

Construction Plans for Canopy - Village A U.S. Highway 19 Weeki Wachee, Hernando County, FL



AS SURVEYED DESCRIPTION - Per GeoPoint Surveying, Inc.

A parcel of land lying in Sections 11, 12, 13 and 14, Township 22 South, Range 17 East, Hernando County, Florida and being more particularly described as follows:

Commence at the Northeast corner of the Northeast 1/4 of the Northeast 1/4 of Section 13, Township 22 South, Range 17 East, Hernando County, Florida and run thence S.89°42'11"E, (Basis of bearing - Grid bearings, NAD83) 368.77 feet along the North boundary of Northeast 1/4 of said Section 13 to the Westerly right-of-way line of U.S. Highway No. 19 and the POINT OF BEGINNING; thence S.12°40'49"W, 1811.13 feet along said Westerly right-of-way line to a point of curvature; thence Southwesterly, 39.27 feet along the arc of a curve to the right having a radius of 25.00 feet and a central angle of 90°00'00" (chord bearing S.57°40'49"W, 35.36 feet) to a point of tangency; thence N.77°19'11"W, 111.00 feet to a point of curvature; thence Westerly, 229.06 feet along the arc of a curve to the left having a radius of 325.00 feet and a central angle of 40°22'58" (chord bearing S.82°29'19"W, 224.35 feet) to a point of reverse curvature; thence Westerly, 240.06 feet along the arc of a curve to the right having a radius of 350.00 feet and a central angle of 39°17'55" (chord bearing S.81°56'48"W, 235.36 feet); thence S.07°30'00"W, 171.29 feet to a point on a curve; thence continue Westerly, 184.39 feet along the arc of said curve to the right having a radius of 521.00 feet and a central angle of 20°16'39" (chord bearing N.69°36'30"W, 183.43 feet); thence N.71°32'42"W, 34.51 feet; thence S.78°21'56"W, 59.72 feet; thence S.63°33'12"W, 53.35 feet; thence S.53°02'29"W, 54.78 feet; thence N.00°00'45"W, 187.33 feet to a point on a curve; thence Northwesterly, 142.39 feet along the arc of a curve to the left having a radius of 84.00 feet and a central angle of 86°47'36" (chord bearing N.45°43'29"W, 129.16 feet); thence S.88°34'03"W, 184.93 feet; thence N.00°10'37"W, 326.30 feet to a point of curvature; thence Northwesterly, 92.04 feet along the arc of a curve to the left having a radius of 50.00 feet and a central angle of 105°08'12" (chord bearing N.52°54'53"W, 79.58 feet) to a point of tangency; thence S.74°21'11"W, 364.44 feet to a point on a curve; thence Westerly, 221.56 feet along the arc of a curve to the right having a radius of 203.00 feet and a central angle of 62°32'00" (chord bearing N.78°34'54"W, 210.72 feet); thence N.81°24'08"W, 58.40 feet; thence N.48°56'35"W, 105.86 feet; thence S.41°03'37"W, 1381.42 feet; thence N.53°59'50"W, 101.46 feet; thence S.84°50'39"W, 114.99 feet to a point on a curve; thence Westerly, 215.54 feet along the arc of a curve to the right having a radius of 70.00 feet and a central angle of 178°52'53" (chord bearing S.86°10'45"W, 139.99 feet) to a point of reverse curvature; thence Northwesterly, 13.72 feet along the arc of a curve to the left having a radius of 15.00 feet and a central angle of 52°24'58" (chord bearing N.30°55'18"W, 13.25 feet) to a point of tangency; thence N.56°47'47"W, 172.04 feet to a point of curvature; thence Northwesterly, 82.21 feet along the arc of a curve to the right having a radius of 335.00 feet and a central angle of 14°03'36" (chord bearing N.49°45'59"W, 82.00 feet); thence S.79°50'33"W, 38.77 feet; thence N.72°50'22"W, 82.03 feet; thence N.67°48'43"W, 77.84 feet; thence S.67°48'08"W, 59.32 feet; thence N.76°55'28"W, 39.67 feet; thence N.64°36'15"W, 268.43 feet to a point on a curve; thence along the Easterly boundary of the Chassahouitzka Wildlife Refuge as recorded in D.R. Book 1072, Page 234, Public Records of Hernando County, Florida, the following nineteen (19) courses: 1) Northeasterly, 830.89 feet along the arc of a curve to the left having a radius of 590.00 feet and a central angle of 80°41'29" (chord bearing N.29°50'17"E, 763.91 feet) to a point of tangency; 2) N.10°30'17"W, 227.39 feet to a point of curvature; 3) Northeasterly, 520.18 feet along the arc of a curve to the right having a radius of 365.00 feet and a central angle of 81°39'21" (chord bearing N.30°18'44"E, 477.27 feet) to a point of tangency; 4) N.71°08'22"E, 287.86 feet; 5) N.01°55'01"W, 223.80 feet; 6) N.46°22'40"W, 539.87 feet; 7) S.67°02'14"W, 398.51 feet; 8) N.65°12'26"W, 209.69 feet; 9) N.33°39'58"E, 81.92 feet; 10) N.33°35'50"E, 279.55 feet; 11) N.81°58'31"E, 451.97 feet; 12) N.74°19'49"E, 301.98 feet; 13) S.67°58'50"E, 310.72 feet; 14) N.39°21'10"E, 181.53 feet; 15) N.11°29'38"W, 246.27 feet; 16) N.21°54'26"E, 352.26 feet; 17) N.12°17'53"W, 304.07 feet; 18) N.89°49'45"E, 96.08 to the West boundary of the Southwest 1/4 of the Southwest 1/4 of Section 12, Township 22 South, Range 17 East; 19) N.00°25'26"W, 70.06 feet along the West boundary thereof to the Northwest corner of the Southwest 1/4 of the Southwest 1/4 of said Section 12; thence N.89°40'36"E, 1308.49 feet along the North boundary of the Southwest 1/4 of the Southwest 1/4 of said Section 12 to the Northeast corner thereof; thence N.89°49'36"E, 1330.50 feet along the North boundary of the Southwest 1/4 of the Southwest 1/4 of said Section 12 to the Northeast corner thereof; thence N.89°40'36"E, 672.29 feet along the North boundary of the Southwest 1/4 of the Southwest 1/4 of said Section 12 to the Westerly right-of-way line of U.S. Highway No. 19; thence S.12°40'49"W, 1354.46 feet along said Westerly right-of-way line to the POINT OF BEGINNING.

