

Freedom Ridge Subdivision

Conditional Plat

Parcel Key Numbers 1302922, 424231, 424222, 1428440

Spring Hill, Hernando County, FL, 34613

UTILITY CONTACTS:

POWER
SALT RIVER PROJECT (SRP)
PH: 602.236.8811

GAS
SOUTHWEST GAS
PH: 602.271.4277

WATER & SEWER
CITY OF PHOENIX
PH: 602.261.8000

ROAD CLOSURES
CITY OF PHOENIX STREETS DEPARTMENT
PH: 602.262.6441

CABLE, PHONE & INTERNET
CENTURY LINK COMMUNICATIONS
PH: 877.348.9007

COX COMMUNICATIONS
PH: 602.277.1000

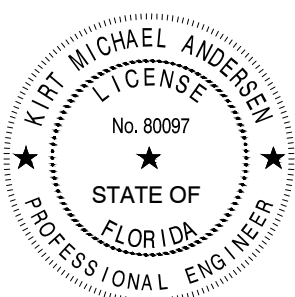
UTILITY WARNING!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



PRIORITY ENGINEERING, LLC



Engineer's Seal



Certification

(1) This item has been electronically signed and sealed by Kirt M. Andersen, PE, using a Digital Signature.
(2) Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Kirt M. Andersen, State of Florida, Professional Engineer, License No. 80097.
This item has been electronically signed and sealed by Kirt M. Andersen, PE, as dated on a Digital Signature.

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North	SCALE

Project
FREEDOM RIDGE SUBDIVISION

Project Location
SPRING HILL, HERNANDO COUNTY, FLORIDA 34613

Sheet Name
COVER SHEET

**ISSUED FOR
CONDITIONAL PLAT
APPROVAL**

Revisions

REV	ISSUED FOR	ISSUE DATE	BY
1	COND PLAT COMMENTS HERNANDO COUNTY	3/7/2024	KMA
2	COND PLAT ADD COMMENTS HERNANDO COUNTY	6/5/2024	RBL

Date: 06/24/2022

Reviewed By: BF

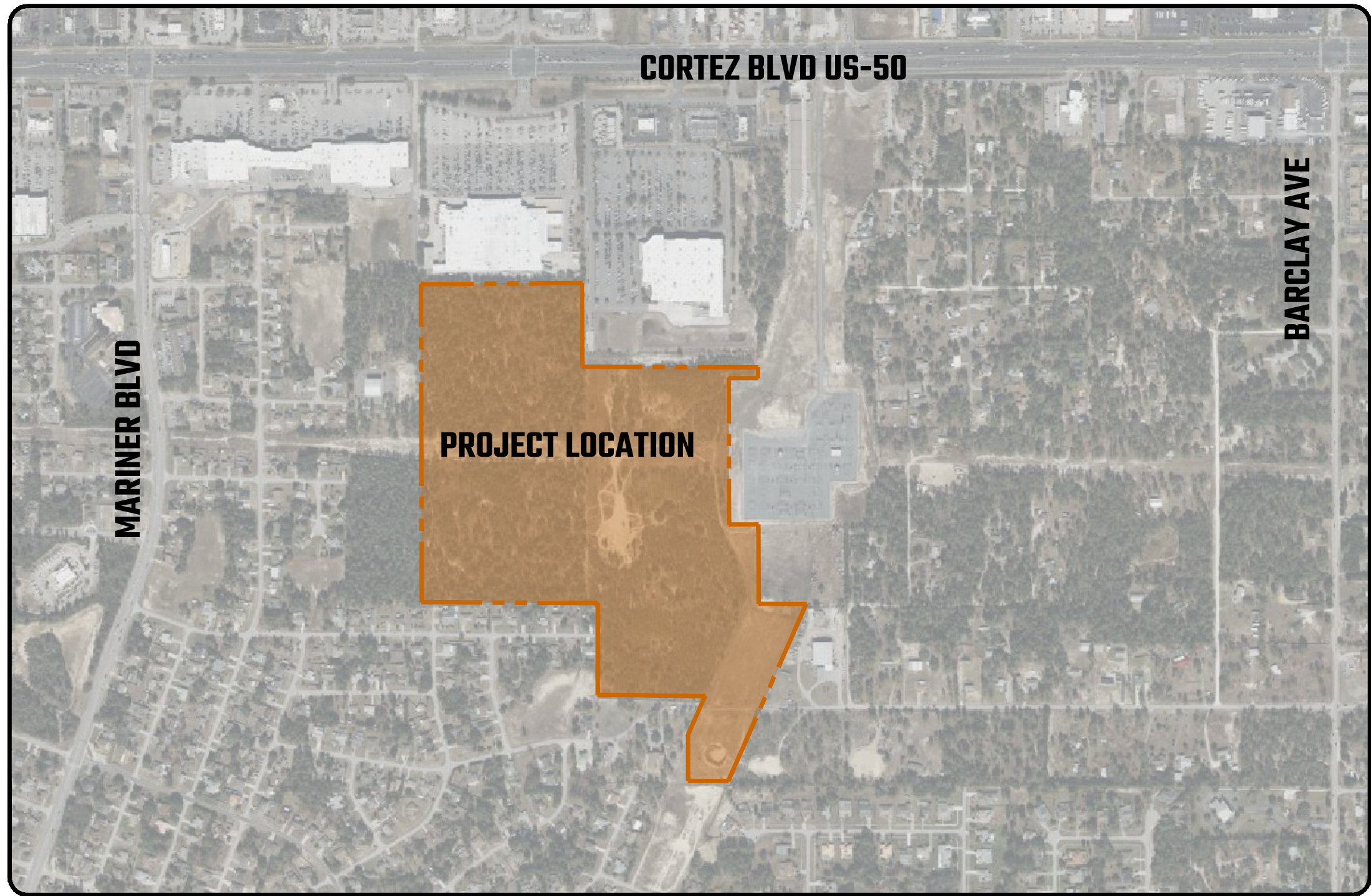
ENG/CADD: BH

Checked By: KMA

PE Project No. 22-0008

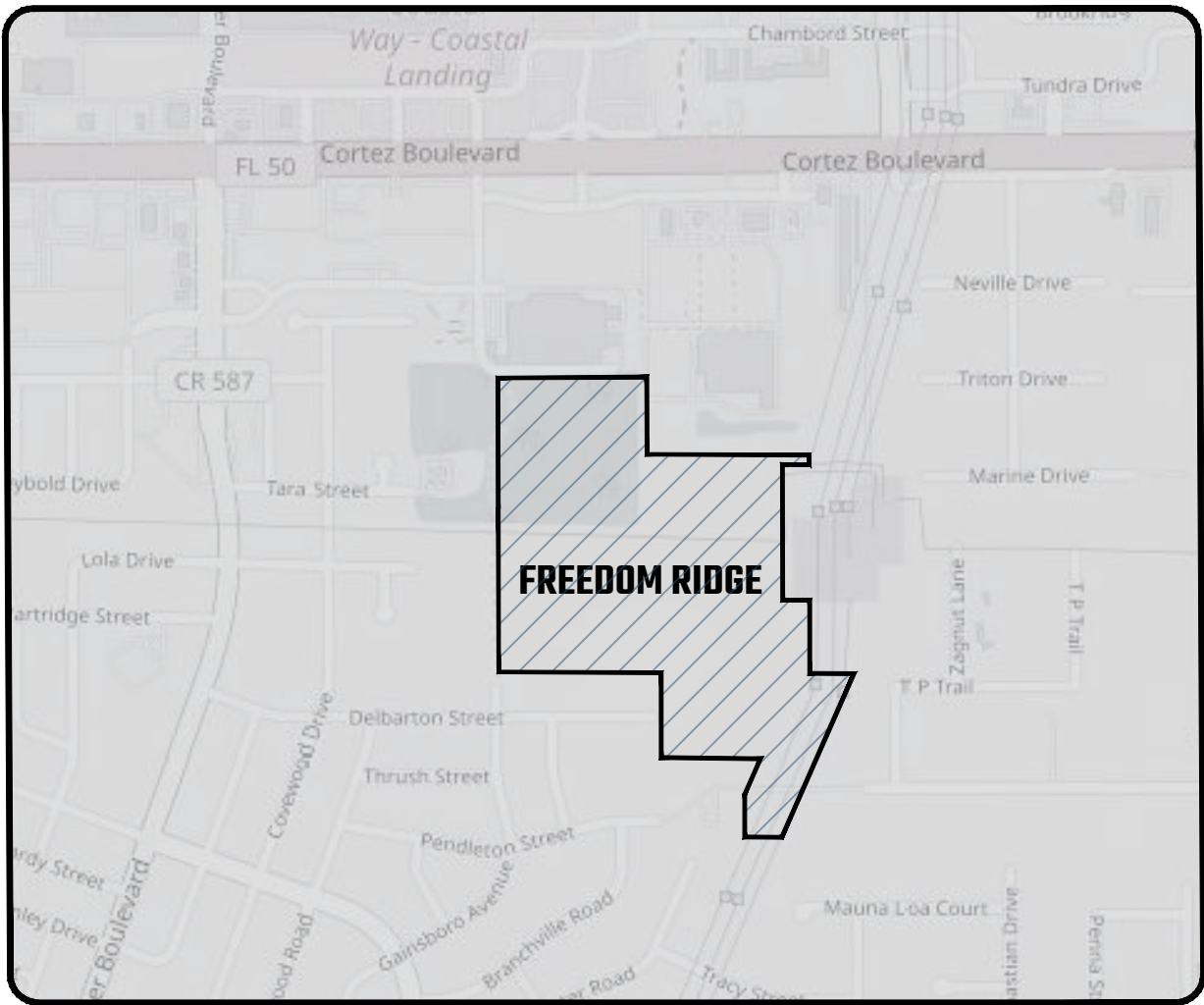
Sheet No.
T-100

DRAWING NOTE: SCALE SHOWN IS MEANT FOR 22" X 34" AND WILL SCALE INCORRECTLY IF PRINTED ON ANY OTHER SIZE MEDIA. RESIZES TO 1" X 17". NO REPRODUCTION SHALL BE MADE WITHOUT PRIOR CONSENT OF PRIORITY ENGINEERING, LLC. © 2022



OVERALL SITE PLAN

NOT TO SCALE



SITE LOCATION MAP

NOT TO SCALE



COUNTY MAP

NOT TO SCALE

LEGAL DESCRIPTION:

The land referred to herein below is situated in the County of Hernando, State of Florida, and described as follows:

Parcel 1:
Lot 2 of DONRICH AND EVANS HI-PARK SUBDIVISION, according to the plat thereof as recorded in Plat Book 33, pages 36 and 37, of the Public Records of Hernando County, Florida.

Parcel 2:
The Southeast ¼ of the Southeast ¼ of Section 33, Township 22 South, Range 18 East, Hernando County, Florida.

Less the following described parcel:
Beginning at the Southwest corner of the Southeast ¼ of the Southeast ¼ of said Section 33, Township 22 South, Range 18 East; run North 234.5 feet; thence East 480 feet; thence South 234.5 feet; thence West 480 feet to the point of beginning.

Also less the following described parcel:
Commence at the Southwest corner of the Southeast ¼ of the Southeast ¼ of Section 33, Township 22 South, Range 18 East, Hernando County, Florida, said point of commencement being also the Northwest corner of Lot 16, Block 1341, SPRING HILL UNIT 20, as recorded in Plat Book 8, pages 65-80, inclusive, Public Records of Hernando County, Florida; thence North 00°07'10" West along the West line of said Southeast ¼ of the Southeast ¼ and along the East line of said SPRING HILL UNIT 20, a distance of 234.50 feet to the point of beginning; thence continue North 00°07'10" West, a distance of 220.35 feet; thence South 89°19'28" East, a distance of 562.93 feet to the Westerly right-of-way line of the Florida Power Corporation easement as it now exists; thence South 23°44'27" West along said Westerly right-of-way line, a distance of 203.41 feet; thence South 00°07'10" East, a distance of 10.91 feet; thence North 89°38'13" West, a distance of 480.00 to the point of beginning.

Also less the following described parcel:
That portion of the Southeast ¼ of the Southeast ¼ of Section 33, Township 22 South, Range 18 East, Hernando County, Florida, lying Easterly of the Florida Power Corporation easement being described in Official Records Book 110, page 244, of the Public Records of Hernando County, Florida.

LEGAL DESCRIPTION: (PARAGON ACQUISITIONS)

The land referred to herein below is situated in the County of HERNANDO, State of Florida, and described as follows:

Commence at the NE corner of the West 1/2 of Lot 15 of EVANS HI PARK SUBDIVISION, as per plat thereof, recorded in Plat Book 6, Page 25, of the Public Records of Hernando County, Florida; thence run South along the East line of said West 1/2 of Lot 15 to the South line of said subdivision (being the SE corner of the West 1/2 of said Lot 15); thence run East to the SW corner of Donrich Subdivision, as recorded in Plat Book 12, Page 92, of the Public Records of Hernando County, Florida; thence run North along the West line of said Donrich Subdivision to the South right of way of State Road 50 (being the NW corner of said Donrich Subdivision and West of the Point of Beginning); thence run West along the South right of way of State Road 50 to the Point of Beginning, SUBJECT TO Interpretation by the United States Department of the Interior ruling recorded in Deed Book 114, Page 367, of the Public Records of Hernando County, Florida.

LESS the North 1100 feet thereof as described in Warranty Deed recorded in Official Records Book 1048, Page 1159, of the Public Records of Hernando County, Florida.

TOGETHER WITH all of Grantor's rights in the Easement over a portion of vacated Lot 15 of said EVANS HI PARK SUBDIVISION, as described in Easement found in Deed recorded in Official Records Book 1048, Page 1159, and Easements recorded in Book 1048, Page 1166 and Book 1048, Page 1169, of the Public Records of Hernando County, Florida.

ALL being a part of Lots 10, 11, 12, 13, 14 and the East 1/2 of Lot 15, EVANS HI PARK SUBDIVISION, as per map or plat thereof, as recorded in Plat Book 6, Page 25, AND as vacated in Official Records Book 1047, Page 363, as corrected by instrument recorded in Official Records Book 1050, Page 1238, of the Public Records of Hernando County, Florida.

PROJECT DESCRIPTION:

PROJECT INCLUDES DEVELOPMENT OF A 246 LOT RESIDENTIAL SUBDIVISION , ROADS AND SUPPORTING UNDERGROUND INFRASTRUCTURE.

FLOODPLAIN NOTE:

The subject property lies in Flood Zone "X", according to Flood Insurance Rate Map, Map No. 12053C01890 for Hernando County, Community No. 120110, Hernando County, Florida, dated February 2, 2012 and issued by the Federal Emergency Management Agency. Lines shown have been digitally translated from DFIRM database information supplied by the FEMA Map Service Center <https://msc.fema.gov>.

GENERAL NOTES

- REGULATIONS - ALL CONSTRUCTION SHALL BE DONE IN A WORKMAN LIKE MANNER AND SHALL CONFORM TO ALL COUNTY, STATE AND FEDERAL REGULATIONS AND OR CODES INCLUDING BUT NOT LIMITED TO THE CURRENT HERNANDO COUNTY ORDINANCES (FOOT) LATEST REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND LICENSES TO BEGIN WORK AND PAY ALL REQUIRED FEES ASSOCIATED WITH SAME.
- STANDARD DETAILS AND SPECIFICATIONS - STATE, COUNTY AND CITY CONSTRUCTION DETAILS AND SPECIFICATIONS SHALL BE APPLIED TO THE APPROPRIATE AREAS OF THE PLANS, GENERALLY DIFFERENTIATED BY PROPERTY OWNERSHIP LINES OR INTENT OF THE DESIGN. ANY CONFLICTS BETWEEN GOVERNING STANDARDS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- DATUM - UNLESS OTHERWISE NOTED, ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). HORIZONTAL DATA SHOWN HEREON REFERS TO N.A.D. 83 FLORIDA STATE PLANE WEST ZONE. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE CONSTRUCTION BEGINS OR RESUMES.
- CHANGES - ALL CHANGES SHALL BE SUBMITTED IN WRITING AND APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- GUARANTEES - THE CONTRACTOR SHALL GUARANTEE ALL WORK AND MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF PROJECT ACCEPTANCE, DURING WHICH ALL FAULTY CONSTRUCTION AND/OR MATERIAL SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
- SHOP DRAWINGS - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR REVIEW AND PRECWDU APPROVAL. STRUCTURE SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL STRUCTURAL ENGINEER REGISTERED IN THE STATE OF FLORIDA.
- MAINTENANCE OF TRAFFIC (M.O.T.) - UNLESS OTHERWISE PERMITTED, THE CONTRACTOR SHALL MAINTAIN EXISTING PEDESTRIAN AND VEHICULAR TRAFFIC AND ACCESS AT ALL TIMES DURING CONSTRUCTION AND SHALL PROVIDE THE NECESSARY TEMPORARY PAVEMENT, BARRICADES, LIGHTING, SIGNS, FLAGMEN, ETC. FOR THE SAFETY OF THE PUBLIC. THE CONTRACTOR SHALL SUBMIT M.O.T. AND A.D.A. ACCESS PLANS TO THE ENGINEER FOR REVIEW AND CITY, COUNTY AND STATE APPROVAL OF WORK TO BE DONE WITHIN THEIR RIGHTS OF WAY. M.O.T. SHALL BE IN ACCORDANCE WITH A.D.A., M.U.T.C.D. AND F.O.D.O.T. INDEX SERIES 600.
- RECORD DRAWINGS - THE CONTRACTOR SHALL SUBMIT RECORD DRAWINGS TO THE ENGINEER FOR REVIEW AND APPROVAL. RECORD DRAWINGS MUST BE SIGNED AND SEALED BY A PROFESSIONAL SURVEYOR REGISTERED IN THE STATE OF FLORIDA AND BE REFERENCED TO THE DATUM SHOWN IN THE CONSTRUCTION PLANS. ANY UNMARKED UTILITIES ENCOUNTERED DURING CONSTRUCTION SHALL BE INCORPORATED INTO THE RECORD DRAWINGS. ALL UTILITIES MUST BE SHOWN IN THEIR AS-BUILT LOCATION.
- RESPONSIBILITY - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND MATERIAL OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. THE APPROPRIATE UTILITY COMPANY SHALL BE NOTIFIED PRIOR TO ANY CONSTRUCTION IN OR AROUND THAT UTILITY. CALL "SUNSHINE STATE ONE CALL" AT 1-800-432-4270 PRIOR TO ANY EXCAVATION. THE ENGINEER AND OWNER SHALL BE HELD HARMLESS AGAINST ALL CLAIMS OR DAMAGES.
- RESTORATION - THE CONTRACTOR SHALL IMMEDIATELY REPAIR AND RESTORE EXISTING SITE FEATURES INCLUDING PAVEMENT, DRIVEWAYS, PIPES, FENCES, TRAFFIC CONTROL DEVICES, MAILBOXES AND PROPERTY CORNERS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES. THE REPAIR AND RESTORATION SHALL CONFORM TO APPLICABLE STANDARDS AS GOVERNEO.
- OPEN TRENCHES - ALL OPEN TRENCHES AND HOLES SHALL BE PROPERLY MARKED AND BARRICADED TO INSURE THE SAFETY OF VEHICULAR AND PEDESTRIAN TRAFFIC. NO OPEN TRENCHES OR HOLES SHALL BE LEFT OPEN DURING NIGHT TIME HOURS WITHOUT EXPRESSED PERMISSION FROM THE OWNER, ENGINEER AND REGULATING AGENCIES. ALL TRENCHES SHALL COMPLY WITH OSHA TRENCH SAFETY ACT PROVISIONS.
- CONFLICTS - ANY CONFLICTING INFORMATION BETWEEN REGULATING AGENCIES AND THE CONSTRUCTION DOCUMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER. AFFECTED CONSTRUCTION SHALL COME INTO PERSOMENCE OR RESUME UNTIL PERMISSION IS GRANTED BY THE ENGINEER OR OWNER.

