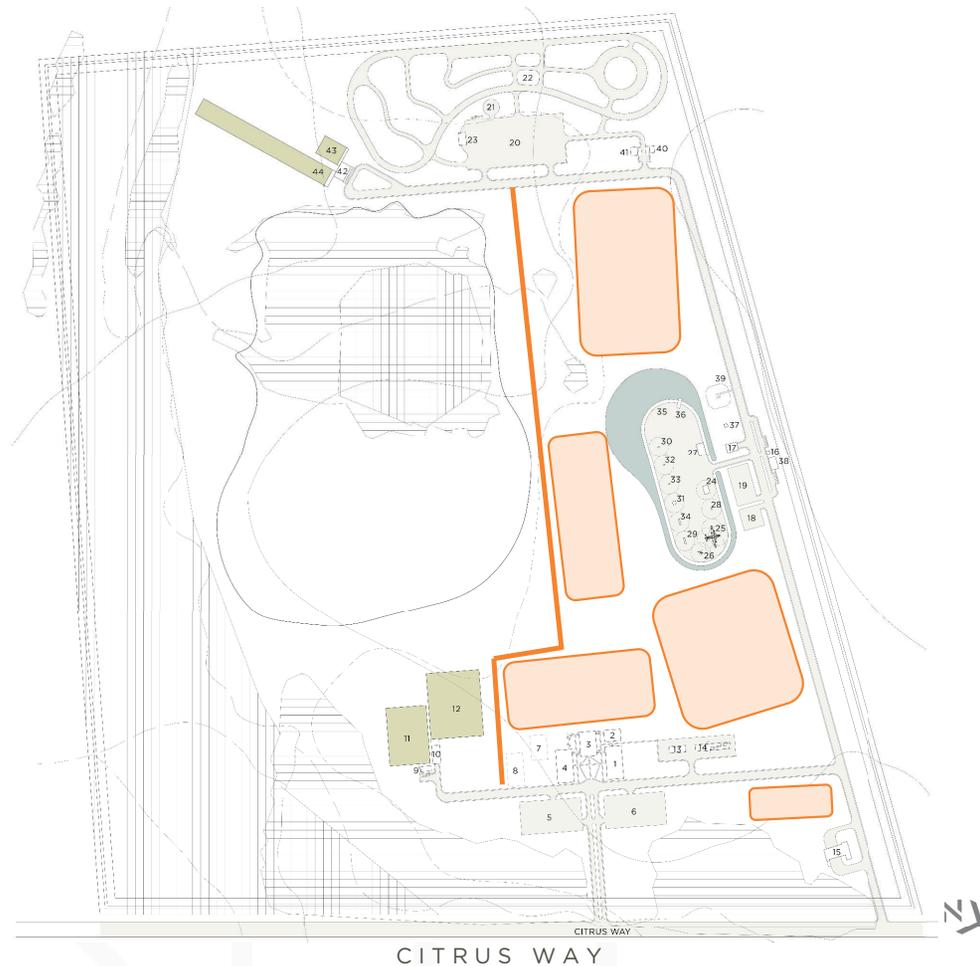
1. Classroom & Administration Building
2. Fitness Center
3. Auditorium & Locker Building
4. EOC & 911 Back-Up Center
5. Parking Lot A
6. Parking Lot B
7. Future Building
8. Future Building
9. K-9 & Mounted Administration Building
10. Mounted Patrol Barn
11. K-9 Paddock
12. Mounted Patrol Paddock
13. Fueling Station
14. Shop & Covered Vehicle Storage
15. Fire Station
16. Observation Tower
17. Collapsed Building
18. Rubble Pile
19. VMR Area
20. Driving Pad
21. Helicopter Pad
22. Driving Course
23. Pavilion
24. Burn Building
25. Airplane Prop
26. Helicopter Prop
27. Pavilion
28. Vehicle Fire
29. Fuel Tanker
30. Gas Meter Prop
31. Fuel Spill
32. Electric Vehicle Fire
33. Dumpster Prop
34. Rail Tanker
35. Pump Ops
36. Boat Ramp
37. Confined Space
38. Aquatic Training
39. Trench
40. Tactical House
41. Search House
42. Range Building & Storage
43. Shooting Range (24)
44. Rifle Range (12)