Agent:
Poulos & Bennett, LLC
c/o Rafael Arosemena
2602 E. Livingston St.
Orlando, FL 32803
407.487.2594
email: rarosemena@poulosandbennett.com

Parcel Id. No.:
R12 422 17 0000 0040 0000
R13 422 17 0000 0020 0050
R13 422 17 0000 0080 0010
R14 422 17 0000 0010 0031

Owner/Applicant:
Park Square Enterprises, LLC
5200 Vineland Road, Suite 200
Orlando, FL 32811

FDOT PERMIT NUMBER

2024-A-798-00019
2024-D-798-00019

ROADWAY SECTION

SR: 55
ROAD SECTION NUMBER: 08 020 000

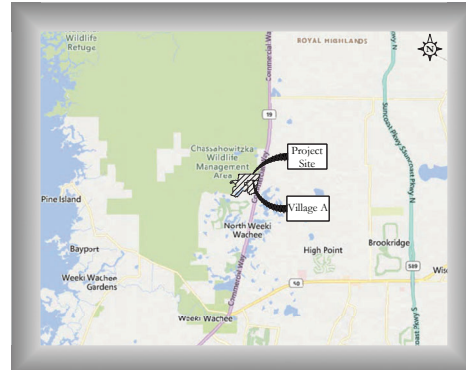
MILEPOST

MP: 11.377

ACCESS CLASSIFICATION

ACCESS CLASSIFICATION: 3

Sheet Id.	Sheet Title	Subm./Rev.					
		1	2	3	4	5	6
C1.00	Cover Sheet						
C0.01	Construction Notes						
C1.05	Existing Conditions Plan						
C1.00	Erosion Control & Demolition Plan, Notes, & Details						
C1.03	Limits Of Construction						
C1.04	Wetland Impact Plan						
C1.05	Floodplain Impact & Compensation Plan						
C2.00	Master Site Plan						
C2.01	Village A - Overall Site Plan						
C2.02	Site Data						
C2.20	Geometry Plan						
C2.30	Signage & Striping Plan						
C3.00	Hernando County Typical Roadway Standard Details						
C4.00	Master Drainage Plan						
C4.01	Village A - Overall Drainage Plan						
C4.02	Grading & Drainage Plan						
C4.11	Storm Structure Tables						
C4.20	Grading Sections						
C4.30	Control Structure Details						
C5.00	Master Utility Plan						
C5.01	Village A - Overall Utility Plan						
C5.02	Utility Plan						
C5.20	Sanitary Structure Tables						
C5.28	Lift Station Site Plan						
C6.00	Plan & Profile						
C7.00	Signage & Pavement Markings Plan						
C8.00	Fire Protection Plan						
C9.00	General Construction Details						
C9.10	Hernando County Standard Construction Details						
C9.13	Hernando County Water & Sewer Details						

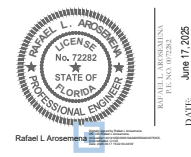


Vicinity Map
Scale: N.T.S.

Consultants

- Civil Engineer:**
Poulos & Bennett, LLC
2602 E. Livingston St.
Orlando, FL 32803
407.487.2594
- Environmental:**
Hornor Environmental Professionals, Inc.
28536 Walker Drive
Wesley Chapel, FL 33544
813.781.1253
- Surveyor:**
Hamilton Engineering & Surveying, LLC.
3409 W. Lemon Street
Tampa, FL 33609
813.250.3636
- Landscape Architect:**
Whitaker Design Group
12547 Spring Hill Dr.
Spring Hill, FL 34609
855.210.0855
- Geotechnical Engineer:**
Faulkner Engineering Services, LLC.
2734 Causeway Center Drive
Tampa, FL 33619
813.621.8168

Date	Description
1/15/2024	Submit To Hernando County
1/30/2024	Submit to SWFWMD
3/21/2024	Submit to FDOT
6/27/2024	Response to County Comments
8/6/2024	Response to SWFWMD
11/26/2024	Response to County & FDOT Drainage Comments
4/3/8/2025	Response to County & FDOT Drainage Comments
5/23/2025	Response to County Comments
6/6/2025	Response to FDOT Drainage Comments
6/17/2025	Revision to County



Rafael L. Arosemena
Professional Engineer
The work has been electronically signed and sealed by Rafael L. Arosemena, P.E., on 6/17/2025 using a valid certification authority. Digital copies of this document are not considered legal and shall not be used for any legal purposes.



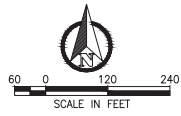
2602 E. Livingston St., Orlando, FL 32803
Tel. 407.487.2594 www.poulosandbennett.com
Eng. Bus. No. 28567
P&B Job No: 23-035

Construction Plans for Canopy - Village A

Z:\2023\03-035 PARK SQUARE - CANOPY HERNANDO COUNTY\DRAWING\CONV\03-035 PH-15

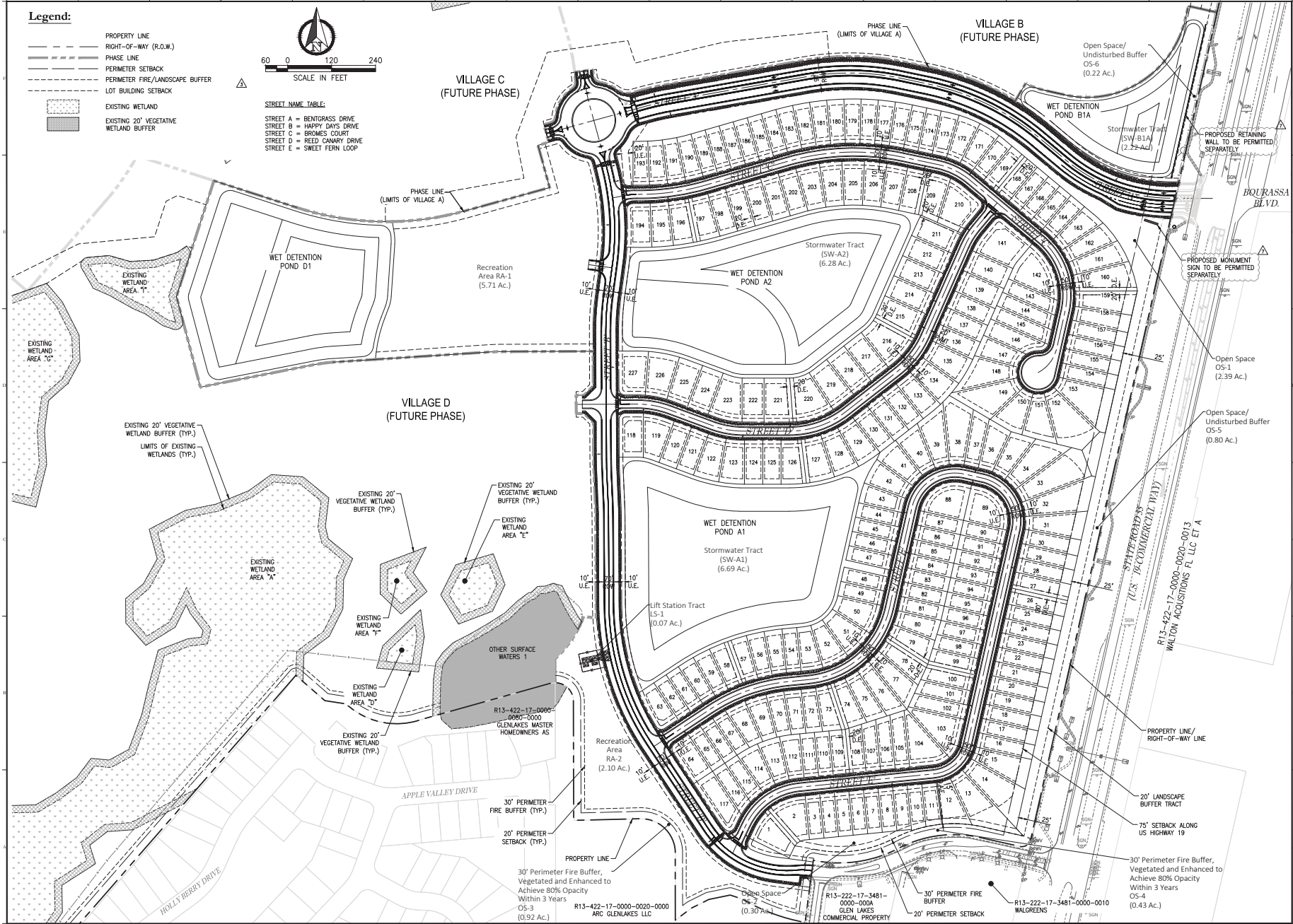
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- PROPERTY LINE
- RIGHT-OF-WAY (R.O.W.)
- PHASE LINE
- PERIMETER SETBACK
- PERIMETER FIRE/LANDSCAPE BUFFER
- LOT BUILDING SETBACK
- EXISTING WETLAND
- EXISTING 20' VEGETATIVE WETLAND BUFFER