CLEARING AND GRUBBING

- CLEARING - CLEARING SHALL BE LIMITED TO THE CONSTRUCTION AREA AND/OR AS DIRECTED BY THE ENGINEER OR OWNER AND APPROVED BY THE COUNTY.
- GRUBBING - ALL STUMPS, ROOTS, BURIED LOGS OR OTHER UNSUITABLE MATERIAL WITHIN THE LIMITS OF PAVEMENT CONSTRUCTION SHALL BE REMOVED TO A DEPTH OF 3 FEET BELOW FINISHED PAVEMENT ELEVATION AND REPLACED WITH CLEAN FILL.
- DEBRIS REMOVAL - ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED. ANY MATERIAL RETAINED ON-SITE FOR MORE THAN 30 DAYS SHALL BE STORED IN CONTAINERS APPROVED BY THE ENGINEER AND COUNTY.
- PROTECTION - THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL EXISTING BUILDINGS, UTILITIES, STRUCTURES THAT ARE ABOVE OR BELOW GROUND AND SHALL HOLD THE ENGINEER AND OWNER HARMLESS AGAINST ALL CLAIMS OR DAMAGES.
- LANDSCAPED AREAS - ALL LANDSCAPE PLANTING AREAS SHALL BE FREE OF BASE ROCK AND CONSTRUCTION DEBRIS AND EXCAVATED TO A MINIMUM DEPTH OF 30" OR TO CLEAN, NATIVE SOIL. REFER TO THE LANDSCAPE PLANS (IF OTHERS) FOR ADDITIONAL PLANTING INFORMATION AND DETAILS.
- MUCK - ANY MUCK ENCOUNTERED WITHIN 10" OF THE PAVEMENT AND BUILDING AREAS SHALL BE REMOVED AND REPLACED WITH CLEAN FILL MATERIAL.
- HARDPAN - HARDPAN ENCOUNTERED IN THE DETENTION AREA SHALL BE REMOVED AND REPLACED WITH CLEAN, GRANULAR FILL MATERIAL.

URBAN FORESTRY PERMIT NOTES 2021

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL TREES WITHIN THE VICINITY OF THE PROPOSED CONSTRUCTION IN ACCORDANCE WITH CHAPTER 27 OF THE HERNANDO COUNTY CODE. TREE REMOVAL IS NOT AUTHORIZED WITHOUT PRIOR APPROVAL FROM THE HERNANDO COUNTY PARKS AND RECREATION URBAN FORESTRY MANAGER.
- PRUNING OF BRANCHES IS NOT AUTHORIZED WITHOUT PRIOR APPROVAL FROM THE HERNANDO COUNTY PARKS AND RECREATION URBAN FORESTRY MANAGER AND SHALL BE COMPLETED BY/UNDER THE SUPERVISION OF AN INTERNATIONAL SOCIETY OF ARBORICULTURE CERTIFIED ARBORIST. PRUNING OF CHAPTER 27 DESIGNATED GRAND TREES WILL REQUIRE AN ADDITIONAL GRAND TREE PRUNING
- EXCAVATION WITHIN THE PROTECTIVE RADIUS OF TREES IS NOT AUTHORIZED WITHOUT PRIOR APPROVAL FROM THE HERNANDO COUNTY PARKS AND RECREATION URBAN FORESTRY MANAGER AND MAY REQUIRE ROOT PRUNING WITH THE APPROPRIATE EQUIPMENT TO ASSURE ROOTS ARE SEVERED CLEAN. THE PROTECTIVE RADIUS IS DEFINED AS:
 - 10 FEET RADIUS FOR PROTECTED TREES (CHAPTER 27 - TREES GREATER THAN 5 INCHES IN DIAMETER AT 4.5 FEET)
 - 15 FEET RADIUS FOR SPECIMEN TREES (CHAPTER 27 - TREES GREATER THAN 24 INCHES IN DIAMETER AT 4.5 FEET)
 - 20 FEET RADIUS FOR GRAND TREES (CHAPTER 27 - TREES GREATER THAN 32 INCHES IN DIAMETER AT 4.5 FEET)
- ROOTS 2" OR GREATER SHALL NOT BE PRUNED WITHOUT PRIOR APPROVAL FROM THE HERNANDO COUNTY PARKS AND RECREATION URBAN FORESTRY MANAGER.
- FOR QUESTIONS REGARDING THESE REQUIREMENTS, PLEASE CONTACT THE HERNANDO COUNTY PARKS AND RECREATION URBAN FORESTRY MANAGER AT 913-274-5137 OR 913-557-6482. STAFF IS AVAILABLE TO MEET WITH THE CONTRACTOR TO GO OVER THESE COMMENTS.

FIELD OBSERVATIONS AND TESTING

- NOTIFICATION - THE CONTRACTOR SHALL NOTIFY THE ENGINEER, GOVERNMENT AND OTHER PERMITTING AGENCIES 48 HOURS PRIOR TO SCHEDULING FIELD OBSERVATIONS AND SHALL SUPPLY ALL EQUIPMENT NECESSARY TO TEST THE COMPLETED WORK. CALL "SUNSHINE ONE CALL" AT 1-800-432-4270 PRIOR TO ANY EXCAVATION.
- THE UNDERGROUND CONTRACTOR SHALL SUBMIT ALL RECORD DATA, SIGNED AND SEALED BY A PROFESSIONAL SURVEYOR AND MAPPER REGISTERED IN THE STATE OF FLORIDA, TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CURB AND PAVEMENT CONSTRUCTION. ANY NECESSARY ADJUSTMENTS AT THIS TIME SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- DRAINAGE PIPES AND STRUCTURES SHALL BE INSPECTED BY THE ENGINEER AND COUNTY PRIOR TO BACKFILLING. ALL DRAINAGE SYSTEMS SHALL BE PUMPED DOWN TO BELOW THE INVERT AND LAMPED AS A REQUIREMENT OF THE FINAL DRAINAGE INSPECTION.
- ALL TESTS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF FLORIDA AND ARE TO BE PAID FOR BY THE CONTRACTOR.
- THE BASE ROCK CHEMICAL AND SIEVE ANALYSIS AND THE ASPHALT MIX AND DESIGN CRITERIA SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
- PROCTOR AND DENSITY TESTS FOR SUBGRADE AND BASE MATERIAL SHALL BE TAKEN AS DIRECTED BY THE ENGINEER. PAYING DENSITY TESTS SHALL BE TAKEN A MINIMUM OF ONE PER 500 S.Y.
- DENSITY TEST FOR PIPE TRENCHES SHALL BE TAKEN AT THE PIPE SPRING-LINE AND AT MAXIMUM ONE FOOT (1') LIFTS AS MEASURED FROM THE TOP OF PIPE. THE TESTS SHALL BE TAKEN AT A MAXIMUM SPACING OF EVERY 300 FEET MEASURED FROM THE STRUCTURE OR AT LEAST ONE TEST AT THE CENTER OF THE PIPE SEGMENT BETWEEN TWO STRUCTURES IF LESS THEN 300 FEET. TESTS SHALL BE TAKEN ON ALL SIDES WITHIN FIVE (5') OF EACH STRUCTURE. THE TEST LOCATION AT THE STRUCTURE SHALL BE ON ALTERNATING SIDES OF THE STRUCTURE WITH EACH LIFT TESTED. THE LOCATION AND DEPTH OF ALL TESTS SHALL BE CLEARLY INDICATED IN THE DESCRIPTION AREA ON THE TEST REPORT OR ILLUSTRATED IN A MAP.
- TESTING - TEST RESULTS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL. TESTING REQUIREMENTS SHALL INCLUDE, BUT MAY NOT BE LIMITED TO, BACKFILL DENSITY, PIPELINE INTEGRITY (HYDROSTATIC PRESSURE) AND ANY OTHERS REQUIRED BY THE ENGINEER, PRECWDU OR PERMITTING AGENCIES.

MAINTENANCE OF TRAFFIC

- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MAINTENANCE OF TRAFFIC, INCLUDING SIGNAGE AND BARRICADES AS NEEDED IN ACCORDANCE WITH APPLICABLE PERMITS AND HERNANDO COUNTY PUBLIC WORKS DEPARTMENT.
- MOT WITHIN FOOT RIGHT OF WAY AND SURROUNDING COUNTY STREETS SHALL CONFORM TO THE FOOT STANDARD INDEX 102 SERIES AS APPROPRIATE.
- CONTRACTOR SHALL PROVIDE 24 HOURS NOTICE TO LOCAL EMERGENCY SERVICES DEPARTMENT(S) WHENEVER CONSTRUCTION ACTIVITIES ARE EXPECTED TO IMPEDE NORMAL TRAFFIC FLOW.
- THE CONTRACTOR SHALL SUBMIT MAINTENANCE OF TRAFFIC PLANS TO APPROPRIATE REGULATORY AGENCIES HAVING JURISDICTION OVER IMPACTED ROADWAYS. CONSTRUCTION SHALL NOT COMMENCE WITHIN ROW UNTIL MOT APPROVALS FOR IMPACTED ROAD ARE RECEIVED.

PAVING AND DRAINAGE

- SUBGRADE - SUBGRADE SHALL BE COMPACTED TO 98% MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T-100 (ASTM-1557) SPECIFICATIONS. ALL STUMPS, ROOTS, AND OTHER DELETERIOUS MATERIAL ENCOUNTERED SHALL BE REMOVED TO A DEPTH OF 3 FEET BELOW FINISHED ROAD GRADE AND REPLACED WITH CLEAN FILL COMPACTED TO NOT LESS THAN 100% OF MAXIMUM DENSITY. ALL SUCH MATERIAL SHALL BE REMOVED FROM WITHIN 8 FEET OF THE EDGE OF PAVEMENT. STABILIZED SUBGRADE SHALL CONFORM TO SECTION 16B OF FOOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND HAVE A MINIMUM LBR OF 40.
- BASE - APPROVED SHELLOCK AND LIME ROCK SHALL CONFORM TO APPLICABLE SECTIONS OF THE LATEST FOOT SPECIFICATIONS. BASE COURSE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-100 (ASTM 1557). PRIME COAT MINIMUM APPLICATION RATE OF 0.10 GAL/S.Y. TACK COAT MINIMUM APPLICATION RATE OF 0.05 GAL/S.Y.
- ASPHALT CONCRETE - STRUCTURAL AND SURFACE COURSES SHALL CONFORM TO APPLICABLE SECTIONS OF THE CURRENT FOOT SPECIFICATIONS.
- STRUCTURES - INLETS AND MANHOLES SHALL BE AS SPECIFIED ON THE PLANS AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE CURRENT FOOT SPECIFICATIONS. INLET GRATES SHALL BE SECURED IN ACCORDANCE WITH FOOT INDEX NO 201.
- PIPES - DRAINAGE PIPES SHALL CONFORM WITH THE APPLICABLE SECTIONS OF THE CURRENT FOOT SPECIFICATIONS.
- REINFORCING STEEL - ALL REINFORCING STEEL SHALL CONFORM TO ASTM A - 615 SPECIFICATIONS.
- CONCRETE - CONCRETE SHALL DEVELOP A 28-DAY MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE NOTED ON THE PLANS AND SHALL CONFORM TO THE APPLICABLE SECTIONS OF THE CURRENT FOOT SPECIFICATIONS.
- PIPE BACKFILL - PIPE BACKFILL SHALL CONFORM TO THE APPLICABLE SECTIONS OF THE CURRENT FOOT SPECIFICATIONS. PIPE BACKFILL SHALL BE PLACED IN 6" LIFTS AND COMPACTED TO NOT LESS THAN 100% MAXIMUM DENSITY AS DEFINED BY AASHTO T-100.
- TRAFFIC CONTROL DEVICES - ALL TRAFFIC CONTROL DEVICES, PAVEMENT MARKINGS AND SIGNS SHALL BE AS DEFINED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD), HERNANDO COUNTY TYPICAL R-10 AND/OR THE CURRENT FOOT SPECIFICATIONS, WHERE APPLICABLE. THERMOPLASTIC MATERIAL SHALL BE USED FOR FINAL PAVEMENT MARKINGS EXCEPT PARKING SPACES. IF PAPER BRICKS ARE USED IN MARKED PAVEMENT, BRICKS OF APPROPRIATE COLOR AND CONTRAST SHALL BE USED IN LIEU OF PAINT OR THERMOPLASTIC MATERIAL. PAINT MAY BE USED FOR TEMPORARY STRIPING.
- WHERE CONNECTIONS TO AN EXISTING DRAINAGE SYSTEM ARE PROPOSED, SAID EXISTING DRAINAGE STRUCTURES AND LINES SHALL BE CLEANED OF ALL SILT AND OTHER DEBRIS PRIOR TO SAID CONNECTIONS BEING MADE, AND WHERE THE EXISTING DRAINAGE SYSTEM INCLUDES DITCHES, SAID DITCHES SHALL BE CLEANED AND REWORKED, AS NECESSARY, TO RESTORE THEM TO AN APPROVED DESIGN SECTION. DRAINAGE SYSTEMS ARE TO BE CLEANED AND/OR GRADED TO THE POINT OF LEGAL POSITIVE OUTFALL.
- ALL HANDICAP ACCESSIBLE RAMPS SHALL MEET ALL APPLICABLE LOCAL, STATE, AND FEDERAL ACCESSIBILITY GUIDELINES AND REGULATIONS. ANY MODIFICATIONS SHALL BE APPROVED BY THE ENGINEER OF RECORD. HANDICAP PARKING SIGNS SHALL BE PLACED A) BEHIND THE SIDEWALK OR B) ATTACHED TO BUILDING WALLS IN AREAS WHERE A SIDEWALK AND/OR BUILDING ABOUTS THE STALL OR C) OUTSIDE THE TWO (2) FEET OVERHANG AREA WHERE WHEEL STOPS ARE NOT PROVIDED.
- CONTRACTOR SHALL CONTACT HERNANDO COUNTY TRAFFIC OPERATIONS AT 581-233-3800 FORTY-EIGHT (48) HOURS PRIOR TO CONSTRUCTION IF WORK IS BEING DONE WITHIN 10 FEET OF ANY SIGNAL EQUIPMENT
- DAMAGES TO LOOPS OR ANY SIGNAL EQUIPMENT CAUSED BY CONSTRUCTION OF THIS PROJECT MUST BE REPAIRED OR REPLACED TO ORIGINAL OR BETTER CONDITION AT NO COST TO HERNANDO COUNTY.
- MINIMUM PERIMETER BEEM ELEVATION SHALL BE EQUAL OR GREATER TO THE 25YEAR-30AY PEAK STAGE ELEVATION 15.55 (NAVD88)

ENVIRONMENTAL PROTECTION NOTES

- CONSTRUCTION EQUIPMENT SHALL NOT BE OPERATED IN WETLAND AREAS UNLESS SUCH CONSTRUCTION PRACTICES ARE APPROVED IN A PLAN OF OPERATION SUBMITTED TO THE ENGINEER & THE APPROPRIATE REGULATORY AGENCIES. WHERE CONSTRUCTION IS NECESSARY ACROSS OR ADJACENT TO WETLAND JURISDICTIONAL AREAS, SILT BARRIERS SHALL BE INSTALLED AS SHOWN ON THE PLANS. SILT BARRIERS SHALL BE CONSIDERED LIMITS OF CONSTRUCTION WITHIN OR ADJACENT TO JURISDICTIONAL AREAS.
- CONSTRUCTION SHALL PROCEED SUCH THAT ALL STORMWATER FACILITIES WITHIN A WATERSHED AREA ARE IN PLACE AND OPERATIONAL PRIOR TO CONSTRUCTION OF IMPERVIOUS SURFACES WITHIN THAT AREA.
- STAKED OR FLOATING SILT SCREENS OR SYNTHETIC HAY BALES, AS APPROPRIATE, SHALL BE UTILIZED AS SILT BARRIERS AND PLACED IN LOCATIONS SHOWN ON THE PLANS AND AT OTHER LOCATIONS AS REQUIRED TO KEEP SEDIMENT FROM REACHING WATER BODIES OR WETLAND AREAS. ONCE CONSTRUCTION IS COMPLETE AND FINISH GRADING/ STABILIZATION HAS BEEN ACHIEVED, SILT BARRIERS SHALL BE COMPLETELY REMOVED TO THE SATISFACTION OF THE OWNER AND PRIOR TO FINAL ACCEPTANCE.
- ALL FUGITIVE DUST SHALL BE CONTROLLED ON SITE. ONLY AREAS SCHEDULED FOR IMMEDIATE CONSTRUCTION SHALL BE CLEARED OR STRIPPED OF VEGETATION. WATERING OR OTHER PRIOR APPROVED MEANS OF DUST CONTROL SHALL BE EMPLOYED TO PREVENT THE EMANATION OF DUST FROM THE SITE. PERMANENT GRASSING, LANDSCAPING AND OTHER SITE WORK SHALL BE INITIATED AS SOON AS POSSIBLE.
- ALL WATER COLLECTED AND PUMPED DURING TRENCH DEWATERING ACTIVITIES SHALL BE DISPOSED OF IN UPLAND AREAS INTO DOUBLE STAKED HAY BALES. DISCHARGE LOCATIONS SHALL BE A MINIMUM OF 75 FEET FROM THE NEAREST SURFACE WATER BODY OR WETLAND AREA, TO ALLOW FOR MAXIMUM OVERLAND FILTRATION OF SOIL PARTICLES.
- TEMPORARY STOCKPILES SHALL NOT BE LOCATED ADJACENT TO UNDISTURBED WETLANDS. ADDITIONALLY, STOCKPILES TO REMAIN FOR LONGER THAN 24 HOURS SHALL BE CONFINED BY SILT BARRIERS WHICH PREVENT RUNOFF. SEDIMENTATION FROM ENCRACHING UPON WETLAND AREAS OR SURFACE WATER STOCKPILES IN PLACE AND UNTOUCHED FOR 7 DAYS OR MORE TO HAVE VEGETATIVE COVER TO PREVENT WIND EROSION AND SEDIMENT DISPERSAL.
- ALL TRASH AND CONSTRUCTION DEBRIS PRODUCED FROM THIS PROJECT SHALL BE COLLECTED BY THE CONTRACTOR DAILY. THESE MATERIALS SHALL BE STAGED OR CONTAINERIZED AS NECESSARY TO PREVENT ACCIDENTAL RELEASE. DISPOSAL OF SOLID WASTE MATERIALS SHALL BE IN ACCORDANCE WITH APPLICABLE MUNICIPAL, COUNTY AND STATE REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING PORTABLE SANITARY WASTE UNITS ON-SITE FOR USE BY HIS EMPLOYEES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN CONTROL OF ANY HAZARDOUS MATERIALS UTILIZED ON-SITE FOR CONSTRUCTION. STORAGE CONTAINERS, VEHICLES, ETC. WILL BE INSPECTED REGULARLY FOR LEAKAGE. A SPILL PREVENTION PLAN SHALL BE ESTABLISHED WHICH COVERS CLEANUP AND NOTIFICATION OF APPROPRIATE GOVERNMENT AGENCIES.
- CONTRACTOR SHALL NOT REMOVE TREES WITHOUT APPROVAL OF THE LOCAL GOVERNING JURISDICTION. TREE PROTECTION SHALL BE IN ACCORDANCE WITH LOCAL GOVERNING AUTHORITY.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING SITE EROSION AND SHALL NOT UNNECESSARILY REMOVE EXISTING VEGETATION OR ALTER EXISTING TOPOGRAPHY. THE CONTRACTOR SHALL PROVIDE ADDITIONAL SOD, SYNTHETIC HAY BALES, SAND BAGS OR SEED & MULCH, AS NECESSARY, TO ACHIEVE AN EROSION-FREE SITE (FREE FROM RUTTING, ETC.) TO THE LINES AND GRADES SHOWN IN THE PLANS UNTIL FINAL ACCEPTANCE. ALL SWALES AND SURFACES 4:1 OR STEEPER SHALL BE SODDED. ALL OTHER UNPAVED SURFACES WHICH EXPERIENCE UNIQUE EROSION THAT CANNOT BE CONTROLLED BY OTHER MEASURES SHALL BE SODDED. ALL SOD SHALL BE ARGENTINE BAHIA UNLESS SPECIFICALLY SHOWN OTHERWISE IN THE CONTRACT DOCUMENTS. ALL SODDED SLOPES OVER 4:1 SHALL BE INSTALLED WITH SOD PEGS.
- SOIL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED PRIOR TO CONSTRUCTION, MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL THE SITE IS PERMANENTLY STABILIZED. SEE SWPP CSWMP NOTES AND DETAIL SHEETS FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF TEMPORARY SEDIMENT/EROSION CONTROL DEVICES WHEN NO LONGER NEEDED

TECHNICAL SPECIFICATIONS

- ALL SITE AND UTILITY WORK PERFORMED ON THIS PROJECT SHALL BE GOVERNED BY THE APPLICABLE PROVISIONS OF THE HERNANDO COUNTY. IN ADDITION, THE FOLLOWING STANDARDS ARE INCORPORATED BY REFERENCE:
 - STANDARD FOR DESIGN AND CONSTRUCTION OF WATER, WASTEWATER, AND RECLAIMED WATER FACILITIES FOR HERNANDO COUNTY, LATEST EDITION.
 - FLORIDA DEPARTMENT OF TRANSPORTATION "ROADWAY AND TRAFFIC DESIGN STANDARDS", LATEST EDITION.
 - FLORIDA DEPT. OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.
 - MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
 - HERNANDO COUNTY DEPARTMENT OF PUBLIC WORKS / ENGINEERING FACILITY DESIGN GUIDELINES, LATEST EDITION.
 - FLORIDA DEPARTMENT OF TRANSPORTATION "UTILITY ACCOMMODATION MANUAL", LATEST EDITION.