# SITE PLAN : ISLANDS PHASE FUTURE

1. Classroom & Administration Building
2. Fitness Center
3. Auditorium & Locker Building
4. EOC & 911 Back-Up Center
5. Parking Lot A
6. Parking Lot B
7. Future Building
8. Future Building
9. K-9 & Mounted Administration Building
10. Mounted Patrol Barn
11. K-9 Paddock
12. Mounted Patrol Paddock
13. Fueling Station
14. Shop & Covered Vehicle Storage
15. Fire Station
16. Observation Tower
17. Collapsed Building
18. Rubble Pile
19. VMR Area
20. Driving Pad
21. Helicopter Pad
22. Driving Course
23. Pavilion
24. Burn Building
25. Airplane Prop
26. Helicopter Prop
27. Pavilion
28. Vehicle Fire
29. Fuel Tanker
30. Gas Meter Prop
31. Fuel Spill
32. Electric Vehicle Fire

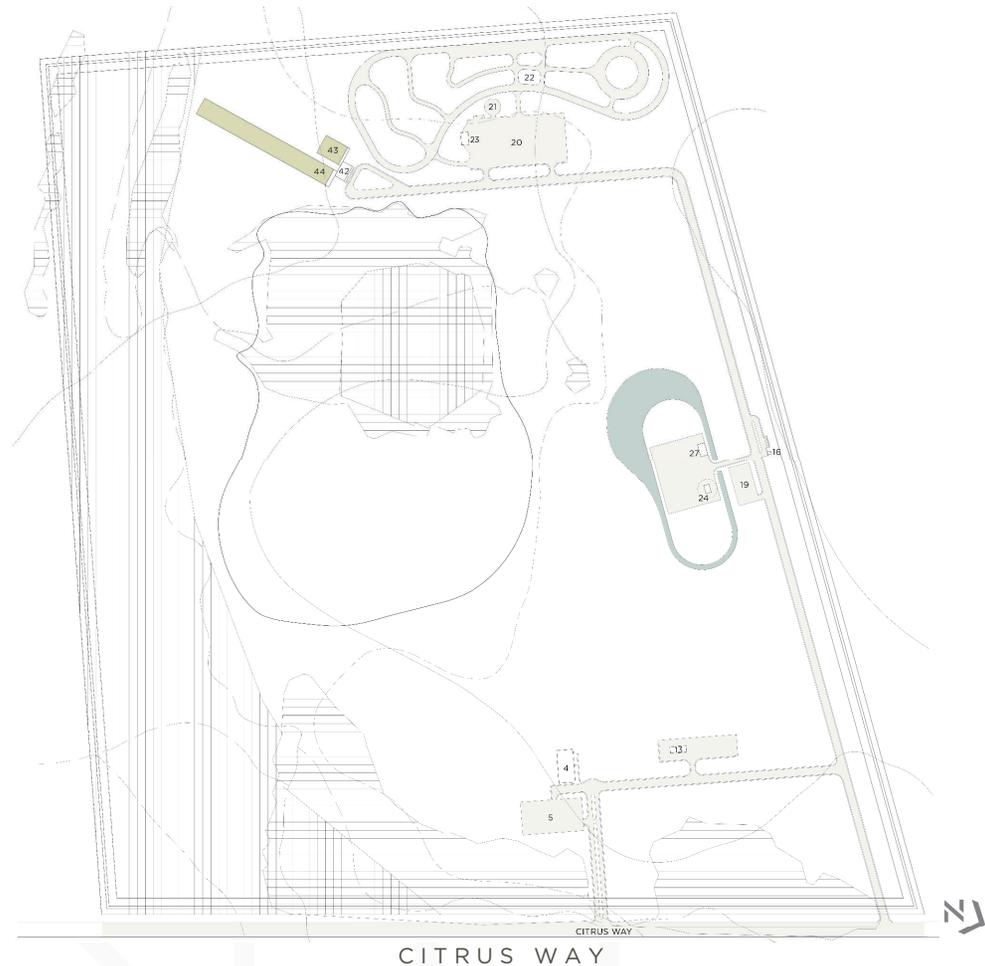
33. Dumpster Prop
34. Rail Tanker
35. Pump Ops
36. Boat Ramp
37. Confined Space
38. Aquatic Training
39. Trench
40. Tactical House
41. Search House
42. Range Building & Storage
43. Shooting Range (24)
44. Rifle Range (12)