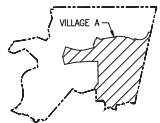


STREET NAME TABLE:

- STREET A = BENTGRASS DRIVE
- STREET B = HAPPY DAYS DRIVE
- STREET C = BROMES COURT
- STREET D = REED CANARY DRIVE
- STREET E = SWEET FERN LOOP



Key Map:



Consultant:

7/07/2023	REVISION TO COUNTY
6/06/2023	RESPONSE TO FDOT COMMENTS
5/31/2023	RESPONSE TO COUNTY
4/30/2023	RESPONSE TO COUNTY & FDOT
3/11/2023	RESPONSE TO COUNTY & FDOT
2/06/2023	RESPONSE TO COUNTY COMMENTS
1/06/2023	RESPONSE TO COUNTY COMMENTS
07/21/2024	SUBMIT TO FDOT
07/30/2024	SUBMIT TO FDOT
07/30/2024	SUBMIT TO HERNANDO COUNTY
07/15/2024	SUBMIT TO HERNANDO COUNTY

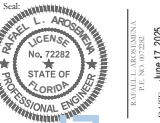
NO. DATE	DESCRIPTION	REVISIONS
VERTICAL DATUM	NAVD 88	
JOB NO.	23-035	
DESIGNED BY:	RA	
DRAWN BY:	SA	
CHECKED BY:	RA	
APPROVED BY:	JP	
SCALE IN FEET:	1" = 120'	

CANOPY VILLAGE A

Submitted To:
HERNANDO COUNTY, FL

Sheet Title:
VILLAGE A - OVERALL SITE PLAN

Sheet No.:
C2.01



Rafael L. Arosemena
Professional Engineer
No. 72282
STATE OF FLORIDA

POULOS & BENNETT
a Peapack-Gottschalk company

Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
Tel. 407.467.2204 www.poulosandbennett.com
Eng. No. 28567

2:\2023\03-235 PARK SOURCE - CANOPY HERNANDO CO\04\FINAL\COUNTY\13-035 PH1-VILLAGE A -03P

Legend:

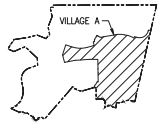
- PROPERTY LINE
- RIGHT-OF-WAY (R.O.W.)
- PHASE LINE
- PERIMETER SETBACK
- PERIMETER FIRE/LANDSCAPE BUFFER
- LOT BUILDING SETBACK
- EXISTING WETLAND
- EXISTING 20' VEGETATIVE WETLAND BUFFER

CURVE NUMBER (CN) TABLE:

VILLAGE A =	67.8
VILLAGE B =	69.8
VILLAGE C =	68.0
VILLAGE D =	70.4



Key Map:



Consultant:

7/17/2018	REVISION TO COUNTY
6/6/2018	RESPONSE TO FDOT COMMENTS
5/21/2018	RESPONSE TO COUNTY
4/19/2018	RESPONSE TO COUNTY & FDOT
3/11/2018	RESPONSE TO COUNTY & FDOT
2/16/2018	RESPONSE SHEPARD COMMENTS
1/16/2018	RESPONSE COUNTY COMMENTS
10/27/2017	SUBMIT TO FDOT
05/21/2017	SUBMIT TO FDOT
01/30/2017	SUBMIT TO SHEPARD
01/15/2017	SUBMIT TO HERNANDO COUNTY
NO. DATE	SUBMISSIONS
NO. DATE	SUBMISSIONS/REVISIONS
VERTICAL DATUM	NAVD 88
JOB NO.	23-035
DESIGNED BY:	RA
DRAWN BY:	SA
CHECKED BY:	RA
APPROVED BY:	JP
SCALE IN FEET	1" = 200'