HERNANDO COUNTY NOTES

- A RIGHT OF WAY USE PERMIT IS REQUIRED FOR ANY WORK IN COUNTY RIGHT OF WAY. APPROVED CONSTRUCTION PLANS AND MOT (MAINTENANCE OF TRAFFIC) PLAN ARE REQUIRED TO APPLY FOR PERMIT.
- CONTRACTOR TO SCHEDULE A PRE-CONSTRUCTION MEETING FIVE (5) BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST PROVIDE ALL RIGHT OF WAY SUBMITTALS TO DPW INSPECTOR FOR REVIEW AND APPROVAL A MINIMUM OF THREE (3) BUSINESS DAYS PRIOR TO PRE-CONSTRUCTION MEETING. DPW INSPECTOR MUST ATTEND THE PRE-CONSTRUCTION MEETING.
- CONTRACTOR TO NOTIFY DPW INSPECTOR 48 HOURS PRIOR TO CONSTRUCTION IN THE COUNTY RIGHT OF WAY. DPW INSPECTOR MUST BE PRESENT FOR ALL PAYING /POURING ON COUNTY OWNED INFRASTRUCTURE. (CONTACT DPW INSPECTORS AT 352-754-4080 OR EMAIL TO DPWResourceobject@Hernandocounty.us)
- CONTRACTOR SHALL PROVIDE 24 HOUR NOTICE TO LOCAL EMERGENCY SERVICES DEPARTMENTS WHENEVER CONSTRUCTION ACTIVITIES ARE EXPECTED TO IMPEDE NORMAL TRAFFIC FLOW.

EXISTING/RECORD UTILITIES NOTES

- THE LOCATION OF THE EXISTING UTILITIES AS SHOWN WERE OBTAINED FROM MUNICIPAL AND UTILITY COMPANY RECORDS, FIELD OBSERVATIONS AND OWNER PROVIDED DRAWINGS. NO GUARANTEE CAN BE MADE REGARDING THE COMPLETENESS OR EXACTNESS OF THE UTILITIES LOCATION. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY IN THE FIELD THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES SHOWN, REFERENCED OR MARKED IN THE FIELD. CONTRACTOR TO REPORT ANY CONFLICTS IN THE FIELD TO THE ENGINEER. CONTRACTOR METHODS FOR UTILITY LOCATING SHALL AT A MINIMUM INCLUDE UTILIZING A UTILITY LOCATING COMPANY, HYDRO EXCAVATION, SOFT DIG AND PET HOLLING.
- THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF THE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING FLORIDA ONE CALL SYSTEM AT 811 FOR LOCATION OF ALL UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- VERTICAL DATUM USED IN DRAWINGS: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) HORIZONTAL DATUM USED IN DRAWINGS: NORTH AMERICAN DATUM OF 1983, FLORIDA STATE PLANES, WEST ZONE, U.S. FEET (NA83)

GENERAL UTILITY NOTES

- ALL UTILITY CONSTRUCTION SHALL MEET OR EXCEED HERNANDO COUNTY STANDARDS FOR WATER AND WASTEWATER CONSTRUCTION.
- NO CONNECTION TO THE EXISTING UTILITY LINES SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE COUNTY UTILITIES DEPARTMENT.
- ALL WATER MAINS SHALL HAVE A MINIMUM OF 36" COVER, UNLESS SPECIFIED OTHERWISE. FORCE MAINS SHALL HAVE A MINIMUM OF 48" COVER.
- ALL UTILITY LINES SHALL HAVE AN "EARLY WARNING" PROTECTION TAPE INSTALLED CONTINUOUSLY ALONG THE PIPE ALIGNMENT IN ACCORDANCE WITH THE UTILITY HAVING JURISDICTION. THE PROTECTION TAPE SHALL BE INSTALLED DURING BACK FILLING 18" DIRECTLY OVER THE PIPE, OR AS SPECIFIED BY UTILITY OWNER. THE TAPE SHALL HAVE A METAL DETECTABLE STRIP SANDWICHED
 - BETWEEN 2 LAYERS OF POLYETHYLENE. FOR WATER LINES, THE TAPE SHALL BE CONTINUOUSLY MARKED "CAUTION, WATER LINES BELOW". FOR FORCE MAINS, THE TAPE SHALL BE CONTINUOUSLY MARKED "CAUTION, SEWAGE FORCE MAIN BELOW". FOR SANITARY SEWER, THE TAPE SHALL BE CONTINUOUSLY MARKED "CAUTION, SEWER MAIN BELOW". BOTH WATER MAINS AND SANITARY SEWER FORCE MAINS SHALL ALSO HAVE A "LOCATOR DETECTOR WIRE" - UL TYPE AWG #10 SOLID STRAND COPPER WIRE W/ 500M PVC WALL INSTALLED ALONG THE ENTIRE LENGTH OF PIPE.
- THE CONTRACTOR IS CAUTIONED THAT THE LOCATION OF EXISTING UTILITIES, WHEN SHOWN, ARE APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ACTUAL FIELD LOCATIONS FROM THE RESPECTIVE UTILITY COMPANY AND TO COORDINATE WITH AFFECTED UTILITY COMPANY 48 HOURS BEFORE BEGINNING ANY WORK.
 - AT 1 & TELEPHONE 1-800-472-4700 BRIGHTHOUSE CABLE TV 1-800-892-3489 WIRE1-252-587-5103 HERNANDO COUNTY UTILITIES DEPT 1-352-754-4037 SUNSHINE 811-800-432-4270 TEO 1-813-226-1626 VERIZON 1-800-483-4000
- ALL PVC FORCE MAINS 4-12" SHALL BE AWWA C-900, OR 18 PVC WITH AWWA APPROVED DUCTILE IRON MECHANICAL JOINT FITTINGS AND SHALL BE GREEN PIPE (WHITE OR BLACK LETTERING).
- ALL PVC WATER MAINS 4-12" SHALL BE AWWA C-900, OR 18 PVC WITH AWWA APPROVED DUCTILE IRON MECHANICAL JOINT FITTINGS AND SHALL BE BLUE (WHITE OR BLACK LETTERING).
- SANITARY SEWER (GRAVITY) PIPE SHALL CONFORM TO ASTM 3034 FOR SDR26 PVC BELL AND SPIGOT GASKETED JOINTS.
- ADDITIONAL REQUIREMENTS FOR PVC, DUCTILE IRON AND HOPE PIPING ARE CONTAINED IN THE CONTRACT DOCUMENTS AND TECHNICAL SPECIFICATIONS FOR THIS PROJECT.
- ALL PVC PIPE SHALL HAVE LETTERING APPEARING ON THREE SIDES OF THE PIPE. SHALL RUN THE ENTIRE LENGTH OF THE PIPE AND SHALL BE 3/4" IN HEIGHT WITH THE APPROXIMATE WORKING APPEARING ONE OR MORE TIMES EVERY 2 INCHES ALONG THE LENGTH OF THE PIPE. THE LETTERING MUST BE PERMANENTLY STENCILED TO THE PIPE SURFACE. LETTERING SHALL READ AS IS ACCEPTABLE FOR THE INTENDED USE. ALL LETTERING SHALL BE APPLIED BY THE PIPE MFG. DURING PRODUCTION.
- THE CONTRACTOR SHALL PERFORM LEAK TESTING ON ALL GRAVITY SEWERS AND A PRESSURE TEST ON ALL WATER AND FORCE MAINS (AS APPLICABLE) IN ACCORDANCE WITH THE UTILITY HAVING JURISDICTION AND/OR AS STATED IN THE SPECIFICATIONS OR AS DIRECTED BY THE ENGINEER. TESTS ARE TO BE CERTIFIED BY THE ENGINEER OF RECORD. THE SCHEDULING, COORDINATION AND NOTIFICATION OF ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.
- WATER AND WASTEWATER SYSTEMS SHALL NOT BE PLACED IN SERVICE (FOR TEMPORARY OR PERMANENT UNTIL ALL TESTING AND INSPECTIONS HAVE BEEN COMPLETED, TEST REPORTS AND "AS-BUILTS" FOR THOSE SYSTEMS SUBMITTED, AND CLEARANCE HAS BEEN OBTAINED FROM THE APPLICABLE UTILITIES AND PERMITTING AGENCIES. NO WATER SYSTEM SHALL BE PLACED IN SERVICE BEFORE SEWER SERVICE HAS BEEN CLEARED FOR USE.
- DISINFECTION AND BACTERIOLOGICAL TESTING OF ALL WATER LINES SHALL BE PERFORMED IN ACCORDANCE WITH FDEP REGULATION 62-555.340.
- DEFLECTION TESTING FOR GRAVITY SEWER LINES SHALL BE PERFORMED IN ACCORDANCE WITH "RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES (10 STATE STANDARDS)", CURRENT EDITION.
- TESTING OF SUBSEQUOUS LINES SHALL COMPLY WITH FAC 62-604.400(2).
- THE CONTRACTOR SHALL COMPLY WITH LOCAL CROSS-CONNECTION CONTROL POLICY FOR CONSTRUCTION OF ALL POTABLE, SANITARY AND RECLAIMED UTILITIES.
- CONTRACTOR TO PROVIDE THRUST BLOCKING AND/OR JOINT RESTRAINTS TO FULLY RESTRAIN PRESSURE PIPES AGAINST FAILURE UP TO A TEST PRESSURE OF 150 psi. CONTRACTOR SHALL PROVIDE A RESTRAINING PLAN FOR THE ENGINEER'S REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- WARNING SIGNS SHALL BE INSTALLED AT ANY SURFACE WATER CROSSING IN ACCORDANCE WITH FAC 62-604.400(2)(b)(2)
- ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DOCUMENTS REFERENCED HEREIN. ANY METHODS, PROCEDURES, STANDARDS, EQUIPMENT, OR MATERIALS WHICH ARE NOT COVERED OR SPECIFIED BY THE APPLICABLE PROVISIONS OF COUNTY SPECIFICATIONS SHALL BE CONSTRUCTED TO BE IN ACCORDANCE WITH THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND F.D.O.T. UTILITIES ACCOMMODATION GUIDE UNLESS SPECIFICALLY APPROVED BY THE ENGINEER OF IN THE CASE OF CONFLICTING SPECIFICATIONS, THE MOST STRINGENT SHALL APPLY.
- ALL UTILITIES SHALL BE KEPT IN OPERATION EXCEPT WITH THE EXPRESS WRITTEN CONSENT OF THE UTILITY OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE EXISTING UTILITIES, ANY AND ALL DAMAGE TO EXISTING UTILITIES AS A RESULT OF THE CONTRACTOR'S ACTIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- WHERE WATER AND SEWER LINE INSTALLATION ARE IN CONFLICT WITH EXISTING UTILITY POLES, GUY WIRES OR SIMILAR STRUCTURES, THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY TO DETERMINE WHETHER THE STRUCTURES WILL REQUIRE RESTRAINT. THE FINAL DECISION AS TO WHETHER RESTRAINT IS REQUIRED WHILE EXCAVATION OCCURS SHALL BE THAT OF THE UTILITY OWNER. THE COST FOR THIS COORDINATION AND RESTRAINT SHALL BE INCLUDED IN THE CONTRACTOR'S OVERALL COSTS.
- CONTRACTOR SHALL PROVIDE TEMPORARY CONNECTIONS AS NECESSARY FOR FLUSHING, DECONTAMINATION AND PRESSURE TESTING.
- RP2-BPA ON WATER SERVICE LINES TO BE TESTED AND APPROVED BY HCUD. TO BE INSTALLED PER HCUD DETAIL #7 AND TESTED BY A LICENSED PLUMBER WITH TEST RESULTS PROVIDED TO HCUD'S BPA INSPECTOR. CONTACT INSPECTOR AT (352) 754-4158.
- ALL DEFLECTION BENDS ARE 45° UNLESS SPECIFIED OTHERWISE. EXACT LOCATION OF BENDS TO BE DETERMINED IN FIELD AND APPROVED BY FIELD INSPECTOR. LOCATION DATA SHALL BE PROVIDED IN AS-BUILTS ACCORDING TO COUNTY REQUIREMENT

ABBREVIATIONS USED IN DRAWINGS

THE FOLLOWING ABBREVIATIONS ARE USED ON THESE PLANS:

@	AT (RATE @F)		
ANG	AND	S	SOUTH
INCH	INCH	SAN	SANITARY SEWER
FOOT	FOOT	SBC	STABILIZED BASE COURSE
#	NUMBER	SESC	SOIL EROSION AND SEDIMENT CONTROL
ADA	ASPHALT CONCRETE = ASPHALT PAVEMENT/HOT MIX ASPHALT PAVEMENT	SF	SQUARE FEET
AC	AMERICANS WITH DISABILITIES ACT (BARRIER FREE ACCESS)	SG	SUBGRADE
AGG	AGGREGATE BASE	ST	STORM SEWER
ALTE	ALTERNATE	SY	SQUARE YARD
APPROX.	APPROXIMATE/APPROXIMATELY	TA	TOP OF HMA PAVEMENT ELEVATION
ARCHIT.	ARCHITECT	TC	TOP OF PROPOSED CURB
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	TERS	TEMPORARY EARTH RETENTION SYSTEM
AVG	AVERAGE	TOW	TOP OF PAD (CONCRETE)
BORING	BORING	TP	TOP OF WALL
BOUNDARY	BOUNDARY	TP	TEST PIT
BTU/MIN	BTU/MIN	TP	TYPICAL
BARRIER FREE	BARRIER FREE	TW	TOP OF SIDEWALK
BUFF	BANK FULL FLOOD	VB	VAPOR BARRIER
BUFF	BUILDING	VCP	VITRIFIED CLAY PIPE
BS	BENCHMARK	VERT/VERT.	VERTICAL
BOL	BOLLARD	VIE	VERIFY IN FIELD
BOL	BOTTOM	VLT	VAULT
BOL	BOTTOM	VOL	VOLUME
BRS	BEARINGS	W	WEST
BRSCH	BRESCHEIT	WM	WATER MAIN
BOW	BOTTOM OF WALL	WTR	WATER
C	CORE	WMF	WELDED WIRE FABRIC
CAP	CAPACITY		
CB	CATCH BASIN		
CD	CENTERLINE		
CF	CUBIC FEET		
CHANN.	CHANNEL		
CL	CONTROL JOINT		
CLS	CRUSHED LIMESTONE		
CL	CENTERLINE		
CMP	CORRUGATED METAL PIPE		
CMU	CONCRETE MASONRY UNIT		
CO	CLEAN OUT		
COEF	COEFFICIENT		
COL	COLUMN		
CDMA/COMM.	COMMUNICATIONS		
CONC.	CONCRETE		
CONN.	CONNECTION		
COV.	COVER		
CULV.	CULVERT		
CVP	CORRUGATED PLASTIC PIPE		
CY	CUBIC YARD		
DIA./DIA.	DIAMETER		
DI	DUCTILE IRON		
DIA/DIM.	DIMENSION		
DES/DES.	DUCTILE IRON PIPE		
DEMO/DEMO.	DEMOLITION		
DEPT.	DEPARTMENT		
DMH	DROP MANHOLE		
DS	DOWNSPOUT		
EA	EAST		
E	EACH		
EE	EACH END		
ES	EDGE OF GRAVEL		
CHH	ELECTRICAL HAND HOLE		
ELEV.	ELEVATION		
EM	EDGE OF METAL		
ENG/ENG.	ENGINEER		
ENT.	ENTRANCE		
EQUIP.	EQUIPMENT		
ES	END SECTION		
EXCAV/EXCAV.	EXCAVATE		
EX/EXL	EXISTING		
EXPN	EXPANSION		
FD	FLOOR DRAIN		
FDC	FIRE DEPARTMENT CONNECTION		
FOOT	FLORIDA DEPARTMENT OF TRANSPORTATION		
FON	FOUNDATION		
FOR	FULL DEPTH RECLAMATION		
FF	FINISH FLOOR		
FR	FINISH GRADE		
FURN.	FURNISH		
FP	FLOOD PLAIN		
FT	FEET/FOOT		
FTG	FOOTING		
ELEV.	ELEVATION		
EQUIP.	EQUIPMENT		
GAL/GAL.	GALLON		
GEN.	GENERAL		
GIS	GEOGRAPHIC INFORMATION SYSTEM		
GUT	GUTTER		
GV/GVA	GATE VALVE		
GVL	GRAVEL		
HD	HEAVY DUTY		
HDP	HIGH DENSITY POLYETHYLENE		
HH	HANDHOLE		
HP	HIGH POINT		
HGL	HYDRAULIC GRADE LINE		
HMA	HOT MIX ASPHALT PAVEMENT		
HORIZ/HORIZ.	HORIZONTAL		
HYD	HYDRANT		
INT	INSTALL		
INT	LIGHT UTILITY		
LF	LINEAR FEET		
LD	LOW POINT		
MAX/MAX.	MAXIMUM		
ME	MATCH EXISTING		
MH	MANHOLE		
MIN/MIN.	MINIMUM		
N	NORTH		
NIC	NOT IN CONTRACT		
NFV	NUMBER		
NTS	NOT FIELD VERIFIED		
OC	NOT TO SCALE		
OC	ON CENTER		
PC	OUTSIDE DIAMETER		
PCC	PORTLAND CEMENT CONCRETE = CONCRETE		
PVC	POLYVINYL CHLORIDE		
PRP	PROPOSED		
RP	REINFORCED CONCRETE PIPE		
RY	REAR YARD		

DEFINITIONS USED IN DRAWINGS

THE FOLLOWING DEFINITIONS ARE USED ON THESE PLANS:

ENGINE



Kirt M. Andersen, State of Florida, Professional Engineer, License No. 80037.
This item has been electronically signed and sealed by Kirt M. Andersen, PE, as noted on a Digital Signature.

North	SCALE
-------	-------



0' 200' 400'

GRAPHIC SCALE, 1" = 200'

Project

FREEDOM RIDGE SUBDIVISION

Project Location

**SPRING HILL, HERNANDO
COUNTY, FLORIDA 34613**

Sheet Name

EXISTING SITE CONDITIONS PLAN

**ISSUED FOR
CONDITIONAL P
APPROVAL**

Revisions

Date: 06/24/2022

Reviewed By: BF

ENG/CADD: BH

Checked By: KMA

PE Project No. 22-0008

Sheet No.