# 03 SITE PLAN : ISLANDS PHASE 1

- 1. Classroom & Administration Building
- 2. Fitness Center
- 3. Auditorium & Locker Building
- 4. EOC & 911 Back-Up Center
- 5. Parking Lot A
- 6. Parking Lot B
- 7. Future Building
- 8. Future Building
- 9. K-9 & Mounted Administration Building
- 10. Mounted Patrol Barn
- 11. K-9 Paddock
- 12. Mounted Patrol Paddock
- 13. Fueling Station
- 14. Shop & Covered Vehicle Storage
- 15. Fire Station
- 16. Observation Tower
- 17. Collapsed Building
- 18. Rubble Pile
- 19. VMR Area
- 20. Driving Pad
- 21. Helicopter Pad
- 22. Driving Course
- 23. Pavilion
- 24. Burn Building
- 25. Airplane Prop
- 26. Helicopter Prop
- 27. Pavilion
- 28. Vehicle Fire
- 29. Fuel Tanker
- 30. Gas Meter Prop
- 31. Fuel Spill
- 32. Electric Vehicle Fire

- 33. Dumpster Prop
- 34. Rail Tanker
- 35. Pump Ops
- 36. Boat Ramp
- 37. Confined Space
- 38. Aquatic Training
- 39. Trench
- 40. Tactical House
- 41. Search House
- 42. Range Building & Storage
- 43. Shooting Range (24)
- 44. Rifle Range (12)