CANOPY VILLAGE A

Submitted To:
HERNANDO COUNTY, FL

Sheet Title:
MASTER DRAINAGE PLAN

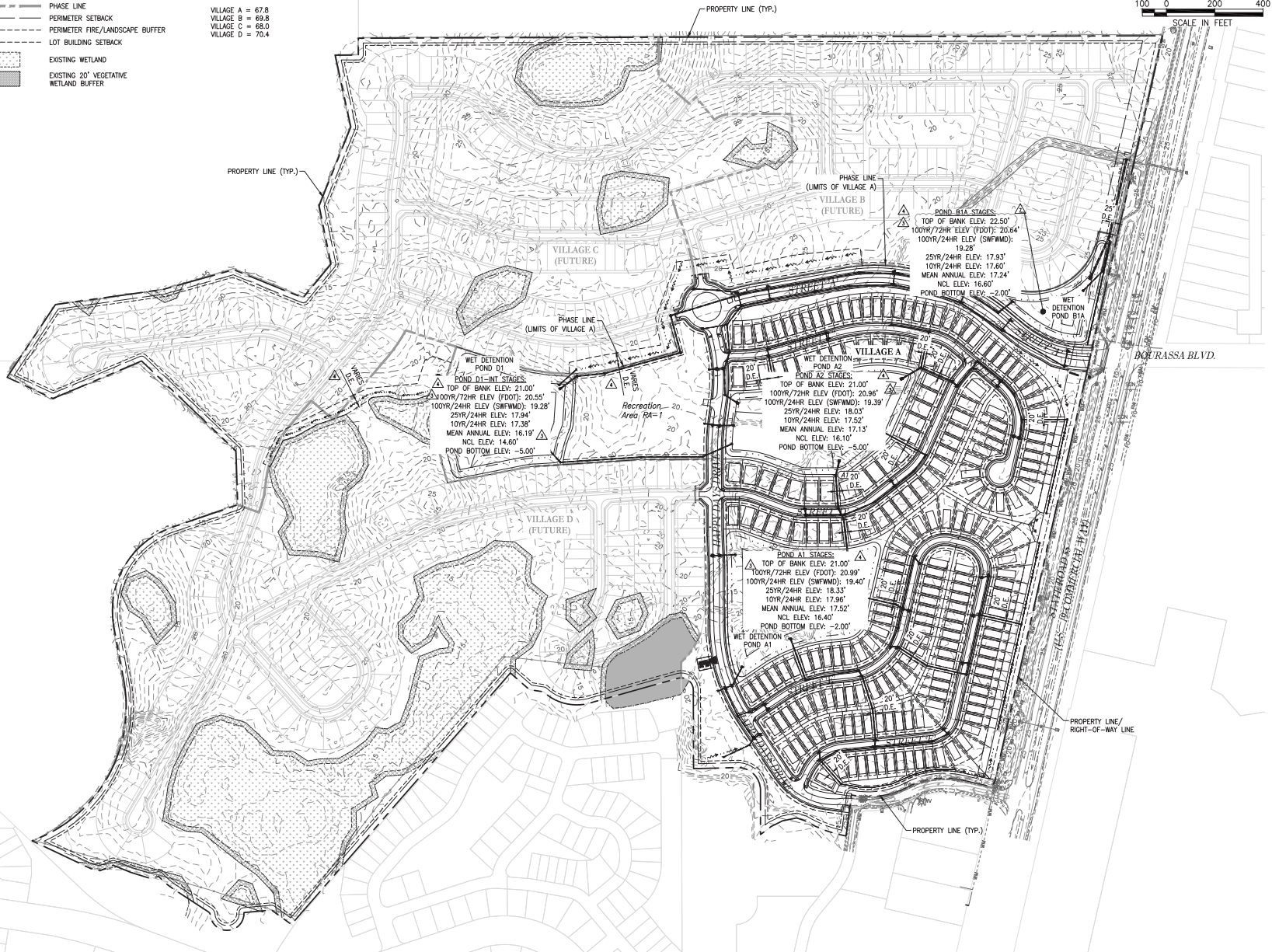
Sheet No.:
C4.00



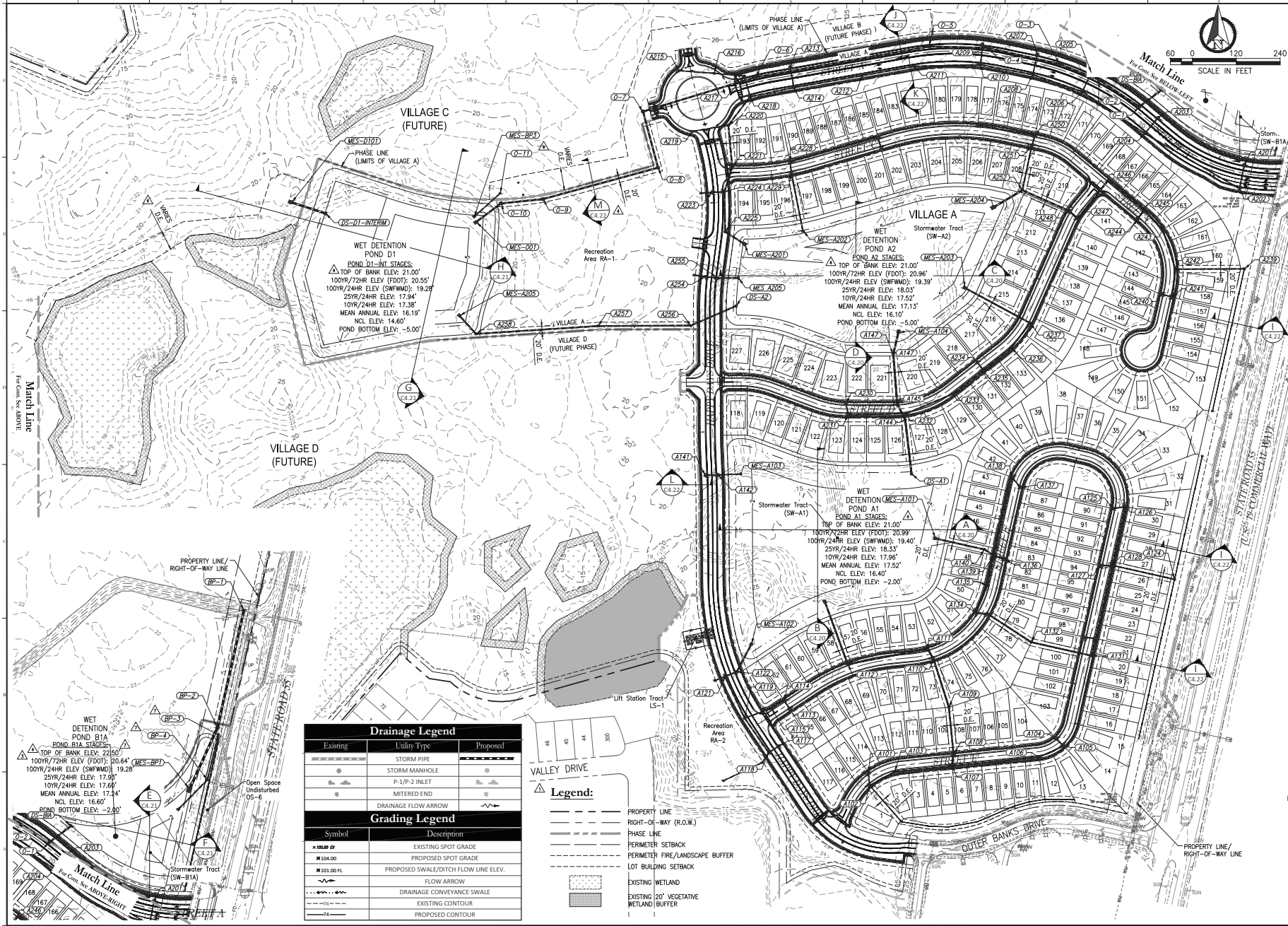
Rafael L. Arosemena

POULOS & BENNETT
a Pape-Dawson company

Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
Tel. 407.467.2204 www.poulosandbennett.com
Eng. Bus. No. 28567



Z:\2023\13-035 PARK SQUARE - CANOPY HERNANDO COUNTY\FINAL\COUNTY\13-035 PH1-MP



Key Map:

Consultant:

7. 6/17/2023 REVISION TO COUNTY
 6. 6/6/2023 RESPONSE TO FDOT COMMENTS
 5. 3/21/2023 RESPONSE TO COUNTY
 4. 3/9/2023 RESPONSE TO COUNTY & FDOT
 3. 11/26/2024 RESPONSE TO COUNTY & FDOT
 2. 10/6/2024 RESPONSE TO COUNTY COMMENTS
 1. 10/6/2024 RESPONSE COUNTY COMMENTS
 0. 9/21/2024 SUBMIT TO FDOT
 0. 9/20/2024 SUBMIT TO SWFWMD
 0. 15/2024 SUBMIT TO HERNANDO COUNTY

NO. DATE REVISIONS

VERTICAL DATUM NAVD 83

JOB NO. 23-035

DESIGNED BY: RA

DRAWN BY: SA

CHECKED BY: RA

APPROVED BY: JP

SCALE IN FEET 1" = 120'

Project Name:
CANOPY VILLAGE A

Submitted To:
 HERNANDO COUNTY, FL

Sheet Title:
VILLAGE A - OVERALL DRAINAGE PLAN

Sheet No.:
C4.01



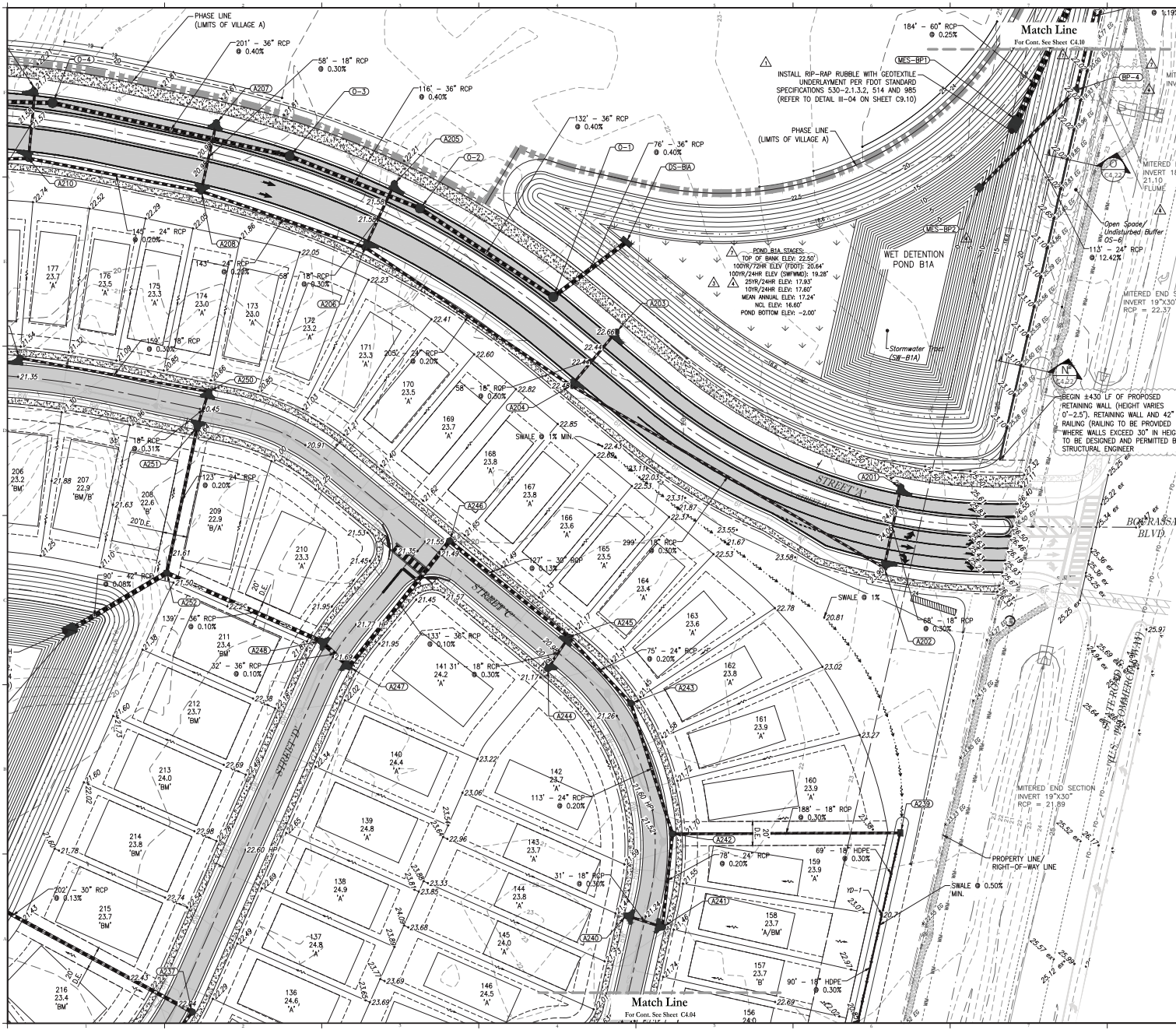
Drainage Legend		
Existing	Utility Type	Proposed
	STORM PIPE	
	STORM MANHOLE	
	P-SIP-2 INLET	
	METERED END	
	DRAINAGE FLOW ARROW	

Grading Legend	
Symbol	Description
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	EXISTING FLOW LINE ELEV.
	PROPOSED SWALE/DITCH FLOW LINE ELEV.
	FLOW ARROW
	DRAINAGE CONVEYANCE SWALE
	EXISTING CONTOUR
	PROPOSED CONTOUR

Legend:

- PROPERTY LINE
- RIGHT-OF-WAY (R.O.W.)
- PHASE LINE
- PERIMETER SETBACK
- PERIMETER FIRE/LANDSCAPE BUFFER
- LOT BUILDING SETBACK
- EXISTING WETLAND
- EXISTING 20' VEGETATIVE WETLAND BUFFER

Z:\2023\23-035 PARK SQUARE - CANOPY HERNANDO COUNTY\FINAL\COUNTY\23-035 PH1-VILLAGE A - COP



Match Line
See Cont. See Sheet C430

Match Line
See Cont. See Sheet C434

Legend:

- PROPERTY LINE
- RIGHT-OF-WAY (R.O.W.)
- PHASE LINE
- PERMETER SETBACK
- PERMETER FIRE/LANDSCAPE BUFFER
- LOT BUILDING SETBACK
- NORMAL WATER LEVEL
- EXISTING WETLAND
- EXISTING 20' VEGETATIVE WETLAND BUFFER

LOT NUMBER
23.5

PROP. MIN. FIN. FL. ELEV.
'A'

LOT GRADE TYPE
'A'

VERTICAL DATUM
NAVD 88

JOB NO.
23-05

DESIGNED BY:
RA

DRAWN BY:
SA

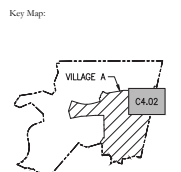
CHECKED BY:
RA

APPROVED BY:
JP

SCALE IN FEET
1" = 40'