V-100

**DRAWING NOTE: SCALE SHOWN IS MEANT FOR 22" X 34" AND WILL SCALE INCORRECTLY IF PRINTED
ON ANY OTHER SIZE MEDIA BESIDES 11" X 17"
NO REPRODUCTION SHALL BE MADE WITHOUT PRIOR CONSENT OF PRIORITY ENGINEERING, LLC.
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EXISTING LEGEND

INDEX CONTOUR		
Permanent Reference Monument	PRM	
Page	P	
Official Records Book	O.R.	
Licensed Survey	LS	
Concrete	CONC.	
Elevation	ELEV.	
Invert	INV.	
Found Aluminum Disk	FAD	
Found Brass Block	FBB	
Found Mag Nail and Disk	FMGD	
Found Nail	FNL	
Concrete Monument	CMON	
Found Iron Rod	FIR	
Found Concrete Monument	FCM	
Found Iron Rod and Cap	FIRC	
Transformer	TRF	
With	W/	
Cable Pedestal	C	
Telephone Pedestal	TP	
Utility Pole	U	
Gas Anchor	A	
Light Pole	L	
Water Valve	WV	
Water Meter	WM	
Utility Valve	UV	
Electric Box	EB	
Overhead Utility Lines	OL	
Temporary Benchmark	TBM	

Elevation In Feet
Elevation Shot Location 52.3

NOTES

- DRAWING BASED ON MICHIGAN STATE PLANNING COORDINATES SYSTEM, SOUTH ZONE, INTERNATIONAL FEET.
- THIS SURVEY WILL NOT SHOW ALL EASEMENTS OF RECORD UNTIL AN UPDATED TITLE POLICY HAS BEEN FURNISHED TO THE SURVEYOR BY THE OWNER.
- ALL ELEVATIONS ARE EXISTING ELEVATIONS
- THE LOCATION OF THE EXISTING UTILITIES AS SHOWN WERE OBTAINED FROM MUNICIPAL AND UTILITY COMPANIES RECORDS. NO GUARANTEE CAN BE MADE REGARDING THE COMPLETENESS OR EXACTNESS OF THE UTILITIES LOCATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY IN THE FIELD THE LOCATION OF ALL UTILITIES.
- NO BOUNDARY SURVEY WAS PERFORMED.

BENCHMARK DATA:

BM A
BENCH TIE EAST FACE OF LP
NORTHING:
EASTING:
ELEVATION:
(NAVD88 DATUM)

BM 8
BENCH TIE EAST FACE OF LP
NORTHING:
EASTING:
ELEVATION:
(NAVD88 DATUM)

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF HERNANDO, STATE OF FLORIDA, AND DESCRIBED AS FOLLOWS:

PARCEL 1:
LOT 2 OF DONRICH AND EVANS HI-PARK SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 33, PAGES 36 AND 37, OF THE PUBLIC RECORDS OF HERNANDO COUNTY, FLORIDA.

PARCEL 2:
THE SOUTHEAST ¼ OF THE SOUTHEAST ¼ OF SECTION 33, TOWNSHIP 22 SOUTH, RANGE 18 EAST, HERNANDO COUNTY, FLORIDA.

LESS THE FOLLOWING DESCRIBED PARCEL:

BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTHEAST ¼ OF THE SOUTHEAST ¼ OF SAID SECTION 33, TOWNSHIP 22 SOUTH, RANGE 18 EAST; RUN NORTH 234.5 FEET; THENCE EAST 480 FEET; THENCE SOUTH 234.5 FEET; THENCE WEST 480 FEET TO THE POINT OF BEGINNING.

ALSO LESS THE FOLLOWING DESCRIBED PARCEL:

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHEAST ¼ OF THE SOUTHEAST ¼ OF SECTION 33, TOWNSHIP 22 SOUTH, RANGE 18 EAST, HERNANDO COUNTY, FLORIDA, SAID POINT OF COMMENCEMENT BEING ALSO THE NORTHWEST CORNER OF LOT 16, BLOCK 134, SPRING HILL UNIT 20, AS RECORDED IN PLAT BOOK K, PAGES 85-90, INCLUSIVE, PUBLIC RECORDS OF HERNANDO COUNTY, FLORIDA; THENCE NORTH 0°00' WEST ALONG THE WEST LINE OF SAID SOUTHEAST ¼ OF THE SOUTHEAST ¼ AND ALONG THE EAST LINE OF SAID SPRING HILL UNIT 20, A DISTANCE OF 234.50 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 75°00' WEST ALONG THE WEST LINE OF SAID SPRING HILL UNIT 20, A DISTANCE OF 152.50 FEET TO THE POINT OF BEGINNING; THENCE WESTERLY RYDGE-OF-WAY LINE OF THE FLORIDA POWER CORPORATION EASEMENT AS IT NOW EXISTS; THENCE SOUTH 23°44'27" WEST ALONG SAID WESTERLY RYDGE-OF-WAY LINE, A DISTANCE OF 203.41 FEET; THENCE SOUTH 0°00' WEST, A DISTANCE OF 10.91 FEET; THENCE NORTH 89°03'39" WEST, A DISTANCE OF 480.00 TO THE POINT OF BEGINNING.

ALSO LESS THE FOLLOWING DESCRIBED PARCEL:

THAT PORTION OF THE SOUTHEAST ¼ OF THE SOUTHEAST ¼ OF SECTION 33, TOWNSHIP 22 SOUTH, RANGE 18 EAST, HERNANDO COUNTY, FLORIDA, LYING EASTERLY OF THE FLORIDA POWER CORPORATION EASEMENT BEING DESCRIBED IN OFFICIAL RECORDS BOOK 110, PAGE 244, OF THE PUBLIC RECORDS OF HERNANDO COUNTY, FLORIDA.

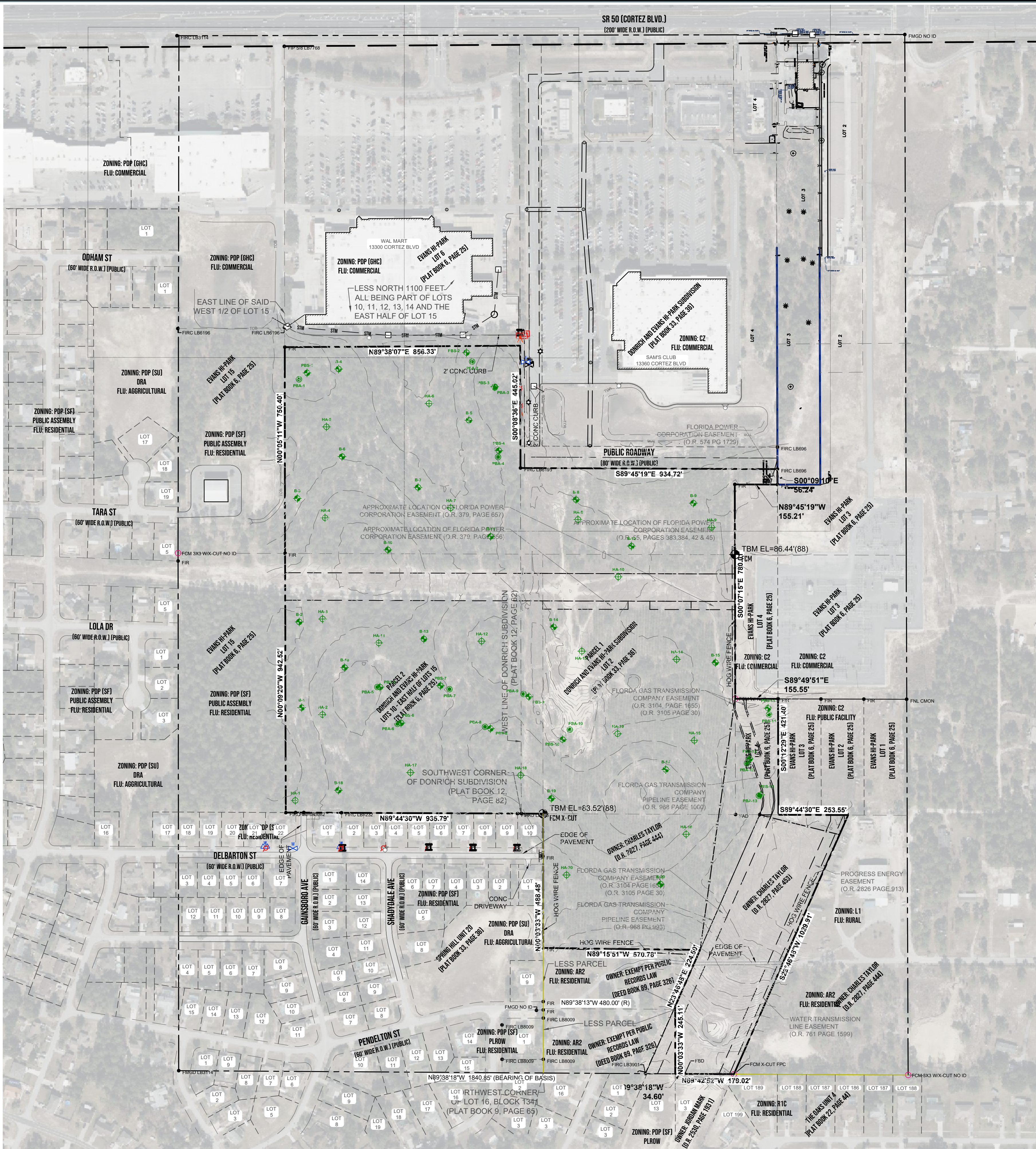
LEGAL DESCRIPTION: (PARAGON ACQUISITIONS)

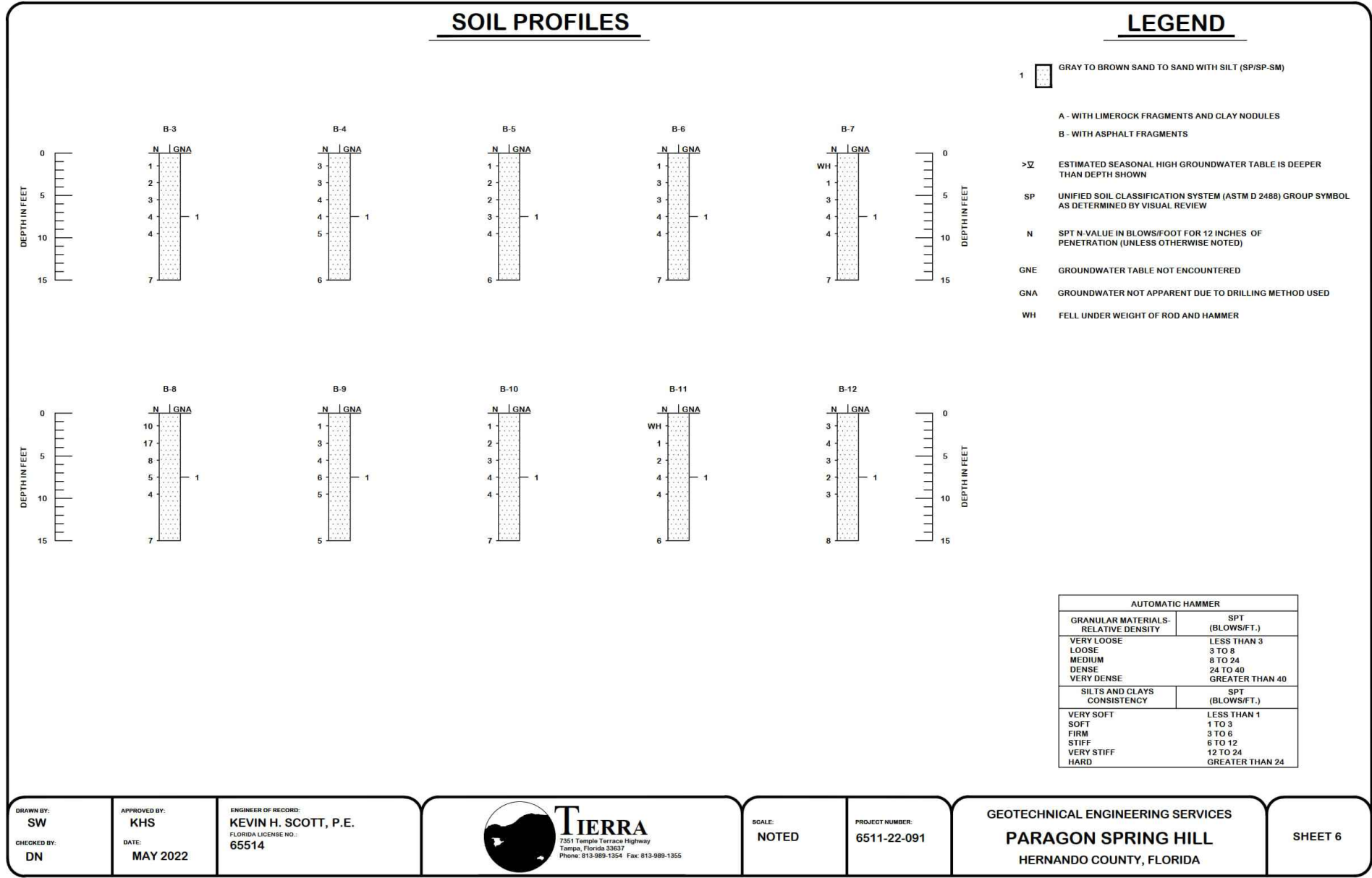
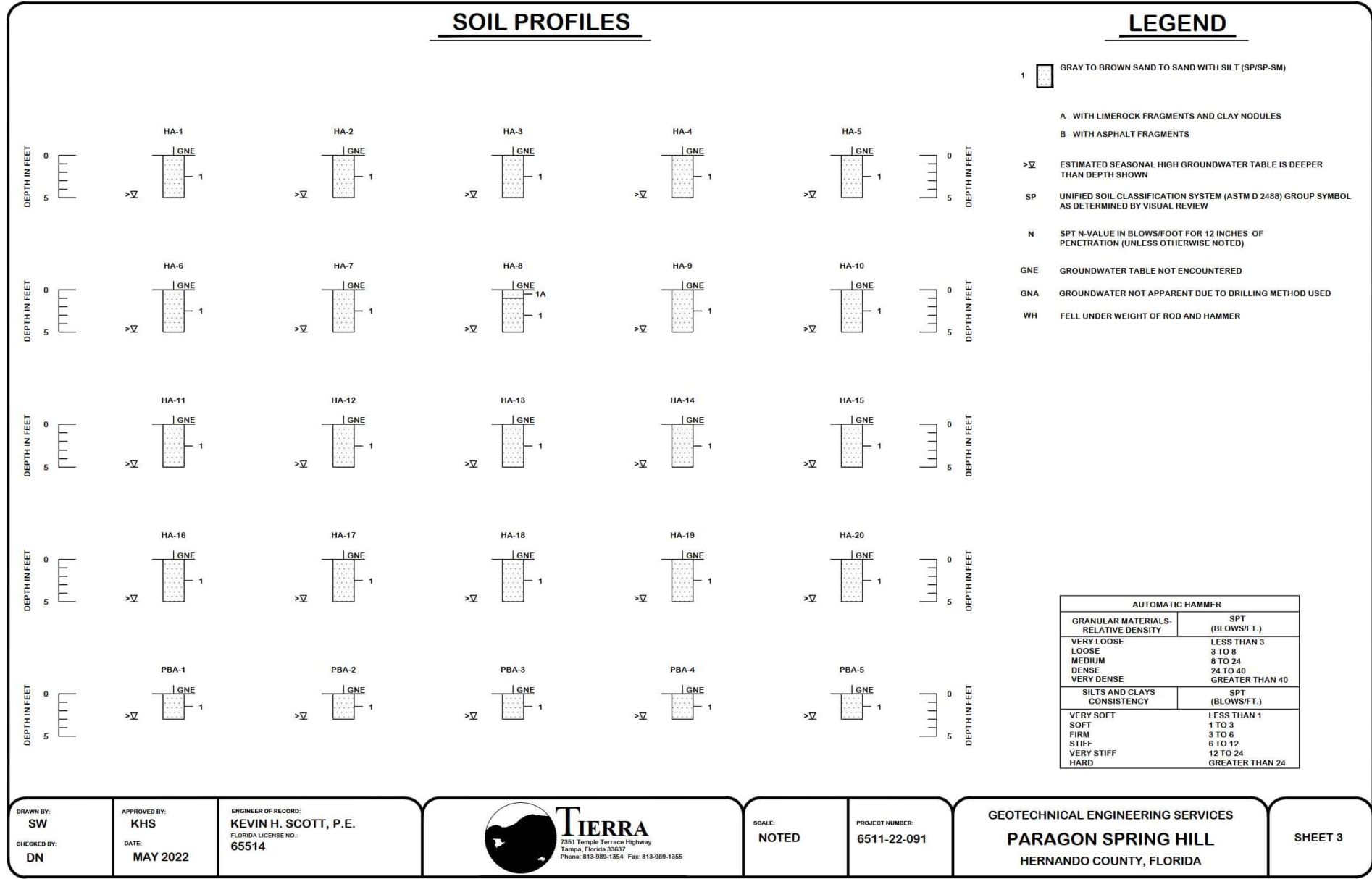
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF HERNANDO, STATE OF FLORIDA, AND DESCRIBED AS FOLLOWS: COMMENCE AT THE NE CORNER OF THE WEST 1/2 OF LOT 15 OF EVANS H PARK SUBDIVISION, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 6, PAGE 25, OF THE PUBLIC RECORDS OF HERNANDO COUNTY, FLORIDA; THENCE RUN SOUTH ALONG THE EAST LINE OF SAID WEST 1/2 OF LOT 15 TO THE SOUTH LINE OF SAID SUBDIVISION (BEING THE SE CORNER OF THE WEST 1/2 OF SAID LOT 15); THENCE RUN WEST TO THE WEST LINE OF SAID SUBDIVISION (BEING THE WEST LINE OF SAID LOT 15); THENCE RUN NORTH ALONG THE WEST LINE OF SAID SUBDIVISION TO THE SOUTH RHYTH OF WAY OF STATE ROAD 50 (BEING THE NW CORNER OF SAID DONRICH SUBDIVISION AND WEST OF THE POINT OF BEGINNING); THENCE RUN WEST ALONG THE SOUTH RHYTH OF WAY OF STATE ROAD 50 TO THE POINT OF BEGINNING; SUBJECT TO INTERPRETATION BY THE UNITED STATES DEPARTMENT OF THE INTERIOR RULING RECORDED IN DEED BOOK 114, PAGE 367, OF THE PUBLIC RECORDS OF HERNANDO COUNTY, FLORIDA.

LESS THE NORTH 1100 FEET THEREOF AS DESCRIBED IN WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 1048, PAGE 1159, OF THE PUBLIC RECORDS OF HERNANDO COUNTY, FLORIDA.

TOGETHER WITH ALL OF GRANTOR'S RIGHTS IN THE EASEMENT OVER A PORTION OF VACATED LOT 15 OF SAID EVANS HI PARK SUBDIVISION, AS DESCRIBED IN EASEMENT FOUND IN DEED RECORDED IN OFFICIAL RECORDS BOOK 1048, PAGE 1159, AND EASEMENTS RECORDED IN BOOK 1048, PAGE 1166 AND BOOK 1048, PAGE 1169, OF THE PUBLIC RECORDS OF HERNANDO COUNTY, FLORIDA.

ALL BEING A PART OF LOTS 10, 11, 12, 13, 14 AND THE EAST 1/2 OF LOT 15, EVANS HI PARK SUBDIVISION, AS PER MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 25, AND AS VACATED IN OFFICIAL RECORDS BOOK 1047, PAGE 363, AS CORRECTED BY INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 1050, PAGE 1238, OF THE PUBLIC RECORDS OF HERNANDO COUNTY, FLORIDA.