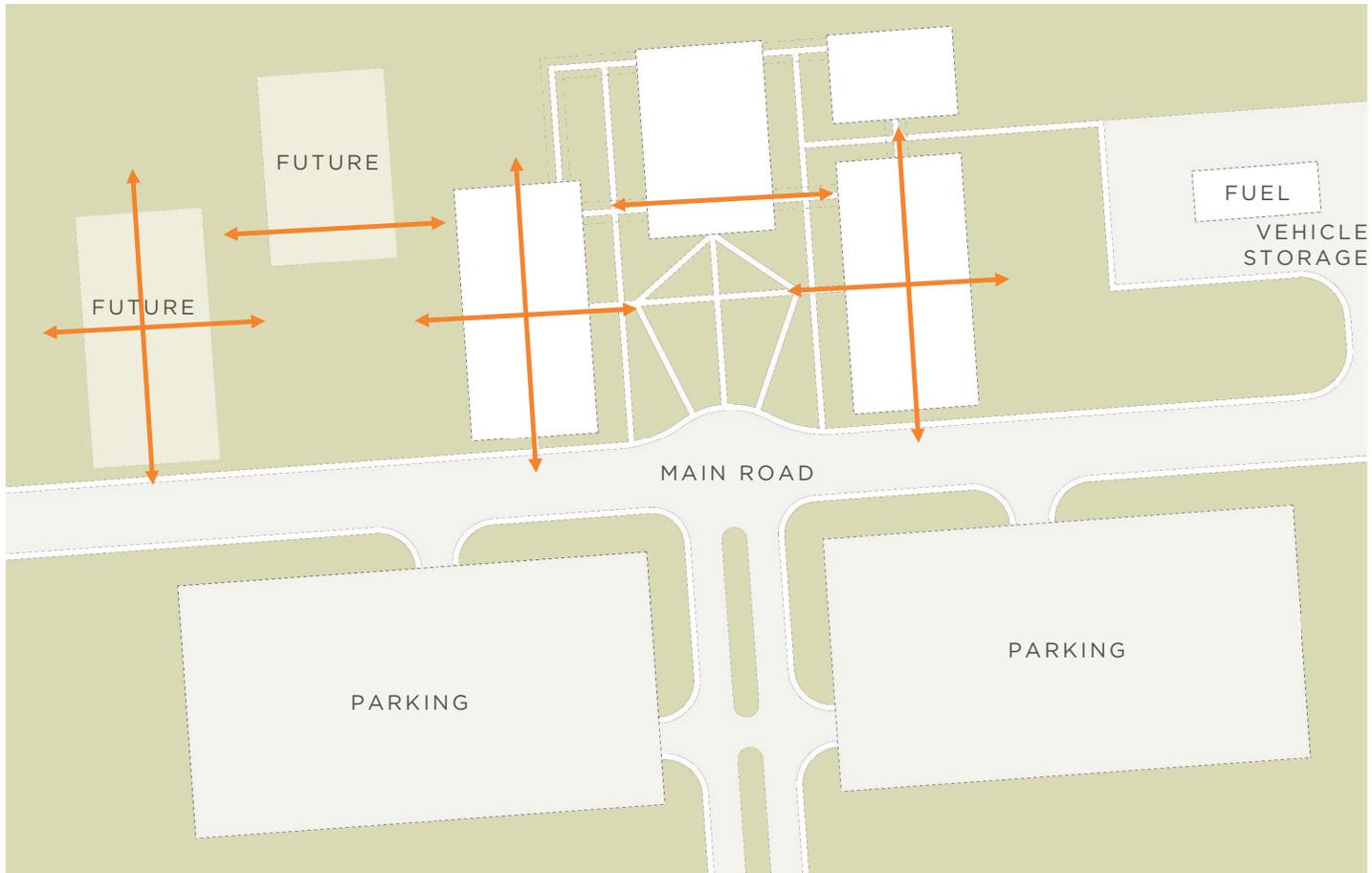


04

# BUILDINGS DIAGRAM



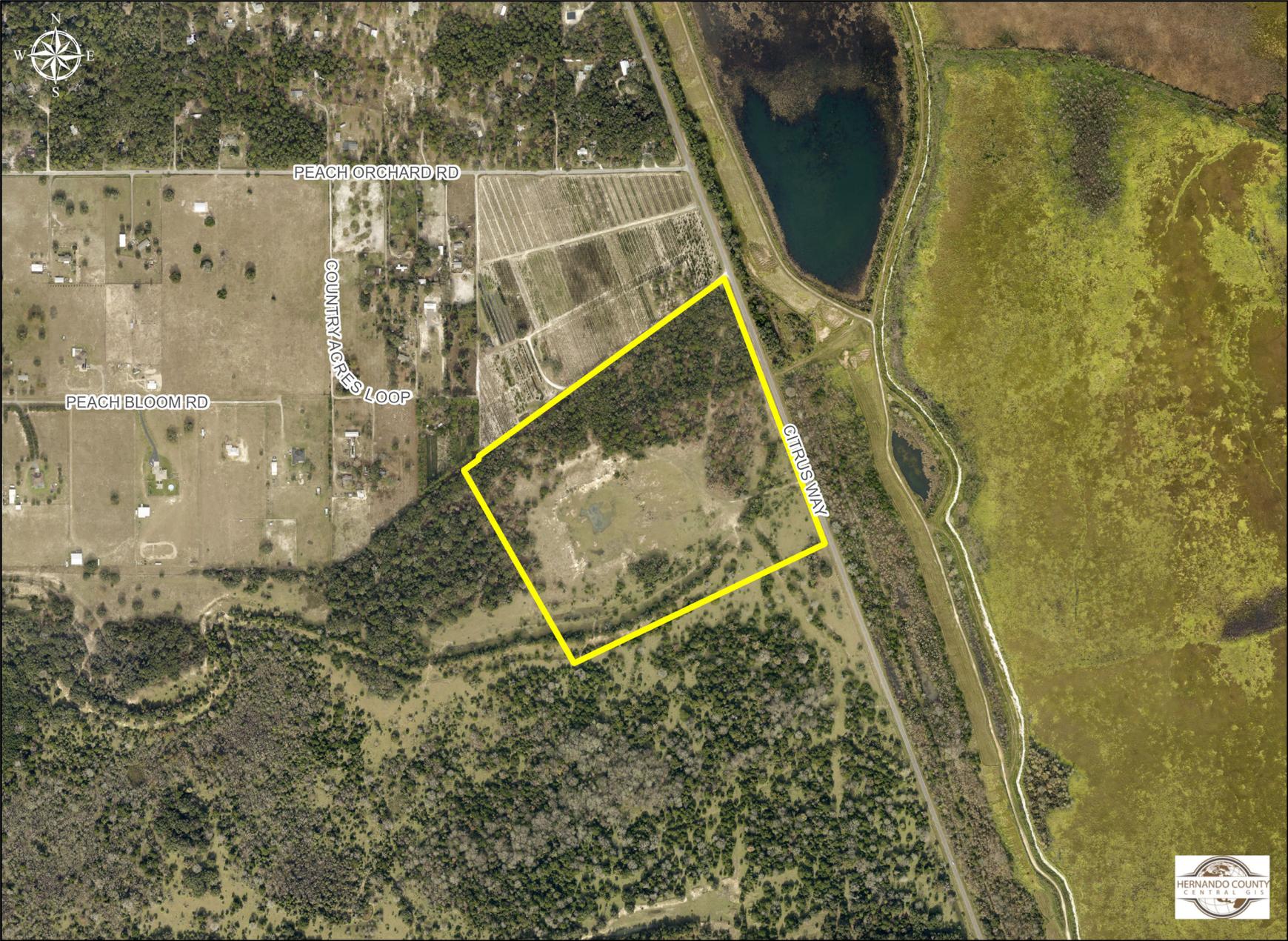
# 03 BUILDING SKETCH : CIRCULATION



# H-24-60

Photo date: 2023

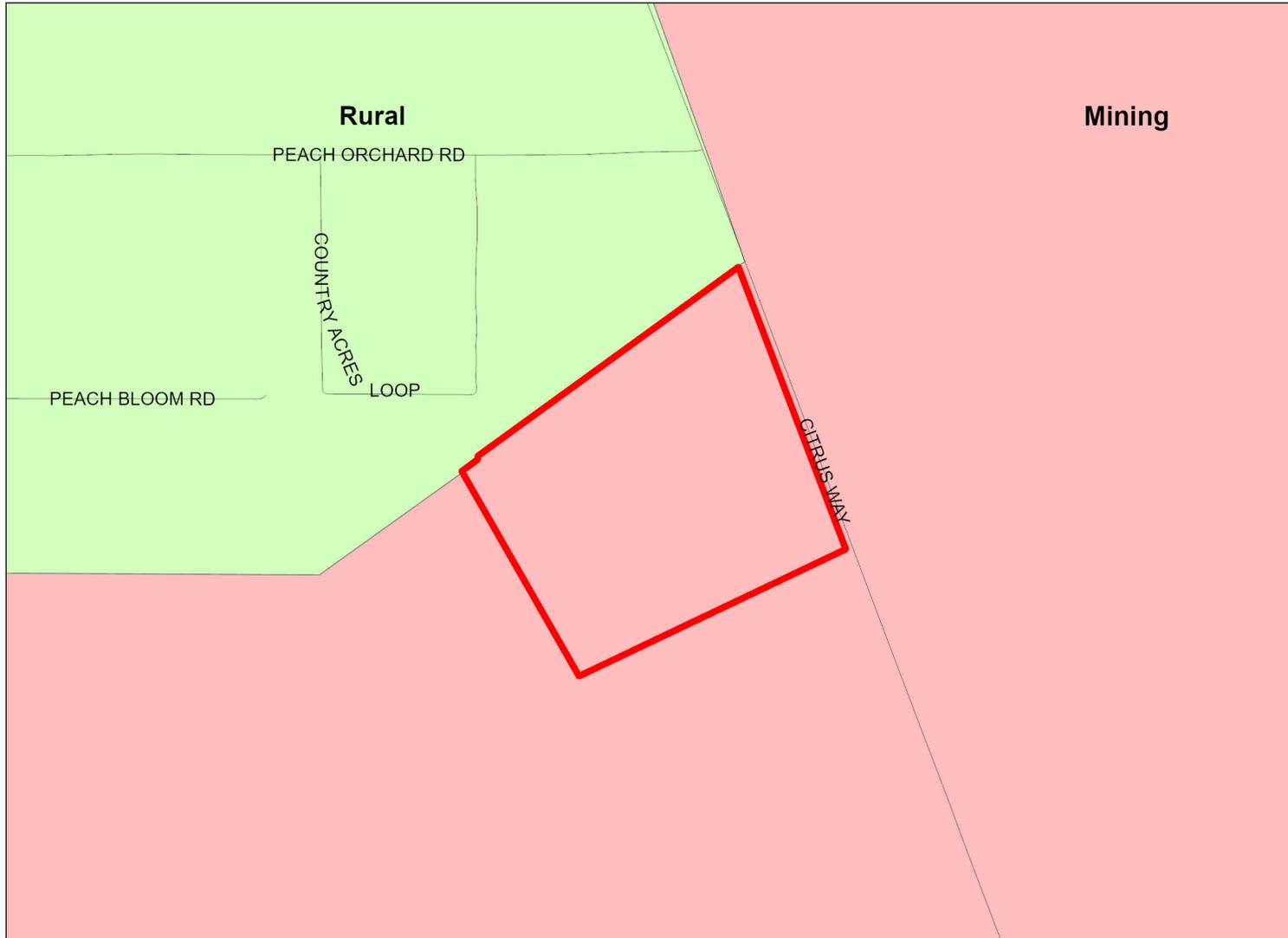
This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



0 0.05 0.1 0.2 0.3 0.4 Miles

# Hernando County Comprehensive Plan Map

Existing Future Land Use: H-24-60  
Version Date: 12/09/2022



	H-24-60
	FLU Riverine District
	Regional Commercial
<b>FLU</b>	
	CITY
	COMMERCIAL
	CONSERVATION
	EDUCATION
	INDUSTRIAL
	MINING
	PLANNED DEVELOPMENT
	PUBLIC FACILITIES
	RECREATION
	RESIDENTIAL
	RURAL

**Future Land Use Map**

PLEASE REFER TO THE TEXT PORTION OF THE COMPREHENSIVE PLAN IN CONJUNCTION WITH THE USE OF THE FUTURE LAND USE MAP SERIES.

NOTE: THE RIVERINE DISTRICT IS SHOWN AS A LINE SETBACK PARALLEL TO THE WEEKI WACHEE, MUD AND WITHLACOOCHEE RIVERS.