Project Name:
CANOPY VILLAGE A

- NOTES:**
- LOTS WITH SIDE SETBACKS OR EASEMENTS OF LESS THAN SEVEN AND ONE-HALF (7.5) FEET BEING AN ENGINEERED SITE PLAN TO SHOW EFFECTIVE DRAINAGE THAT MANAGES IMPACT TO SURROUNDING PROPERTIES AND CONFORMS TO THE LOCAL DRAINAGE PATTERN. THIS SHALL SPECIFY WHETHER SWAB ON GRADE OR STORMWALL CONSTRUCTION ONLY APPLIES TO LOTS 6' ACRE AND SMALLER.
 - LOTS WITH A 5' SETBACK THAT EXCEEDS DIFFERENCE IN F.E. BETWEEN THEM SHALL BE DESIGNED WITH A STEM WALL OR RETAINING WALL TO BE CONSTRUCTED BY THE HOMEOWNER. LOTS WITH A 5' SETBACK THAT EXCEEDS DIFFERENCE IN F.E. BETWEEN THEM SHALL BE DESIGNED WITH A STEM WALL OR RETAINING WALL WITH A 5' SETBACK THAT EXCEEDS DIFFERENCE IN F.E. BETWEEN THEM SHALL BE DESIGNED WITH A STEM WALL OR RETAINING WALL. ALL STEM WALLS AND RETAINING WALLS ARE TO BE SHOWN ON THE SUBDIVISION PLANS. ONE APPLIES TO LOTS 6' ACRE AND SMALLER.
 - ALL LOTS BEING DEVELOPED SHALL HAVE PROVISIONS MADE TO RECEIVE STORMWATER FROM ADJACENT PROPERTIES SO THEY DO NOT IMPACT THEIR CONSTRUCTION TO PRELUDE EROSION AND FLOODING.
 - ALL LOTS GRADED, AS R/C SHALL HAVE THE REAR SWALES IN PLACE DURING THE CONSTRUCTION OF SUBDIVISION.
 - ALL LOTS ON SUBDIVISION PLANS SHALL SHOW FINISHED FLOOR ELEVATION (FFE) NOT PAD ELEVATIONS. TYPICAL PAD ELEVATION IS 0' BELOW FFE.
 - A FINAL DRAINAGE INSPECTION IS REQUIRED ON ALL RESIDENTIAL CONSTRUCTION TO VERIFY THE DRAINAGE WAS CONSTRUCTED PROPERLY.
 - ALL LOTS SHALL BE FINAL GRADED IN ACCORDANCE WITH APPROVED DRAINAGE PLANS. ALL BUILDING FACES SHALL BE PREPARED IN ACCORDANCE WITH THE COUNTY ACCEPTED GEO TECHNICAL REPORT AND RELATED GUIDELINES, WHICH REQUIRE THE REMOVAL OF ALL FILLING, CLAY, SANDS, AND/OR ORGANIC MATERIALS TO A MINIMUM FROST DEPTH BELOW THE BUILDING FOUNDATION. TEMPORARY GRASS COVER, SOD, OR SEED AND MULCH SHALL BE PLANTED AND MAINTAINED ON ALL DISTURBED AREAS PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY FOR THE HOME, AND PRIOR TO PASSING FINAL INSPECTION FOR THE SUBDIVISION.
 - REFER TO SHEET C430 FOR ADDITIONAL LOT GRADING NOTES.



Consultant:

6/17/2023	REVISION TO COUNTY
6/6/2023	RESPONSE TO FDOT COMMENTS
5/31/2023	RESPONSE TO COUNTY
4/30/2023	RESPONSE TO COUNTY & FDOT
3/13/2023	RESPONSE TO COUNTY & FDOT
1/26/2023	RESPONSE TO COUNTY COMMENTS
1/16/2023	RESPONSE TO COUNTY COMMENTS
1/15/2023	RESPONSE TO HERNANDO COUNTY
11/21/2022	SUBMIT TO FDOT
11/20/2022	SUBMIT TO SHEFFIELD
11/15/2022	SUBMIT TO HERNANDO COUNTY

NO. DATE DESCRIPTION

VERTICAL DATUM	NAVD 88
JOB NO.	23-05
DESIGNED BY:	RA
DRAWN BY:	SA
CHECKED BY:	RA
APPROVED BY:	JP
SCALE IN FEET	1" = 40'

Submittal To:
HERNANDO COUNTY, FL

Sheet Title:
GRADING & DRAINAGE PLAN

Sheet No.:
C4.02

Drainage Legend

Existing	Utility Type	Proposed
	STORM PIPE	
	STORM MANHOLE	
	P-1/P-2 INLET	
	MITERED END	
	DRAINAGE FLOW ARROW	

Grading Legend

Symbol	Description
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	PROPOSED SWALE/DITCH FLOW LINE ELEV.
	FLOW ARROW
	DRAINAGE CONVEYANCE SWALE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SIDEWALK TO BE CONSTRUCTED W/ INFRASTRUCTURE

Scale:

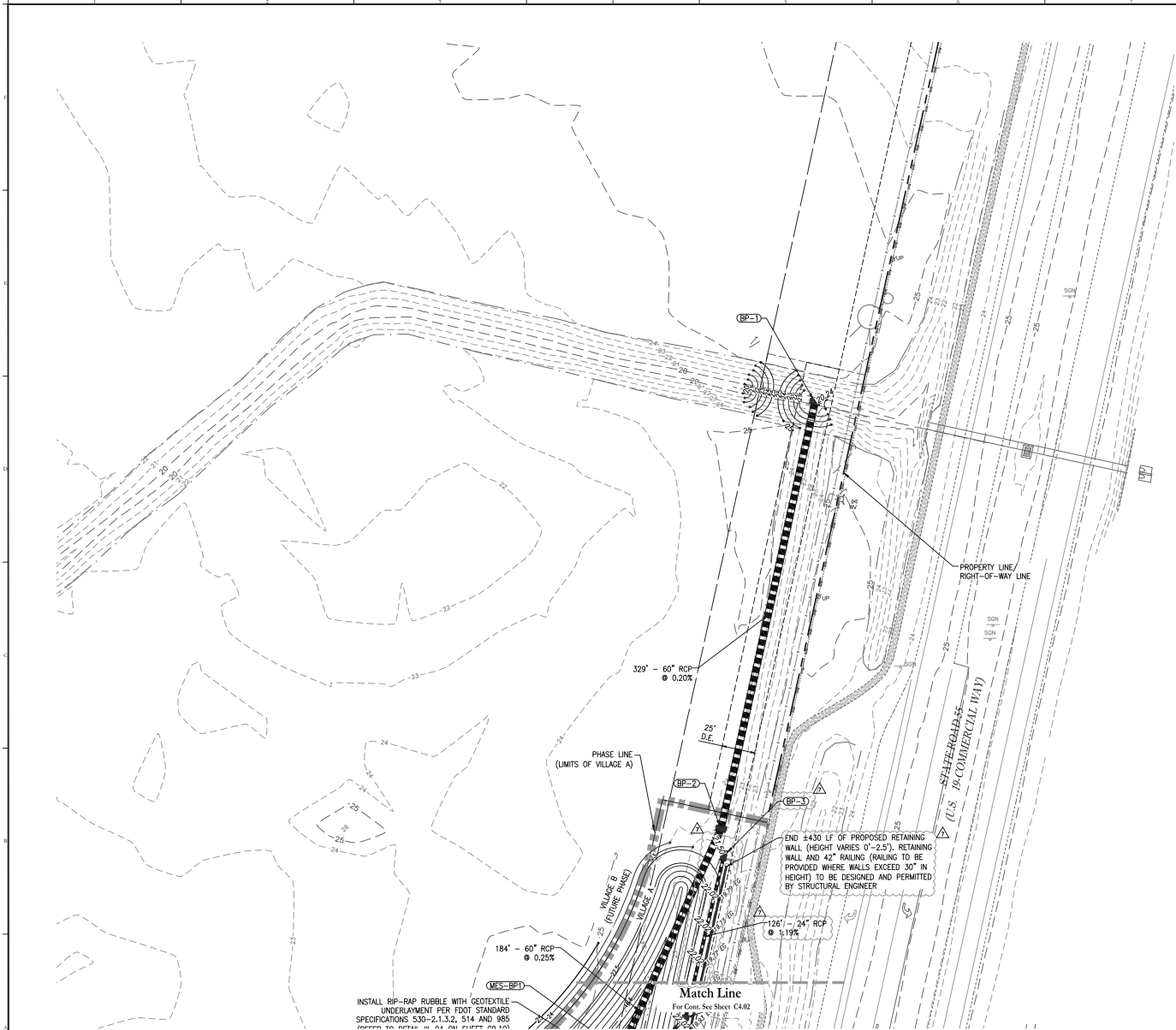
Rafael L. Rosemona

POULOS & BENNETT
A Peapack-Gannon company

Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
Tel. 407.467.2504 www.poulosandbennett.com
Eng. Bus. No. 28567

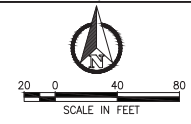
23-0523-03-035 PARK SQUARE - CANOPY HERNANDO COUNTY/FL/13-05 PH-02P

2:\2025\13-135 PARK SQUARE - CANOPY HERNANDO COUNTY\DRAWING\13-135 PH1-C4P



INSTALL RP-RAP RUBBLE WITH GEOTEXTILE UNDERLAYMENT PER FDOT STANDARD SPECIFICATIONS 530-2.1.3.2, 514 AND 985

Match Line
For Cont. See Sheet C4.02



Legend:

---	PROPERTY LINE
---	RIGHT-OF-WAY (R.O.W.)
---	PHASE LINE
---	PERMETER SETBACK
---	PERMETER FIRE/LANDSCAPE BUFFER
---	LOT BUILDING SETBACK
---	NORMAL WATER LEVEL
---	EXISTING WETLAND
---	EXISTING 20' VEGETATIVE WETLAND BUFFER

Drainage Legend

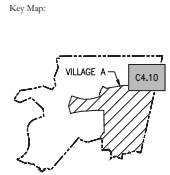
Existing	Utility Type	Proposed
---	STORM PIPE	---
○	STORM MANHOLE	○
○	P-1/P-2 INLET	○
⊞	MITERED END	⊞
→	DRAINAGE FLOW ARROW	→

Grading Legend

Symbol	Description
×	EXISTING SPOT GRADE
○	PROPOSED SPOT GRADE
○	PROPOSED SWALE/DITCH FLOW LINE ELEV.
→	FLOW ARROW
---	DRAINAGE CONVEYANCE SWALE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	SIDEWALK TO BE CONSTRUCTED W/ INFRASTRUCTURE

1	LOT NUMBER
23.5	PROP. MIN. FIN. FL. ELEV.
'A'	LOT GRADE TYPE

- LOTS AND LOT GRADING:**
- LOTS WITH SIDE SETBACKS OR EASEMENTS OF LESS THAN SEVEN AND ONE-HALF (7.5) FEET REQUIRE AN ENGINEERED SITE PLAN TO SHOW EFFECTIVE DRAINAGE THAT MINIMIZES IMPACT TO ADJACENT PROPERTIES AND CONFORMS TO THE LOCAL DRAINAGE PATTERN. THIS SHALL SPECIFY WHETHER SWAB ON GRADE OR STORMWATER CONSTRUCTION ONLY APPLIES TO LOTS 5' ACRES AND SMALLER.
 - LOTS WITH A 5' SETBACK THAT EXCEEDS 8" DIFFERENCE IN F.F.E. BETWEEN THEM SHALL BE DESIGNED WITH A STEM WALL OR RETAINING WALL TO BE CONSTRUCTED BY THE HOMEOWNER. LOTS WITH A 7.5' SETBACK THAT EXCEEDS 24" DIFFERENCE IN F.F.E. BETWEEN THEM SHALL BE DESIGNED WITH A STEM WALL OR RETAINING WALL WITH A 3" SETBACK THAT EXCEEDS 28" DIFFERENCE IN F.F.E. BETWEEN THEM SHALL BE DESIGNED WITH A STEM WALL OR RETAINING WALL. ALL STEM WALLS AND RETAINING WALLS ARE TO BE SPOON ON THE SUBDIVISION PLANS. ONLY APPLIES TO LOTS 5' ACRES AND SMALLER.
 - ALL LOTS BEING DEVELOPED SHALL HAVE PROVISIONS MADE TO RECEIVE STORMWATER FLOWS FROM OFFSITE PROPERTIES SO THEY DO NOT IMPACT THEIR CONSTRUCTION, TO INCLUDE EROSION AND SODDING.
 - ALL LOTS GRADED: AS B/C SHALL HAVE THE REAR SWALES IN PLACE DURING THE CONSTRUCTION OF SUBDIVISION.
 - ALL LOTS ON SUBDIVISION PLANS SHALL SHOW FINISHED FLOOR ELEVATION (FFE), NOT PAD ELEVATIONS. TYPICAL PAD ELEVATION IS 8" BELOW FFE.
 - A FINAL DRAINAGE INSPECTION IS REQUIRED ON ALL RESIDENTIAL CONSTRUCTION TO VERIFY THE DRAINAGE WAS CONSTRUCTED PROPERLY.
 - ALL LOTS SHALL BE FINAL GRADED IN ACCORDANCE WITH APPROVED DRAINAGE PLANS. ALL BUILDING PADS SHALL BE PREPARED IN ACCORDANCE WITH THE COUNTY ACCEPTED GEO-TECHNICAL REPORT AND RELATED GUIDELINES, WHICH REQUIRE THE REMOVAL OF ALL WEEDING CLUMP/BUCK AND/OR ORGANIC MATERIALS TO A MINIMUM 1000' FEET BELOW THE BUILDING FOUNDATION. TEMPORARY GRASSY COVER, SOIL, OR SEED AND MULCH, SHALL BE PLANTED AND MAINTAINED ON ALL DISTURBED AREAS PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY FOR THE HOME, AND PRIOR TO FINISHING FINAL INSPECTION OF THE SUBDIVISION.
 - REFER TO SHEET C4.04 FOR ADDITIONAL LOT GRADING NOTES.