Summary of Geotechnical Parameters
Paragon Spring Hill
Hernando County, Florida
Tierra Project No. 6511-22-091

Boring Name	Boring Location ⁽¹⁾		Boring Depth (ft)	Measured Groundwater Table Date Recorded	Depth (ft)	Map Unit	Hernando County USDA Soil Survey Data Estimated SIGHT Depth ⁽²⁾ (ft)	Field Permeability Test Results					Confining Layer Depth (ft)	Soil Porosity (%)
	Existing	North						Test Depth (ft)	Stratum Tested	In Situ Horizontal Hydraulic Conductivity Rate, k_h (bed/day)	In Situ Vertical Hydraulic Conductivity Rate, k_v (bed/day)	Seepage Rate, k_s (bed/day)		
PBA-1	493441	1525759	3.0	4/20/2022	CRH ⁽³⁾	14	>6.0	>6.0	3.0	1	40	40	>20	30
PBA-3	493071	1526304	3.0	4/20/2022	CRH ⁽³⁾	14	>6.0	>6.0	3.0	1	40	40	>20	30
PBA-3	494154	1525729	3.0	4/20/2022	CRH ⁽³⁾	14	>6.0	>6.0	3.0	1	40	40	>20	30
PBA-4	494166	1525477	3.0	4/20/2022	CRH ⁽³⁾	14	>6.0	>6.0	3.0	1	40	40	>20	30
PBA-5	493738	1525660	3.0	4/19/2022	CRH ⁽³⁾	14	>6.0	>6.0	3.0	1	40	40	>20	30
PBA-6	493902	1525656	3.0	4/19/2022	CRH ⁽³⁾	14	>6.0	>6.0	3.0	1	40	40	>20	30
PBA-7	493989	1524632	3.0	4/19/2022	CRH ⁽³⁾	14	>6.0	>6.0	3.0	1	40	40	>20	30
PBA-8	494118	1524495	3.0	4/20/2022	CRH ⁽³⁾	14	>6.0	>6.0	3.0	1	40	40	>20	30
PBA-9	494258	1524614	3.0	4/20/2022	CRH ⁽³⁾	14	>6.0	>6.0	3.0	1	40	40	>20	30
PBA-10	494427	1524485	3.0	4/20/2022	CRH ⁽³⁾	14	>6.0	>6.0	3.0	1	38	38	>20	30
PBA-11	495151	1524640	3.0	4/20/2022	CRH ⁽³⁾	41	---	>6.0	3.0	1	40	40	>20	30
PBA-12	495071	1524382	3.0	4/20/2022	CRH ⁽³⁾	14	>6.0	>6.0	3.0	1	40	40	>20	30
PBA-13	495114	1524444	3.0	4/20/2022	CRH ⁽³⁾	14	>6.0	>6.0	3.0	1	40	40	>20	30

NOTES:

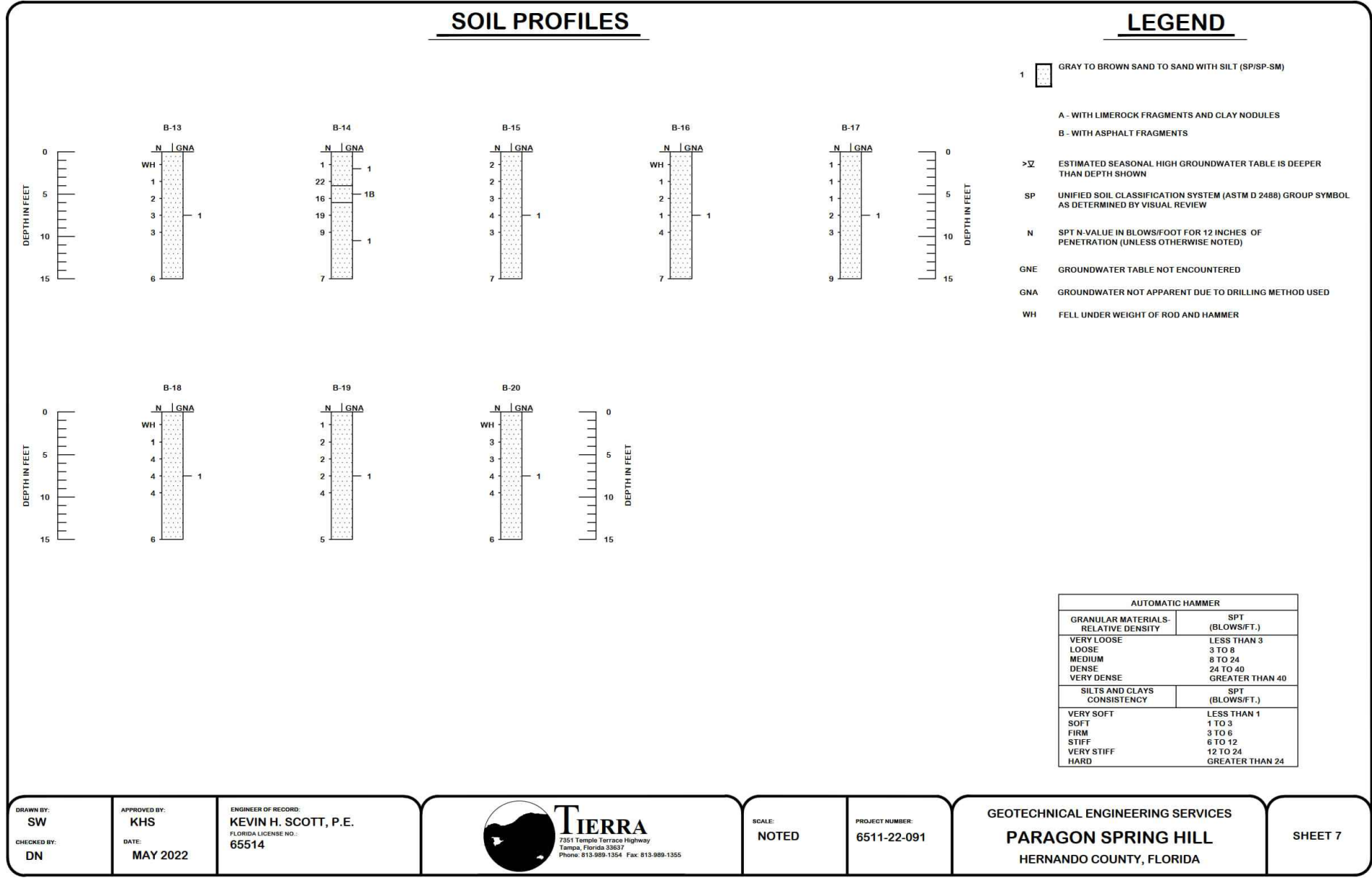
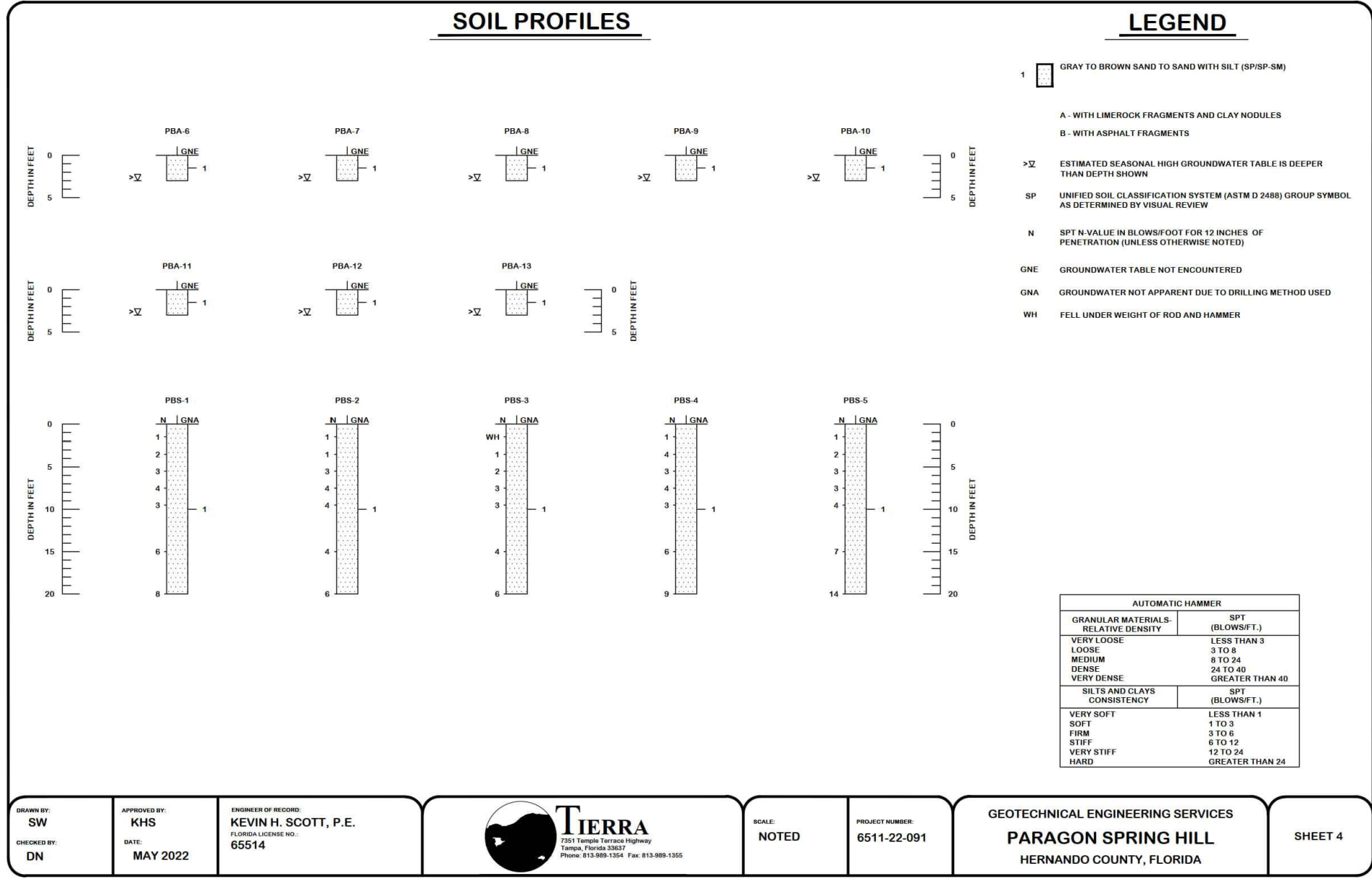
⁽¹⁾ Boring locations are in State Plane West coordinate and were determined using a hand-held GPS device with a reported accuracy of ± 1.0 feet.

⁽²⁾ Seasonal High Groundwater Table (SHGWT) depth estimated based on a combination of factors including the soil stratigraphy, measured groundwater levels, the Hernando County, Florida USDA Soil Survey information and topography.

⁽³⁾ These rates are not factored. The designer should apply an appropriate factor of safety, as applicable.

Groundwater Not Encountered

Page 1 of 2



Summary of Geotechnical Parameters
Paragon Spring Hill
Hernando County, Florida
Tierra Project No. 6511-22-091

Boring Name	Boring Location ⁽¹⁾		Boring Depth (ft)	Measured Groundwater Table Date Recorded	Depth (ft)	Map Unit	Hernando County USDA Soil Survey Data Estimated SIGHT Depth ⁽²⁾ (ft)	Field Permeability Test Results					Confining Layer Depth (ft)	Soil Porosity (%)
	Existing	North						Test Depth (ft)	Stratum Tested	In Situ Horizontal Hydraulic Conductivity Rate, k_h (bed/day)	In Situ Vertical Hydraulic Conductivity Rate, k_v (bed/day)	Seepage Rate, k_s (bed/day)		
HA-1	493438	1525227	5.0	4/15/2022	CRH ⁽³⁾	14	>6.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0
HA-2	493527	1524628	5.0	4/15/2022	CRH ⁽³⁾	14	>6.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0
HA-3	493527	1524687	5.0	4/15/2022	CRH ⁽³⁾	14	>6.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0
HA-4	493534	1525255	5.0	4/15/2022	CRH ⁽³⁾	14	>6.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0
HA-5	493541	1525586	5.0	4/15/2022	CRH ⁽³⁾	14	>6.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0
HA-6	493915	1525671	5.0	4/15/2022	CRH ⁽³⁾	14	>6.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0
HA-7	493993	1525262	5.0	4/15/2022	CRH ⁽³⁾	14	>6.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0
HA-8	494658	1525249	5.0	4/15/2022	CRH ⁽³⁾	14	>6.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0
HA-9	494942	1525221	5.0	4/15/2022	CRH ⁽³⁾	14	>6.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0
HA-10	494602	1525041	5.0	4/15/2022	CRH ⁽³⁾	14	>6.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0
HA-11	493732	1524800	5.0	4/15/2022	CRH ⁽³⁾	14	>6.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0
HA-12	494198	1524607	5.0	4/15/2022	CRH ⁽³⁾	14	>6.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0
HA-13	494470	1524770	5.0	4/15/2022	CRH ⁽³⁾	14	>6.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0
HA-14	494815	1524741	5.0	4/15/2022	CRH ⁽³⁾	14	>6.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0
HA-15	494880	1524446	5.0	4/15/2022	CRH ⁽³⁾	14	>6.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0
HA-16	494650	1524104	5.0	4/15/2022	CRH ⁽³⁾	14	>6.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0
HA-17	493847	1524329	5.0	4/15/2022	CRH ⁽³⁾	14	>6.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0
HA-18	494257	1524319	5.0	4/15/2022	CRH ⁽³⁾	14	>6.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0
HA-19	494021	1524770	5.0	4/15/2022	CRH ⁽³⁾	14	>6.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0
HA-20	494415	1523566	5.0	4/15/2022	CRH ⁽³⁾	14	>6.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0	>5.0

NOTES:

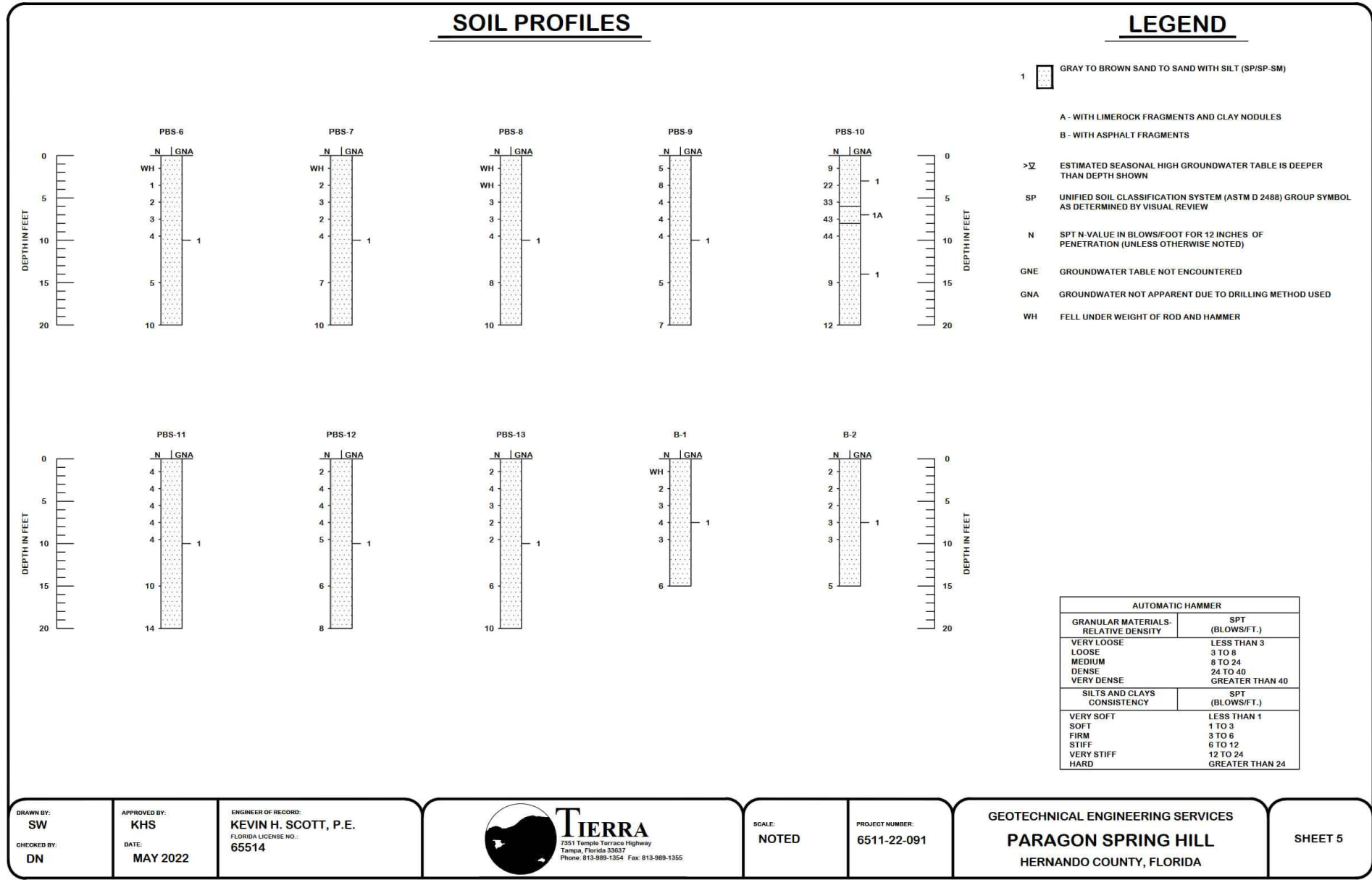
⁽¹⁾ Boring locations are in State Plane West coordinate and were determined using a hand-held GPS device with a reported accuracy of ± 1.0 feet.

⁽²⁾ Seasonal High Groundwater Table (SHGWT) depth estimated based on a combination of factors including the soil stratigraphy, measured groundwater levels, the Hernando County, Florida USDA Soil Survey information and topography.

⁽³⁾ These rates are not factored. The designer should apply an appropriate factor of safety, as applicable.

Groundwater Not Encountered

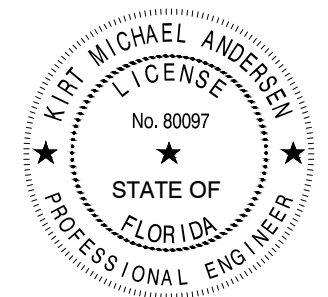
Page 2 of 2



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North

SCALE

Project

FREEDOM RIDGE SUBDIVISION

Project Location

SPRING HILL, HERNANDO COUNTY, FLORIDA 34613

Sheet Name

BORING LOG

ISSUED FOR
CONDITIONAL PLAT
APPROVAL

Revisions

REV	ISSUED FOR	ISSUE DATE	BY
1	COND PLAT COMMENTS HERNANDO COUNTY	3/1/2024	KMA
2	COND PLAT ADD COMMENTS HERNANDO COUNTY	6/5/2024	RBL

Date: 06/24/2022

Reviewed By: BF

ENG/CADD: BH

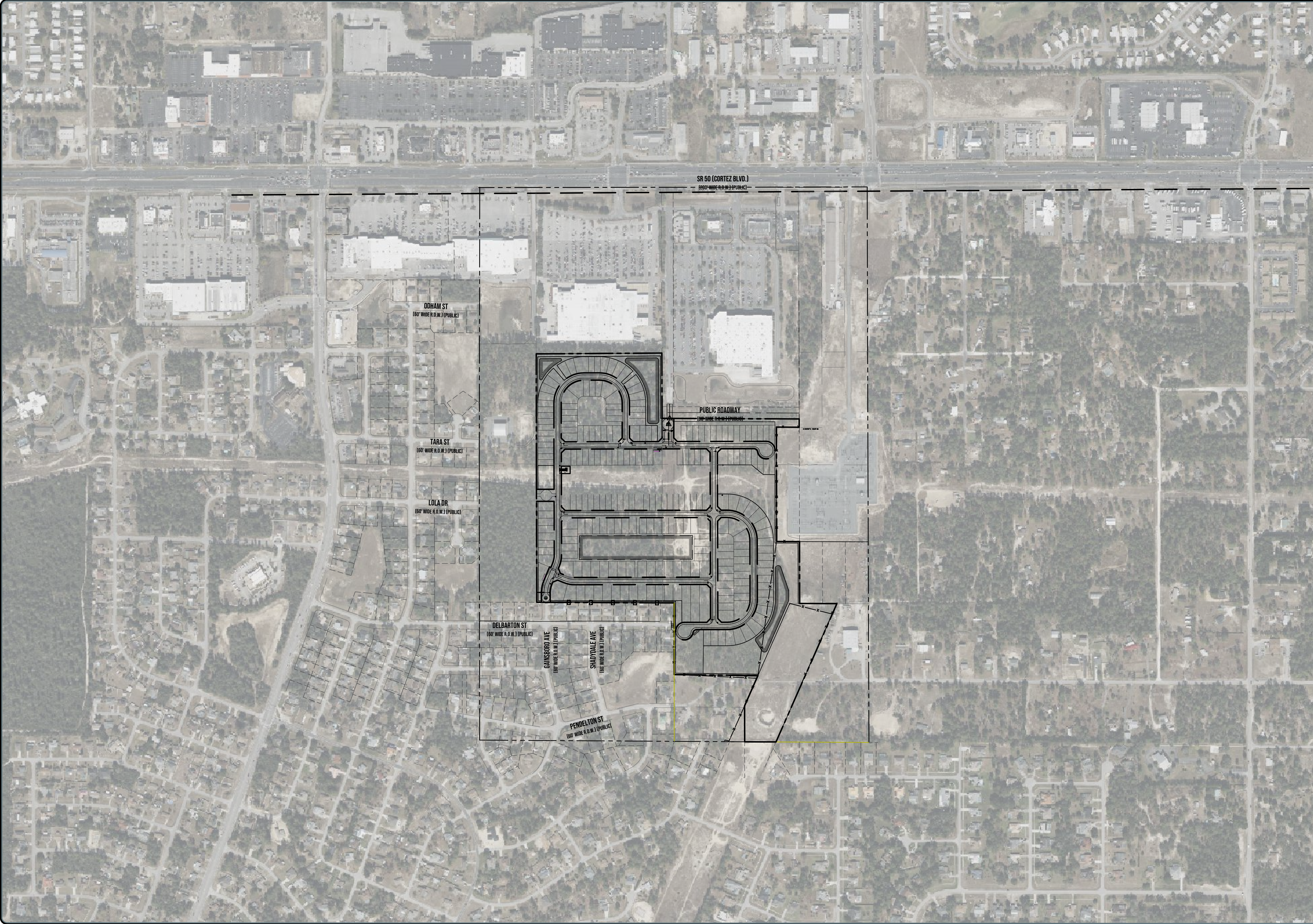
Checked By: KMA

PE Project No. 22-0008

Sheet No.