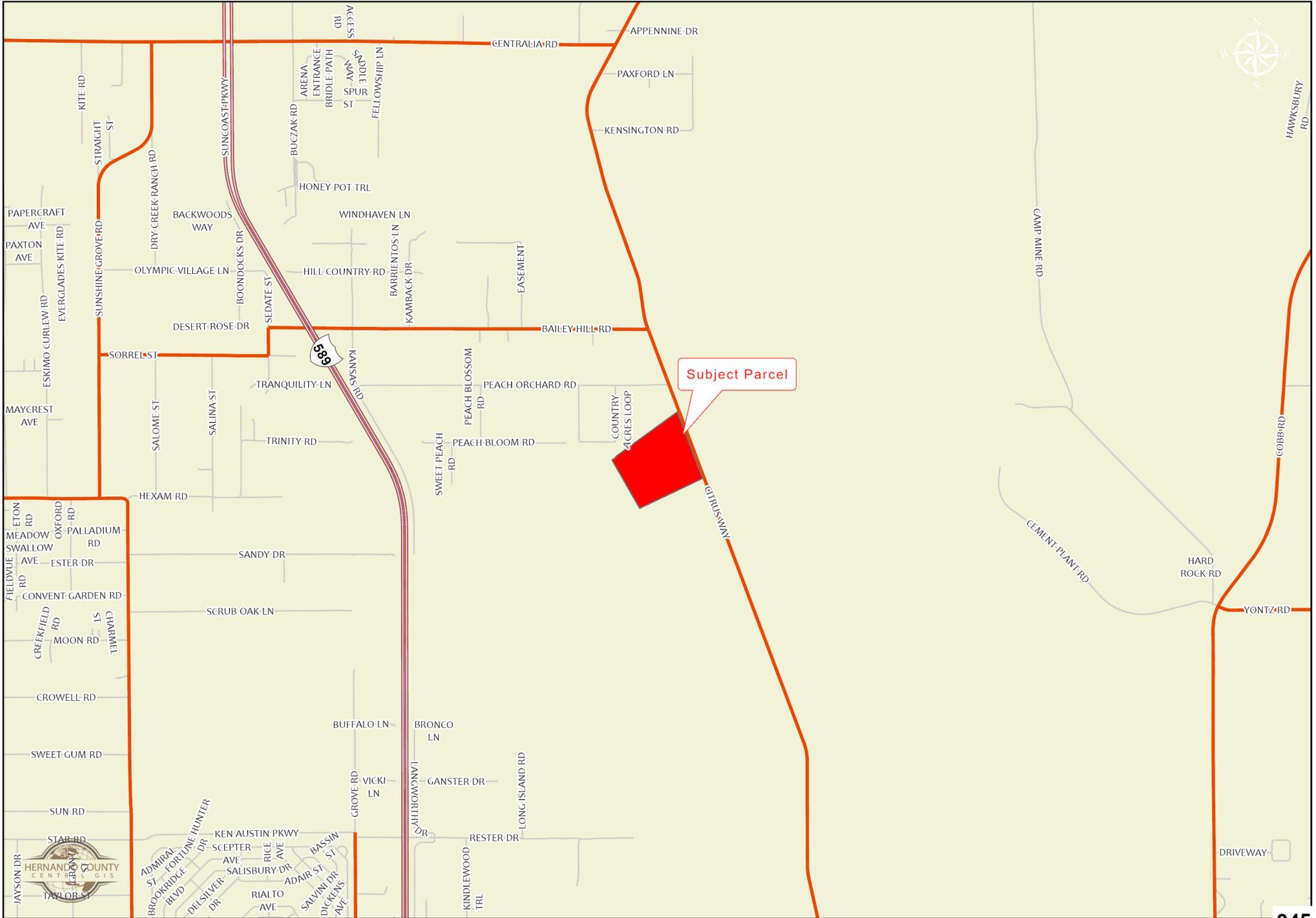


Date of mapping: 10/14/2024



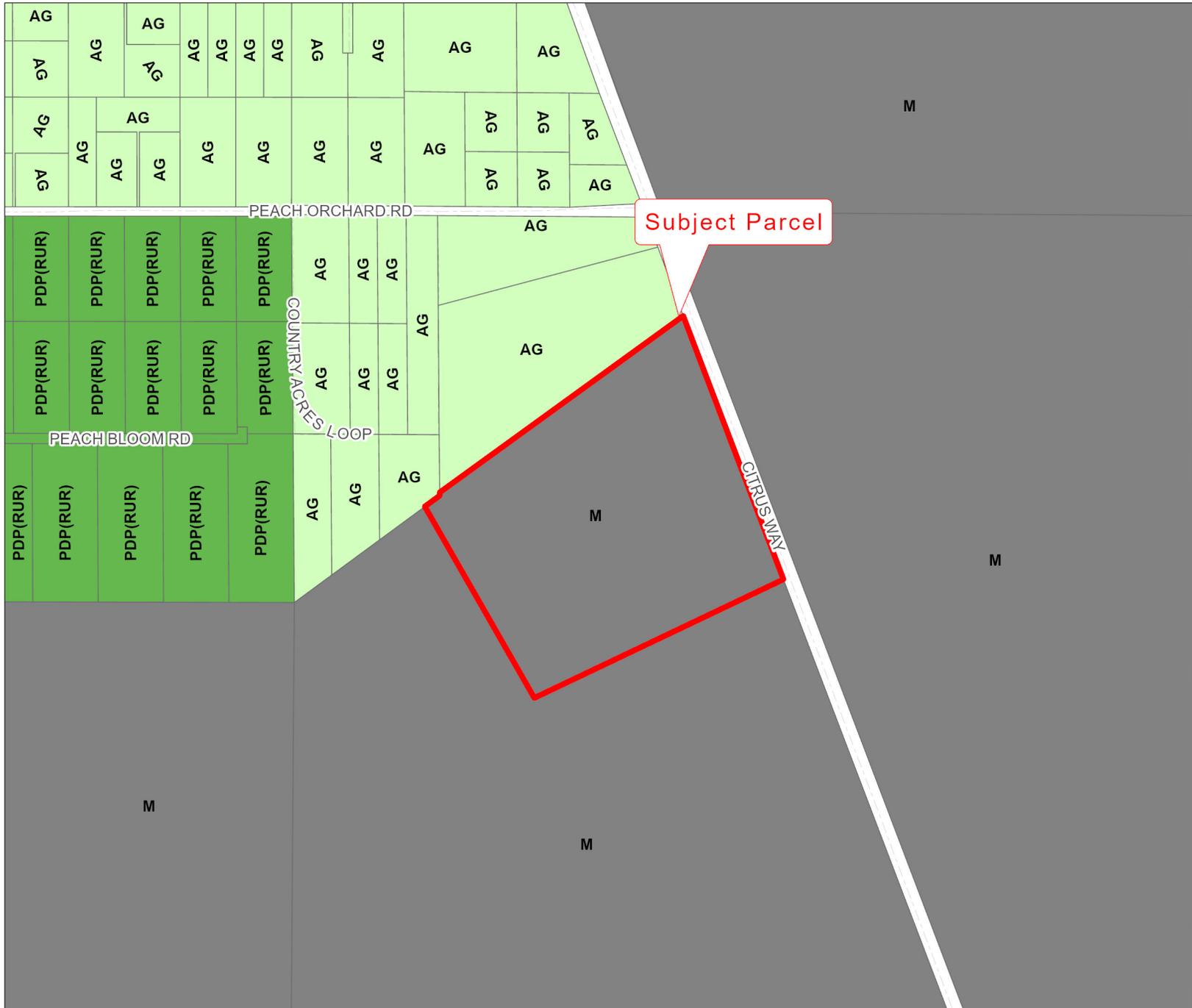
# H-24-60 AREA MAP

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



# H-24-60

This map was prepared by this office to be used as an aid in land parcel location and identification only. All land locations, right-of-way widths, acreages, and utility locations are subject to field survey or other appropriate verification.



Subject Parcel

**Zoning:**

AC	PDP(HC)
AG	PDP(HHC)
AR	PDP(HID)
AR1	PDP(IND)
AR2	PDP(LI)
C1	PDP(MF)
C2	PDP(MH)
C3	PDP(NC)
C4	PDP(OP)
CITY	PDP(PSF)
CM1	PDP(REC)
CM2	PDP(RR)
CPDP	PDP(RUR)
CV	PDP(SF)
I1	PDP(SU)
I2	R1A
M	R1B
OP	R1C
PDP(AF)	R1MH
PDP(CM)	R2
PDP(CP)	R2.5
PDP(GC)	R3
PDP(GHC)	RC
	RM

City Zoning Pending