V-101

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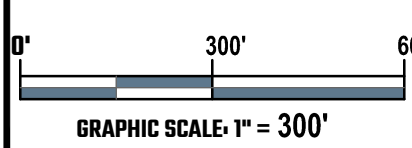
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North



SCALE



GRAPHIC SCALE: 1" = 300'

Project

FREEDOM RIDGE SUBDIVISION

Project Location

**SPRING HILL, HERNANDO
COUNTY, FLORIDA 34613**

Sheet Name

OVERALL AERIAL SITE MAP

**ISSUED FOR
CONDITIONAL PLAT
APPROVAL**

Revisions

REV	ISSUED FOR	ISSUE DATE	BY
1	COND PLAT COMMENTS HERNANDO COUNTY	3/7/2024	KMA
2	COND PLAT ADD COMMENTS HERNANDO COUNTY	6/5/2024	RBL

Date: 06/24/2022

Reviewed By: BF

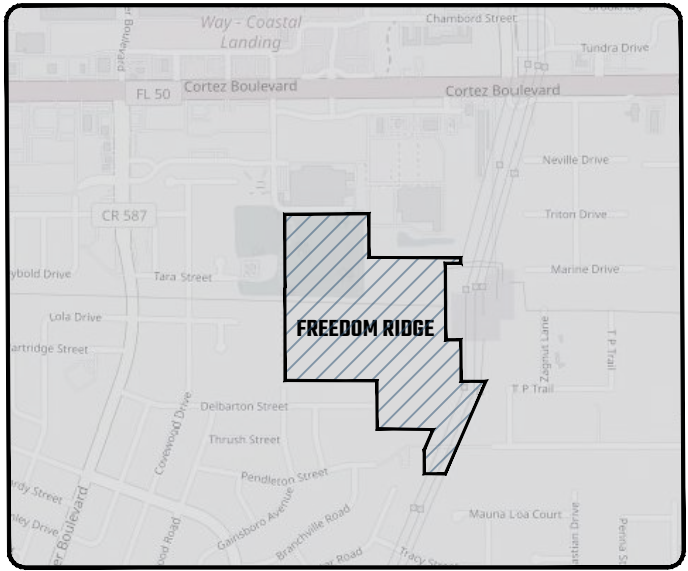
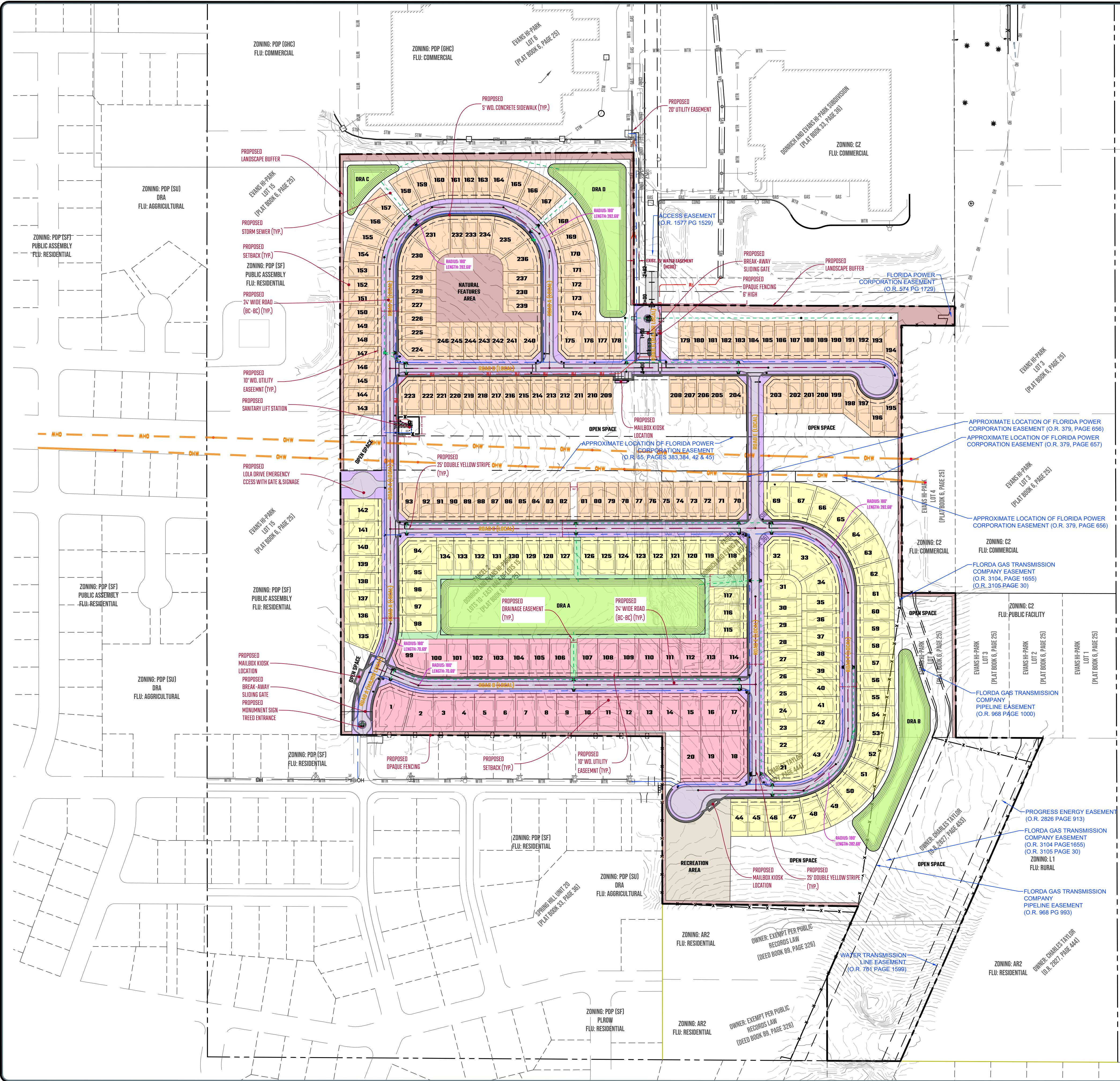
ENG/CADD: BH

Checked By: KMA

PE Project No. 22-0008

Sheet No. **C-100**

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PROPOSED LEGEND

	PROPOSED 60' X 110' LOT
	PROPOSED 50' X 110' LOT
	PROPOSED 40' X 110' LOT
	PROPOSED 50' WIDE RIGHT-OF-WAY
	RETENTION BASIN
	RECREATION/PARK AREA
	OPEN SPACE/GREENSPACE
	NATURAL VEGETATION & LANDSCAPE BUFFER

SITE DATA:

APPLICANT	PARAGON ACQUISITIONS, LLC
PARCEL KEY NUMBERS	424231, 424222, 1353877, 1428440, 1302922
PARCEL AREA	+/- .72.7 AC
LOCATION	SECTION 33, TOWNSHIP 22 SOUTH, RANGE 18 EAST, HERNANDO COUNTY, FLORIDA
DWELLING UNITS PROPOSED	246 UNITS (TOTAL) 40' LOTS: 129 UNITS 50' LOTS: 81 UNITS 60' LOTS: 36 UNITS
CURRENT ZONING	COMMERCIAL / AR
PROPOSED ZONING	PDP
MAXIMUM BUILDING HEIGHT	35'
MINIMUM LOT SETBACKS	FRONT: 20' (deviation from 25') SIDE: 5' (deviation from 10') REAR: 15' (deviation from 20') MINIMUM LOT WIDTHS: 40', 50', 60'
LANDSCAPE BUFFER	NORTH: 20' SOUTH: 10' EAST: 10' WEST: 10'

THE BUFFER TRACTS INDICATED ON THIS PLAN WILL CONSIST OF NATURAL VEGETATION WHERE POSSIBLE, ENHANCED WHERE WHERE SITE GRADING REQUIRES THE REMOVAL OF NATURAL VEGETATION, A VEGETATIVE BUFFER WILL BE LANDSCAPED WITHIN THE BUFFER TRACT, CONSISTING OF VEGETATION AND OPACITY CONSISTENT WITH COUNTY STANDARDS. A VINYL FENCE SHALL BE USED TO MEET OPACITY REQUIREMENTS OF HERNANDO COUNTY.

FLOODPLAIN NOTE:

The subject property lies in Flood Zone "X", according to Flood Insurance Rate Map, Map No. 12053C01680 for Hernando County, Community No. 120110, Hernando County, Florida, dated February 2, 2012 and issued by the Federal Emergency Management Agency. Lines shown have been digitally translated from OFIRM database information supplied by the FEMA Map Service Center <https://msc.fema.gov/>.

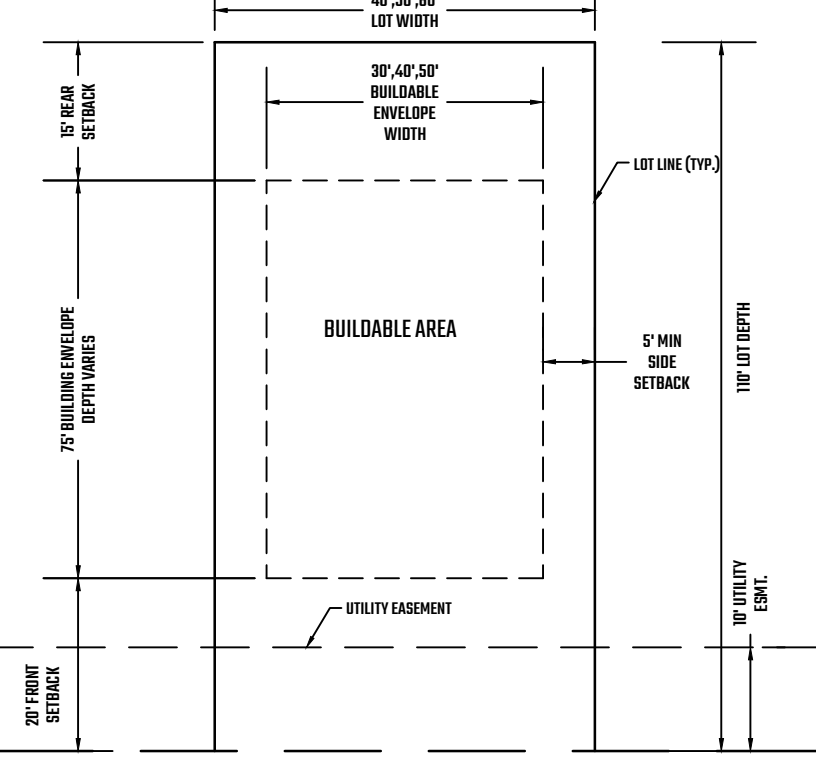
WETLAND NOTE:

NO WETLANDS AND/OR SURFACE WATERS ARE PRESENT ON SITE.

NOTES:

- DRAINAGE RETENTION AREAS SHOWN ARE PRELIMINARY. ACTUAL LOCATION AND SIZE IS PENDING FINAL ENGINEERING DESIGN.
- THIS IS A PLANNING DOCUMENT AND IS NOT TO BE CONSIDERED A FINAL DESIGN OR CONSTRUCTION PLAN AND IS NOT INTENDED FOR RECORDATION IN THE PUBLIC RECORDS. DRAINAGE AND UTILITY EASEMENTS WILL BE INCLUDED IN THE FINAL CONSTRUCTION PLAN AND SHALL MEET THE REQUIREMENTS OF HERNANDO COUNTY AND ANY AGENCIES HAVING JURISDICTION RELATIVE TO THIS PROJECT.
- EASEMENT SIZE AND LOCATION SHALL BE DETERMINED WITH FINAL DESIGN AND SHOWN ON FINAL PLAN.
- THE DEVELOPER SHALL CONFORM TO THE CURRENT HERNANDO COUNTY FACILITY DESIGN GUIDELINES.
- ALL ROADS WILL BE PRIVATE AND GATED AT THE ENTRY POINTS.
- ALL WATER MAIN AND SANITARY SEWER WILL BE WITHIN A 20' PUBLIC UTILITY EASEMENT.

LAND USE TABLE			
LAND USE	AREA (ACRES)	LOTS	DENSITY
SINGLE FAMILY ATTACHED - 60' X 110'	6.00	36	-
SINGLE FAMILY ATTACHED - 50' X 110'	11.41	81	-
SINGLE FAMILY ATTACHED - 40' X 110'	16.38	129	-
RECREATION AREA (PARK)	1.11	-	-
OPEN SPACE (GREENSPACE)	16.88	-	-
NATURAL VEGETATION/LANDSCAPE BUFFER	3.11	-	-
RIGHT-OF-WAY	10.43	-	-
DRAINAGE	5.28	-	-
TOTAL	72.7	246	APPROX. 3.43



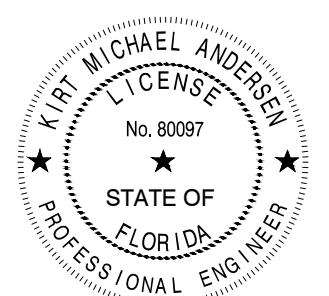
TYPICAL LOT DETAIL (246 TOTAL)



PRIORITY ENGINEERING, LLC



Engineer's Seal

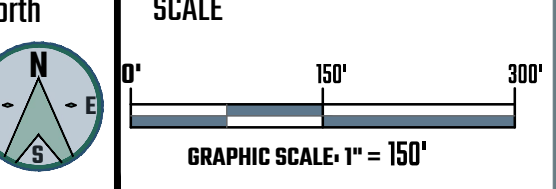


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Project
FREEDOM RIDGE SUBDIVISION

Project Location
SPRING HILL, HERNANDO COUNTY, FLORIDA 34613

Sheet Name
CONDITIONAL PLAT

ISSUED FOR CONDITIONAL PLAT APPROVAL

Revisions			
REV	ISSUED FOR	ISSUE DATE	BY
1	COND PLAT COMMENTS HERNANDO COUNTY	3/11/2024	KMA
2	COND PLAT ADD COMMENTS HERNANDO COUNTY	6/5/2024	RBL

Date: 06/24/2022

Reviewed By: BF

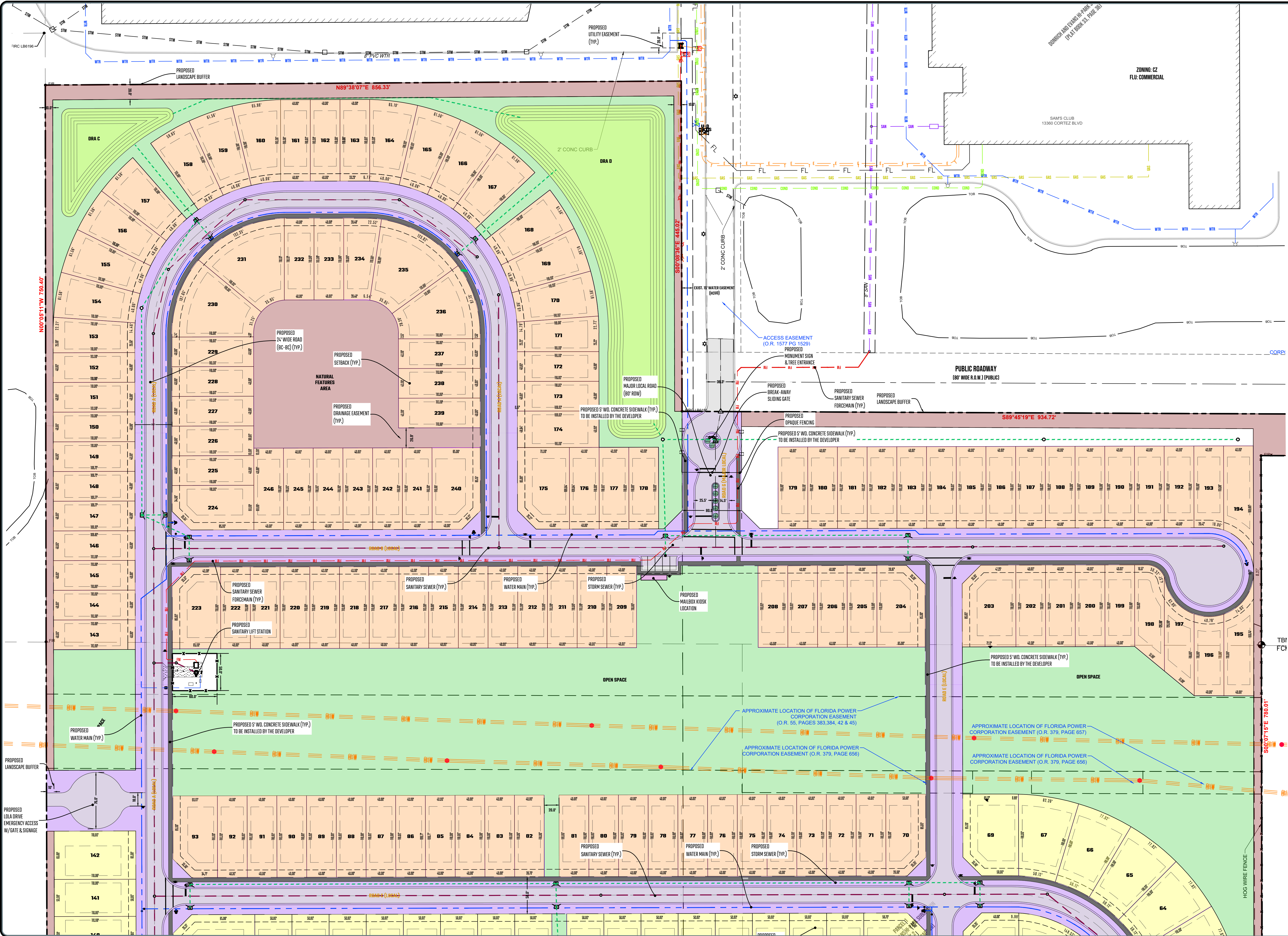
ENG/CADD: BH

Checked By: KMA

PE Project No. 22-0008

Sheet No. **C-200**

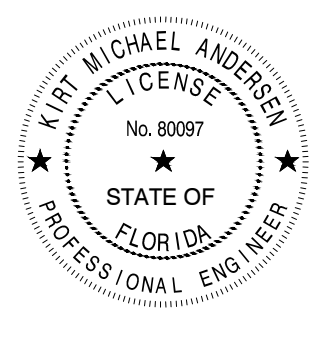
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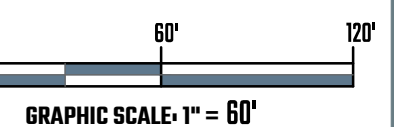
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North



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Project

FREEDOM RIDGE SUBDIVISION

Project Location

**SPRING HILL, HERNANDO
COUNTY, FLORIDA 34613**

Sheet Name

CONDITIONAL PLAT - NORTH

**ISSUED FOR
CONDITIONAL PLAT
APPROVAL**

Revisions

REV	ISSUED FOR	ISSUE DATE	BY
1	COND PLAT COMMENTS HERNANDO COUNTY	3/11/2024	KMA
2	COND PLAT ADD COMMENTS HERNANDO COUNTY	6/5/2024	RBL

Date:

06/24/2022

Reviewed By:

BF

ENG/CADD:

BH

Checked By:

KMA

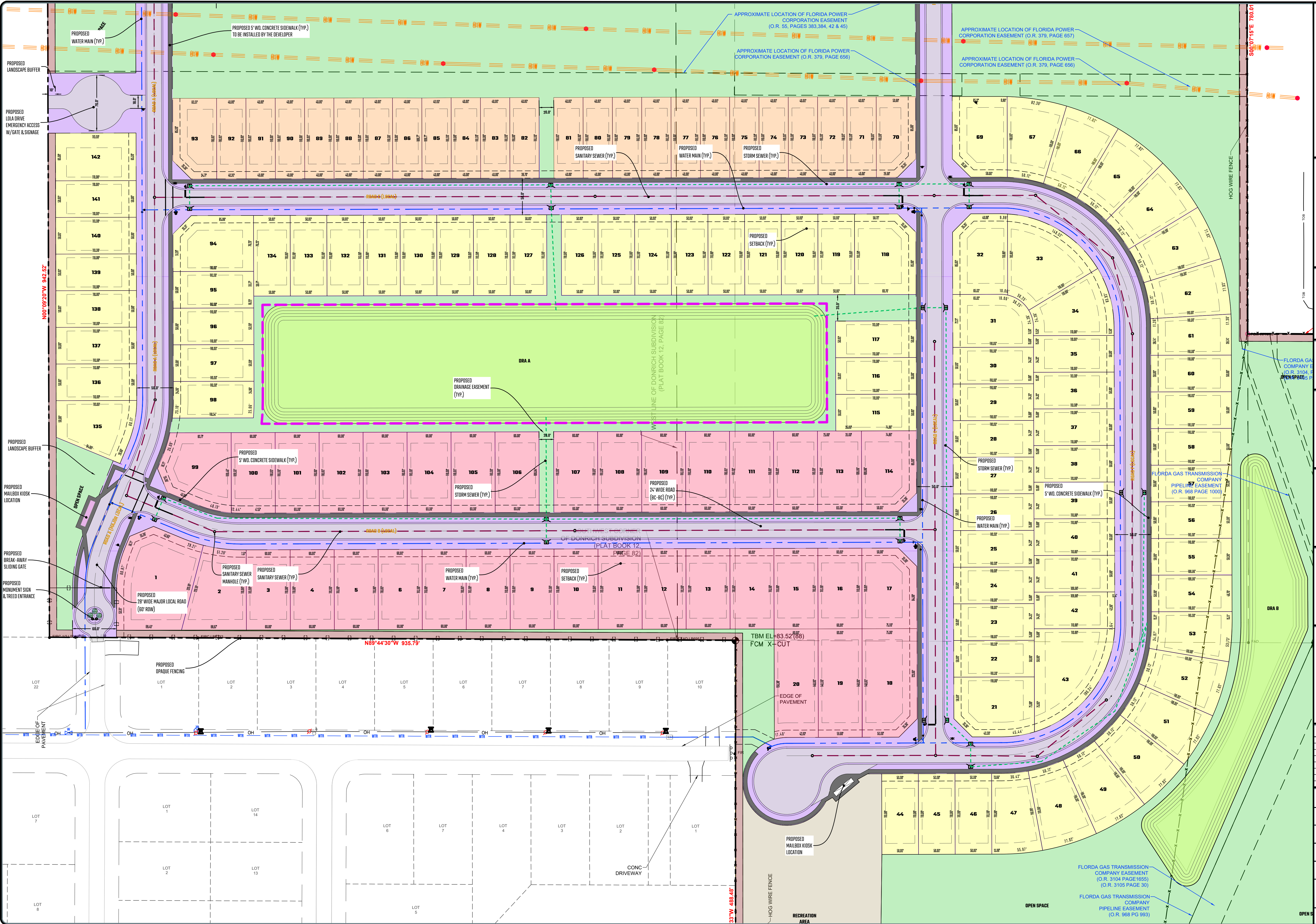
PE Project No.

22-0008

Sheet No.

C-201

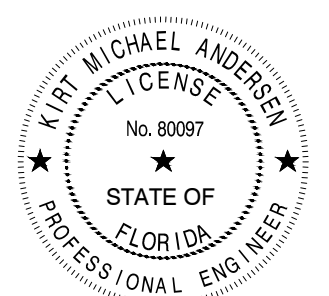
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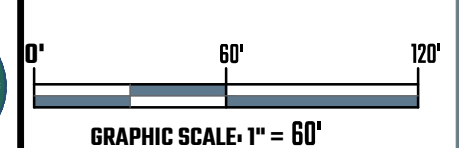
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SCALE



Project

FREEDOM RIDGE SUBDIVISION

Project Location

**SPRING HILL, HERNANDO
COUNTY, FLORIDA 34613**

Sheet Name

CONDITIONAL PLAT - SOUTH

**ISSUED FOR
CONDITIONAL PLAT
APPROVAL**

Revisions

REV	ISSUED FOR	ISSUE DATE	BY
1	COND PLAT COMMENTS HERNANDO COUNTY	3/11/2024	KMA
2	COND PLAT ADD COMMENTS HERNANDO COUNTY	6/5/2024	RBL

Date: 06/24/2022

Reviewed By: BF

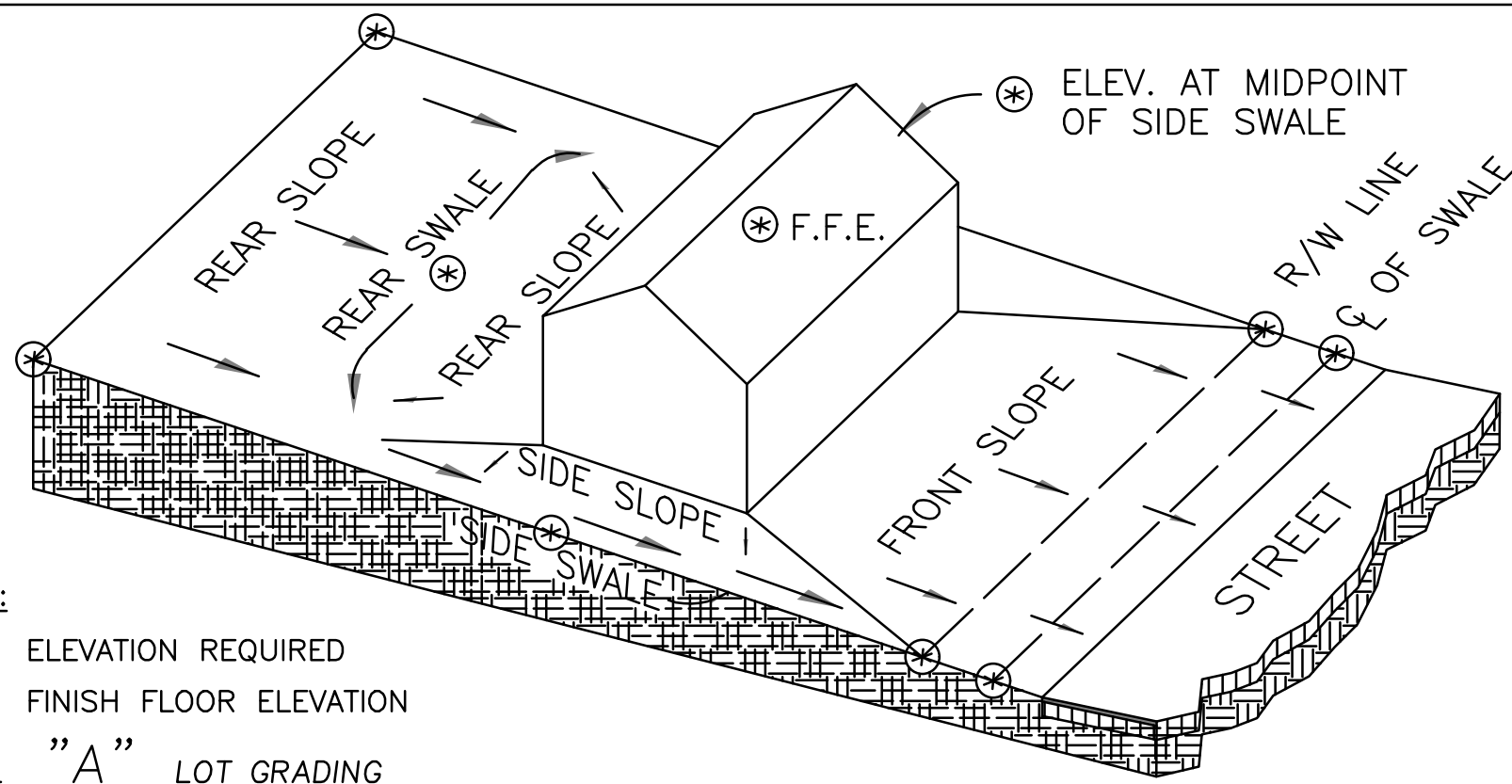
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PE Project No. 22-0008

Sheet No. **C-202**

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LEGEND:
⊕ ELEVATION REQUIRED
F.F.E. FINISH FLOOR ELEVATION

TYPICAL "A" LOT GRADING

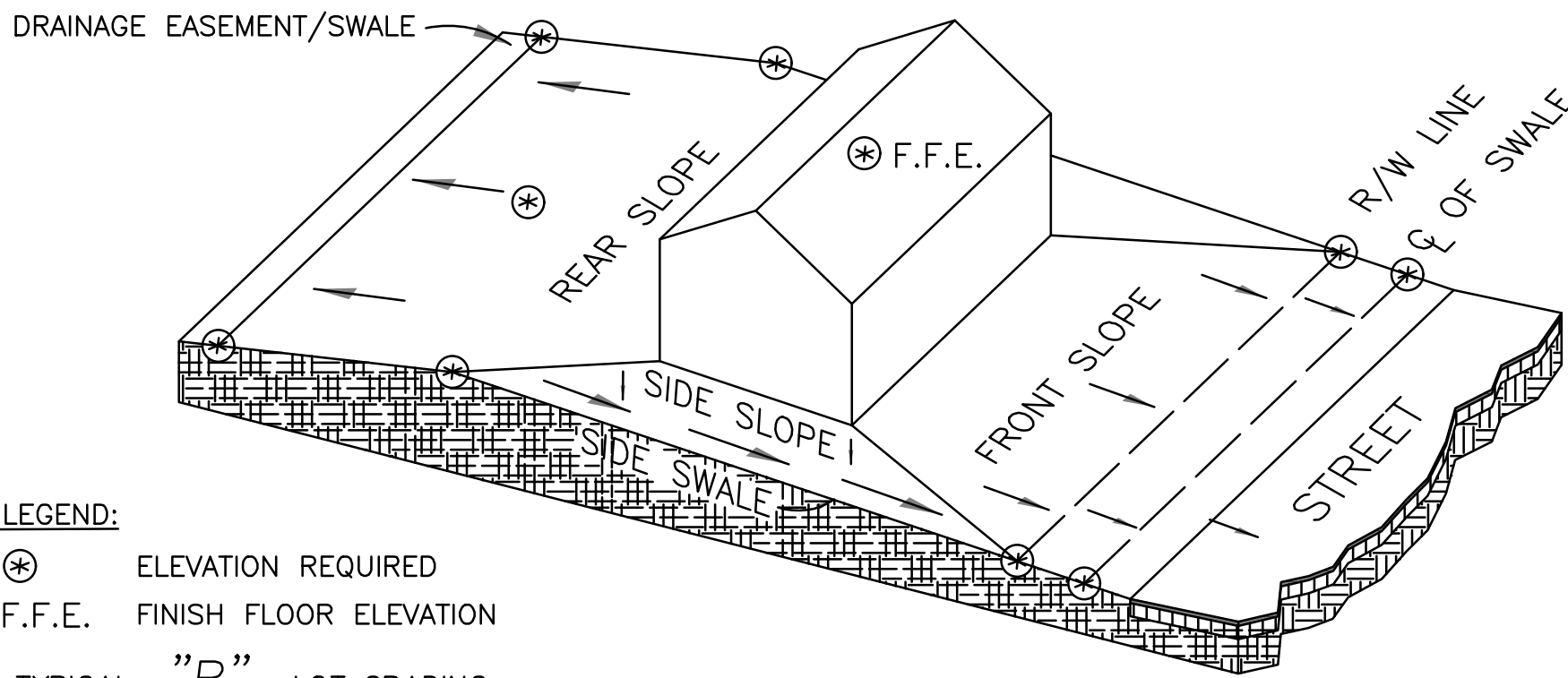
NOTES:

1. USE WITH SHEET III-15, LOT GRADING RULES.
2. TYPICAL "A" REPRESENTS REAR SLOPING SITES. WHERE THE SITE IS SLOPED, THE STRUCTURE WILL BE ELEVATED AT LEAST 12" ABOVE THE HIGHEST ELEVATION THE HOUSE SITS ON. DRAINAGE WILL BE AWAY FROM AND AROUND THE STRUCTURE.
3. REAR SWALE MINIMUM DEPTH 12" BELOW FINISH FLOOR ELEVATION. REAR SWALE SHALL DIRECT RUNOFF TO SIDE SWALE FLOWING INTO COUNTY RIGHT-OF-WAY.

TITLE: DRAINAGE / EROSION STANDARD
LOT AND BLOCK GRADING "A"

HERNANDO COUNTY
DEPARTMENT OF PUBLIC WORKS
ENGINEERING DIVISION
1525 E. JEFFERSON ST.
BROOKSVILLE, FLORIDA 34401
PH: (827)64-4082 FAX: (827)64-4438

APPROVED BY: C. G. MIXSON, P.E.
DATE: 10-01-08
NO.: III-12



LEGEND:
⊕ ELEVATION REQUIRED
F.F.E. FINISH FLOOR ELEVATION

TYPICAL "B" LOT GRADING

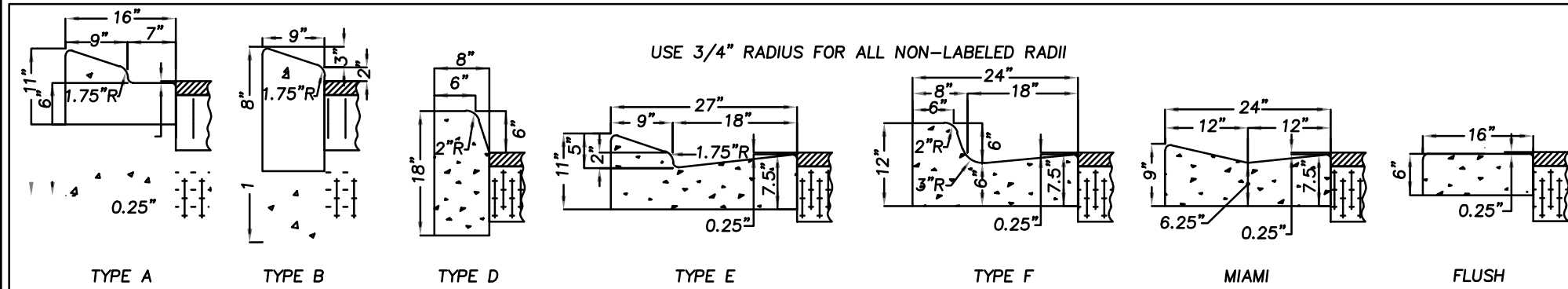
NOTES:

1. USE WITH SHEET III-15, LOT GRADING RULES.
2. TYPICAL "B" REPRESENTS FLAT OR DEPRESSED SITES. IF THE SITE IS FLAT OR DEPRESSED, THE FIRST FLOOR OF THE STRUCTURE SHALL BE AT LEAST 12" ABOVE THE CROWN OF THE ROAD, MEASURED AT THE MID-POINT OF THE FRONT OF THE HOUSE PAD.
3. FINISH FLOOR ELEVATION TO BE A MIN. 12" ABOVE C OF ROAD GRADE AND BE AT OR ABOVE THE 100 YEAR FLOOD PLAIN.

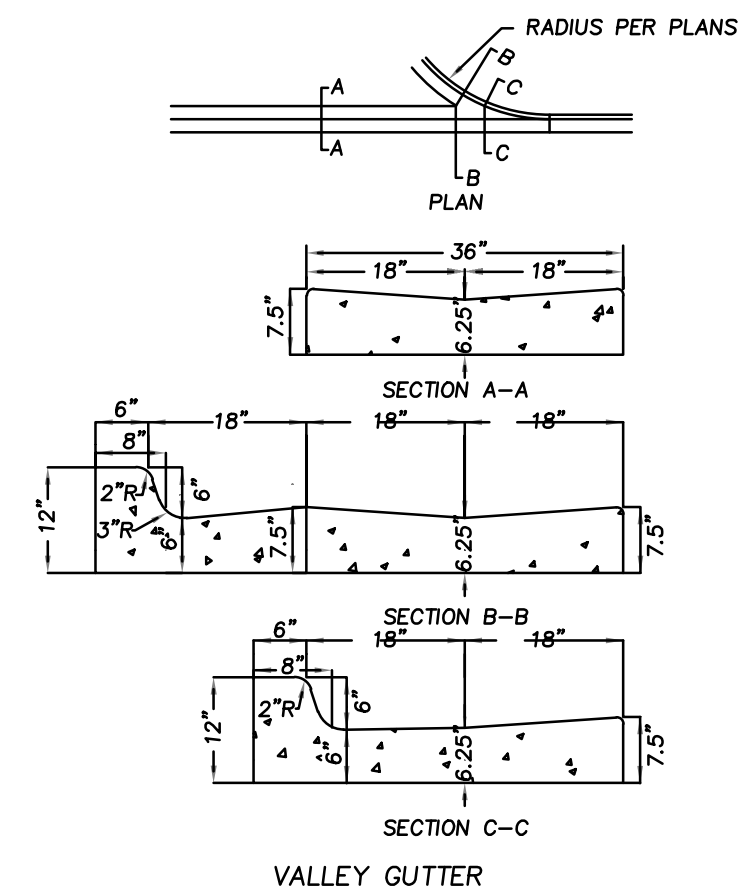
TITLE: DRAINAGE / EROSION STANDARD
LOT AND BLOCK GRADING "B"

HERNANDO COUNTY
DEPARTMENT OF PUBLIC WORKS
ENGINEERING DIVISION
1525 E. JEFFERSON ST.
BROOKSVILLE, FLORIDA 34401
PH: (827)64-4082 FAX: (827)64-4438

APPROVED BY: C. G. MIXSON, P.E.
DATE: 10-01-08
NO.: III-13



CURB TYPES



NOTES:

- See F.D.O.T. Index No. 300 for additional details.
- The pavement surface on low pavement edge is to be 1/4" above the lip of the gutter. The pavement surface on the high pavement edge is to be flush with the gutter.
- 1/8"-1/4" construction joints at 10' centers maximum are to be provided.
- A 1/2" expansion joint is required between concrete pavement and curbs and/or gutters.
- Minimum 3,000 psi. fiber mesh concrete to be used for curbs and/or gutters.

TITLE: DRAINAGE / EROSION STANDARD
CURBS AND GUTTERS

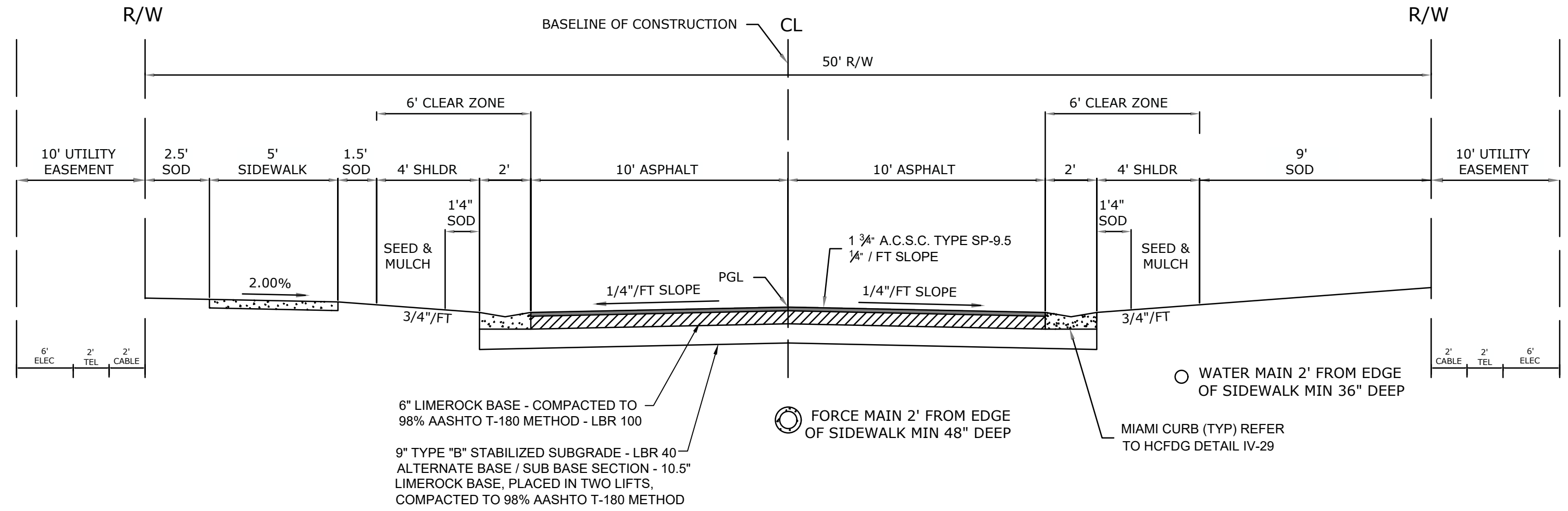
HERNANDO COUNTY
DEPARTMENT OF PUBLIC WORKS
ENGINEERING DIVISION
1525 E. JEFFERSON ST.
BROOKSVILLE, FLORIDA 34401
PH: (827)64-4082 FAX: (827)64-4438

APPROVED BY: C. G. MIXSON, P.E.
DATE: 10-01-08
NO.: IV-29

LOCAL ROAD - CLOSED DRAINAGE

DESIGN SPEED = 30 MPH*

HERNANDO COUNTY ROADWAY STANDARD DETAIL (IV-05)



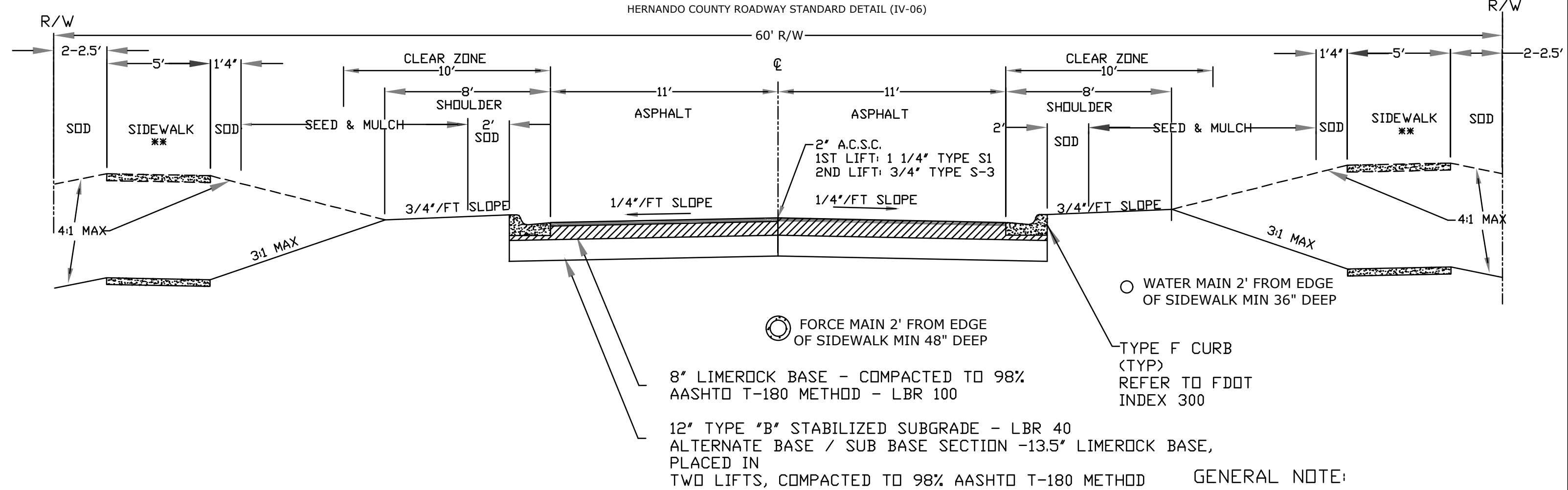
LOCAL ROAD - ENCLOSED DRAINAGE - TYPICAL SECTION

NOT TO SCALE

MAJOR LOCAL ROAD - CLOSED DRAINAGE

DESIGN SPEED = 35 MPH*

HERNANDO COUNTY ROADWAY STANDARD DETAIL (IV-06)



MAJOR LOCAL ROAD - ENCLOSED DRAINAGE - TYPICAL SECTION

NOT TO SCALE

GENERAL NOTE:

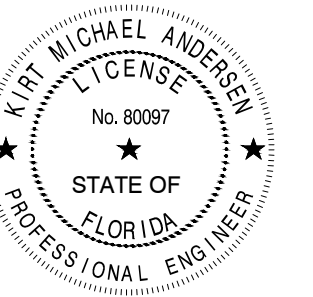
DESIGN SPEED, RIGHT-OF-WAY, AND ROADSIDE DIMENSIONS ARE MINIMUMS. SITE CONDITION MAY REQUIRE INCREASES.
* VARIANCE IN HORIZONTAL DESIGN SPEED ALLOWED WITH JUSTIFICATION AND APPROPRIATE SIGNAGE
** SIDEWALKS IF APPLICABLE
ALL DIMENSIONS AND LABELS ARE TYPICAL AND SHOWN IN FEET UNLESS LABELD OTHERWISE



PRIORITY ENGINEERING, LLC



Engineer's Seal



Certification

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Kirt M. Andersen, State of Florida, Professional Engineer, License No. 80097.
This item has been electronically signed and sealed by Kirt M. Andersen, PE, as dated on a Digital Signature.

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North SCALE

Project

FREEDOM RIDGE SUBDIVISION

Project Location

SPRING HILL, HERNANDO COUNTY, FLORIDA 34613

Sheet Name

TYPICAL SECTIONS

ISSUED FOR
CONDITIONAL PLAT
APPROVAL

Revisions

REV	ISSUED FOR	ISSUE DATE	BY
1	COND PLAT COMMENTS HERNANDO COUNTY	3/1/2024	KMA
2	COND PLAT ADD COMMENTS HERNANDO COUNTY	6/5/2024	RBL

Date: 06/24/2022

Reviewed By: BF

ENG/CADD: BH

Checked By: KMA

PE Project No. 22-0008

Sheet No. C-300

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RESOLUTION NO. 2021 - 207

WHEREAS, Hernando County has adopted zoning regulations pursuant to Section 125.01(1) and Chapter 163, *Florida Statutes*, which authorize the County to regulate the use of land in the unincorporated areas of Hernando County, Florida, and take action on the request herein; and,

WHEREAS, the Hernando County Board of County Commissioners (BOCC) conducted a duly advertised public hearing on November 16, 2021, to consider the requested changes in zoning on the specified parcels in Hernando County, Florida, as more fully described below.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF HERNANDO COUNTY, FLORIDA, AS FOLLOWS:

APPLICANT: Theodoros N. Zorbas; Charles S. Taylor Living Trust

FILE NUMBER: H-21-34

REQUEST: Rezoning from A/R(Agricultural/Residential), A/R-2(Agricultural/Residential-2) and C-2(Highway Commercial) to PDP(SF)/Planned Development Project (Single-Family), with Deviations

GENERAL LOCATION: Northern Terminus of Gainsboro Avenue, and Eastern Terminus of Delbarton Street

PARCEL KEY NUMBERS: 1302922, 424231, 424222, 1353877, 1428440

REQUEST: Rezoning from A/R(Agricultural/Residential), A/R-2(Agricultural/Residential-2) and C-2(Highway Commercial) to PDP(SF)/Planned Development Project (Single-Family), with Deviations, as enumerated in the BOCC Action, which is incorporated herein by reference and made a part hereof. The representations contained in the rezoning application are incorporated herein by reference and made a part hereof and are relied upon by the County to be true and correct. For purposes herein, it is presumed that all notice and advertising requirements have been satisfied.

FINDINGS OF FACT: ALL of the facts and conditions set forth in the County's staff memoranda and presented to the BOCC in connection with the public hearing in this matter are incorporated herein by reference and made a material part of this Resolution as integral to the BOCC's Action. The BOCC finds that the testimony and record supporting APPROVAL of the request to be credible and to constitute competent substantial evidence. In further support thereof, the BOCC makes the following specific findings of fact:

- The proposed request is consistent with the County's adopted Comprehensive Plan and is compatible with the surrounding land uses.

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Hernando County Planning Department Staff Report: H-21-34

BOCC ACTION:

- On November 16, 2021, the Board of County Commissioners voted 5-0 to adopt Resolution 2021-207 approving the petitioner's request for a rezoning from AR/(Agricultural/Residential), AR-2/(Agricultural/Residential-2) and C-2/(Highway Commercial) to PDP(SF)/Planned Development Project (Single Family) with deviations and with the following modified performance conditions:
- The petitioner must obtain all permits from Hernando County and other applicable agencies and meet all applicable land development regulations, for either construction or use of the property, and complete all applicable development review processes.
 - A comprehensive floral and wildlife (faunal) survey shall be prepared by a qualified professional. The petitioner is required to comply with all applicable FWC regulations and permitting.
 - The petitioner must meet the minimum requirements of Florida Friendly Landscaping™ publications and the Florida Yards and Neighborhoods Program for design techniques, principles, materials and plantings for required landscaping, as applicable.
 - The Builder/Developer shall provide new property owners with Florida-Friendly Landscaping™ (FFL) Program information and include FFL language in the HOAs covenants and restrictions. Information on the County's Fertilizer Ordinance and fertilizer use is to be included. Educational information is available through Hernando County Utilities Department.
 - Geotechnical subsurface testing and reporting in accordance with Hernando County's Facility Design Guidelines shall be conducted for all proposed drainage retention or detention areas within the project.
 - Any substandard roadways and access will require upgrades and improvements in accordance with the requirements of the County Engineer and the Facility Design Guidelines.
 - The petitioner shall design the stub-out to Lola Drive as a turnaround, meeting all Hernando County Facility Design Guidelines and the requirements of the Hernando County Fire and Emergency Services Department. If at any time Lola Drive is extended, allowing an interconnect to the subject property, the turnaround can be removed the property can connect to Lola Drive, providing an emergency access from the development. This emergency access shall be designed in accordance with the requirements of the County Engineer and the Hernando County Fire and Emergency Services Department.

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17

CONCLUSIONS OF LAW:

The BOCC is authorized to act on this matter pursuant to Chapters 125 and 163, *Florida Statutes*. Accordingly, after public hearing and testimony, being fully advised in the record, and based upon competent substantial evidence, the BOCC makes the following specific conclusions of law:

- The proposed request is consistent with the County's adopted Comprehensive Plan and is compatible with the surrounding land uses.

ACTION:

After notice and public hearing, based upon the record in this matter and ALL of the findings of fact and conclusions of law above, the BOCC hereby APPROVES the request for a Rezoning from A/R(Agricultural/Residential), A/R-2 (Agricultural/Residential-2) and C-2(Highway Commercial) to PDP(SF)/Planned Development Project (Single-Family), with Deviations, as set forth in the BOCC Action, which is incorporated herein by reference and made a part hereof. Any requests, uses, variances or exceptions that were requested in connection with this rezoning application but not specifically approved herein are hereby deemed **DENIED**.

ADOPTED IN REGULAR SESSION THE 16th DAY OF NOVEMBER 2021.

BOARD OF COUNTY COMMISSIONERS
HERNANDO COUNTY, FLORIDA

Attest: *Susan Brewster, Deputy Clerk* By: *Steve Champion, Chairman*
Douglas A. Chorvat, Jr. Clerk of Circuit Court & Comptroller Steve Champion, Chairman



Approved as to Form and
Legal Sufficiency
By: *Shannon Ellis*

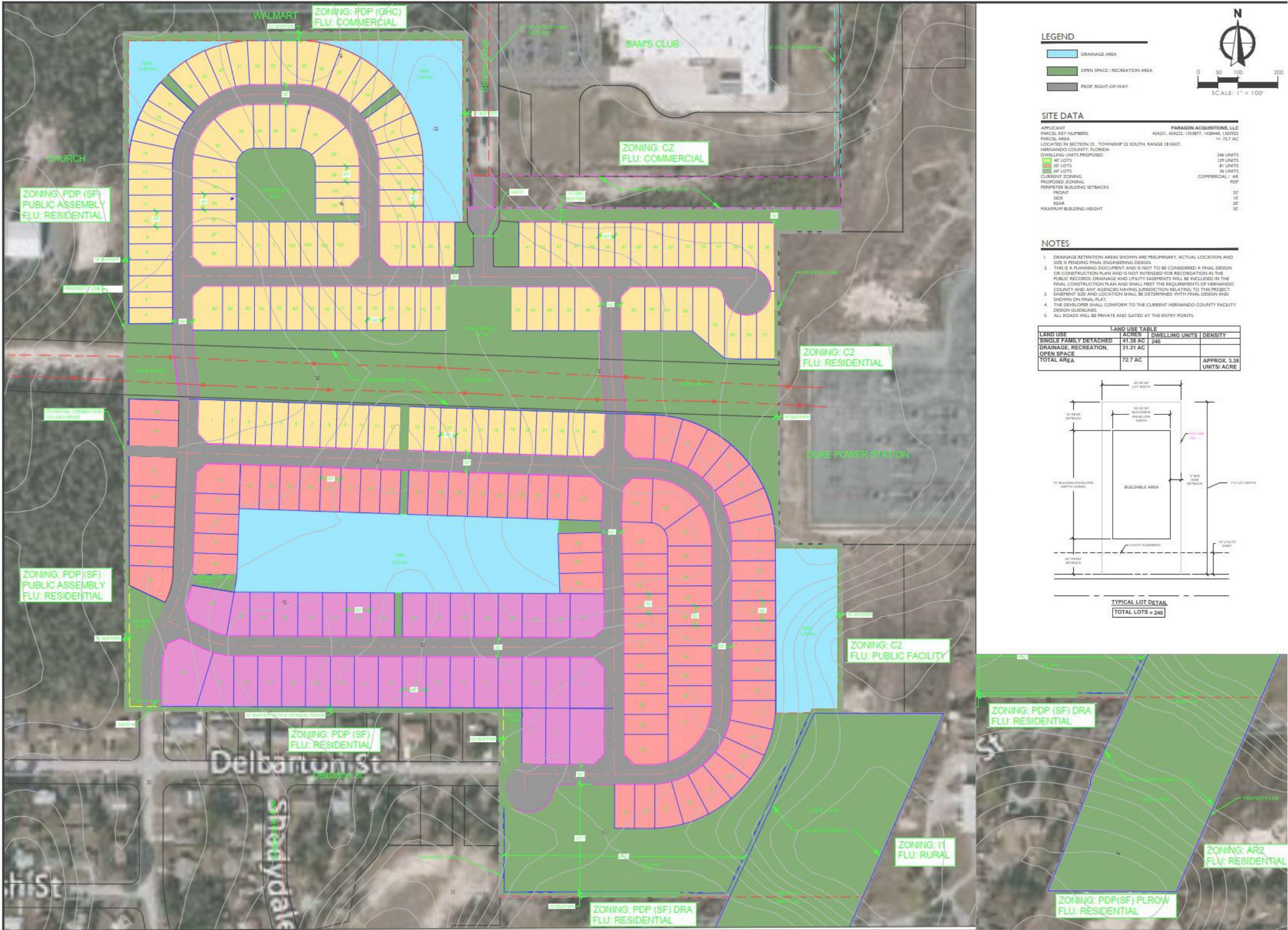
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Hernando County Planning Department Staff Report: H-21-34

- In conjunction with the conditional plat phase, the petitioner shall perform a Traffic Access Analysis in accordance with the requirements of the County Engineer. Any identified improvements shall be the responsibility of the developer.
- Minimum Landscape Buffer (minimum 80% opacity with retention/enhancement of existing vegetation):
North: 20' (for the entire property line)
South: 10' supplemented with a 6' fence
East: 10'
West: 10'
- Minimum Lot Setbacks, widths and sizes:
Front: 20' (Deviation from 25')
Side: 5' (Deviation from 10')
Rear: 15' (Deviation from 20')
Minimum lot widths: 40', 50' and 60' (40' and 50' Deviation from 60')
- The developer shall conduct a water and sewer capacity analysis during the conditional plat phase and connect to the central water and sewer systems at time of vertical construction. Any offsite improvements to ensure capacity is available to serve the development shall be the responsibility of the developer.
- The petitioner shall provide the minimum neighborhood park acreage as required by the County's Land Development Regulations.
- The petitioner shall preserve the minimum seven percent (7%) natural vegetation as required by the County's LDRs. The required natural vegetation may be included as part of the required open space.
- The petitioner must apply for and receive a Finding of School Capacity from the School District prior to the approval of the conditional plat or the functional equivalent. The County will only issue a certificate of concurrency for schools upon the School District's written determination that adequate school capacity will be in place or under actual construction within three (3) years after the issuance of subdivision approval or site plan approval (or functional equivalent) for each level of school without mitigation, or with the execution of a legally binding proportionate share mitigation agreement between the applicant, the School District, and the County.
- The developer shall provide utility placement details showing the locations of all utilities with the conditional plat.

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18



Hernando County Planning Department Staff Report: H-21-34

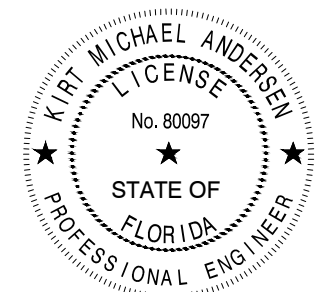
- The petitioner shall submit a fire protection plan with the Conditional Plat in accordance with Hernando County LDRs.
- At the time of construction plan approval, the petitioner shall apply for and receive a right-of-way use permit for access to the County right-of-way between the subject site and the Sam's Club easement to allow connectivity for the subject development to the easement.
- The subdivision shall be gated with resident-only access, designed in accordance with the requirements of the County Engineer and the Hernando County Fire and Emergency services.
- The internal roadway network shall be privately maintained. A Homeowners' Association will be established in accordance with the subdivision regulations to maintain the roadways, associated privately maintained infrastructure and drainage associated with the project.
- The petitioner shall provide a treed boulevard entrance into the development from the Sam's Club easement to the north, and a secondary access from Gainsboro Avenue. Delbarton Street. No access shall be granted from Delbarton Street, Gainsboro Avenue.
- The petitioner shall provide a revised plan in compliance with all the performance conditions within 30 calendar days of BCC approval. Failure to submit the revised plan will result in no further development permits being issued.

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19



Engineer's Seal



Certification

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North SCALE

Project
FREEDOM RIDGE SUBDIVISION

Project Location
SPRING HILL, HERNANDO COUNTY, FLORIDA 34613

Sheet Name
CONDITIONS OF APPROVAL

**ISSUED FOR
CONDITIONAL PLAT
APPROVAL**

Revisions

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2	COND PLAT ADD COMMENTS HERNANDO COUNTY	6/5/2024	RBL

Date: 06/24/2022

Reviewed By: BF

ENG/CADD: BH

Checked By: KMA

PE Project No. 22-0008

Sheet No.
R-100

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