Consultant:

7/17/2025	REVISION TO COUNTY
6/6/2025	RESPONSE TO FDOT COMMENTS
5/21/2025	RESPONSE TO COUNTY
4/30/2025	RESPONSE TO COUNTY & FDOT
3/12/2024	RESPONSE TO COUNTY & FDOT
2/06/2024	RESPONSE TO FDOT COMMENTS
1/06/2024	RESPONSE TO FDOT COMMENTS
05/21/2024	SUBMIT TO FDOT
01/30/2024	SUBMIT TO SFPWD
01/15/2024	SUBMIT TO HERNANDO COUNTY

NO. DATE: SUBMITTALS

NO. DATE: SUBMISSIVE REVISIONS

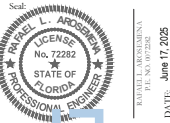
VERTICAL DATUM	NAVD 88
JOB NO.	23-035
DESIGNED BY:	RA
DRAWN BY:	SA
CHECKED BY:	RA
APPROVED BY:	JP
SCALE IN FEET:	1" = 40'

CANOPY VILLAGE A

Submittal To: **HERNANDO COUNTY, FL**

Sheet Title: **GRADING & DRAINAGE PLAN**

Sheet No: **C4.10**



Rafael L. Arossemora
Professional Engineer
No. 72282
State of Florida
DATE: June 17, 2025

POULOS & BENNETT
a Pape-Dawson company

Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
Tel: 407.467.2504 www.poulosandbennett.com
Eng. Bus. No. 28567

Storm Structure Table with columns: Structure Number, Structure Type, Top Elev., Inverts, Northing, Easting. Rows A101 to A116.

Storm Structure Table with columns: Structure Number, Structure Type, Top Elev., Inverts, Northing, Easting. Rows A117 to A132.

Storm Structure Table with columns: Structure Number, Structure Type, Top Elev., Inverts, Northing, Easting. Rows A133 to A201.

Storm Structure Table with columns: Structure Number, Structure Type, Top Elev., Inverts, Northing, Easting. Rows A202 to A217.

Storm Structure Table with columns: Structure Number, Structure Type, Top Elev., Inverts, Northing, Easting. Rows A218 to A233.

Storm Structure Table with columns: Structure Number, Structure Type, Top Elev., Inverts, Northing, Easting. Rows A234 to A249.

Storm Structure Table with columns: Structure Number, Structure Type, Top Elev., Inverts, Northing, Easting. Rows A250 to A258, DS-A1, DS-A2, DS-BRA, DS-01-INTERIM.

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Storm Structure Table with columns: Structure Number, Structure Type, Inverts, Northing, Easting. Rows MES-A101 to MES-A105.

Storm Structure Table with columns: Structure Number, Structure Type, Inverts, Northing, Easting. Rows MES-A201 to MES-A205.

Storm Structure Table with columns: Structure Number, Structure Type, Inverts, Northing, Easting. Rows MES-BP1 to MES-001.

Consultant:

- 7/6/2023 REVISION TO COUNTY
6/6/2023 RESPONSE TO FDOT COMMENTS
5/31/2023 RESPONSE TO COUNTY
4/30/2023 RESPONSE TO COUNTY & FDOT
3/11/2023 RESPONSE TO COUNTY & FDOT
1/6/2023 RESPONSE TO COUNTY COMMENTS
05/21/2024 SUBMIT TO FDOT
01/20/2024 SUBMIT TO SRFLUID
01/15/2024 SUBMIT TO HERNANDO COUNTY
NO. DATE: SUBMITTERS
SUBMISSIONS/REVISIONS

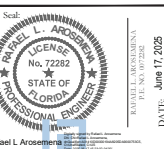
CANOPY VILLAGE A

Submitted To:
HERNANDO COUNTY, FL

STORM STRUCTURE TABLES

Sheet No:

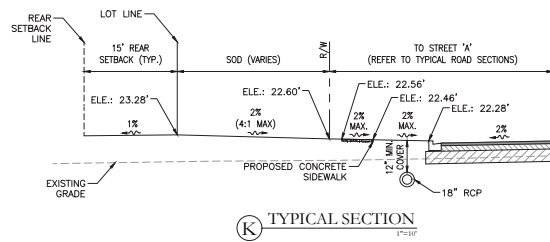
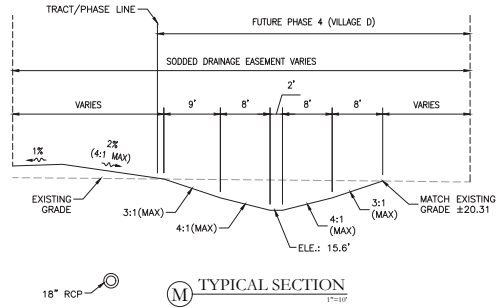
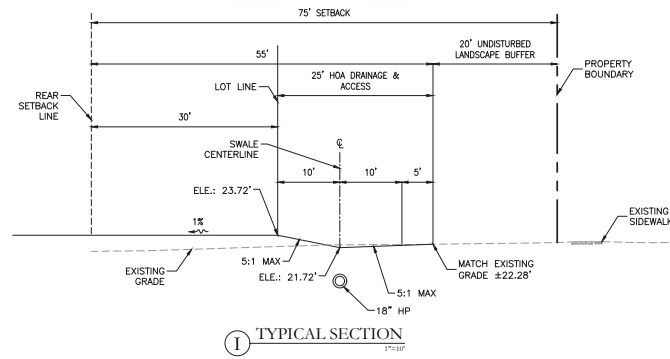
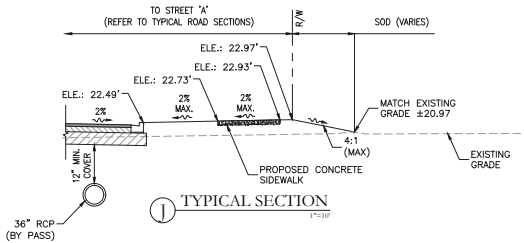
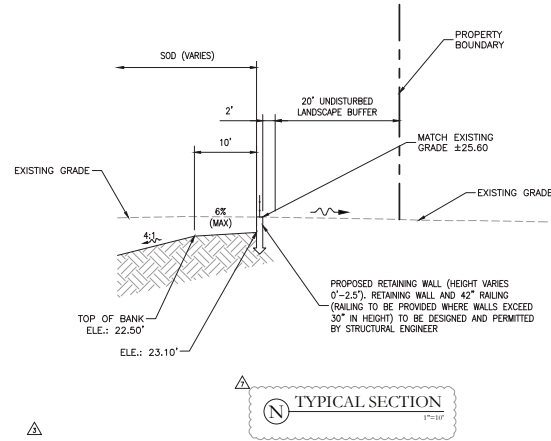
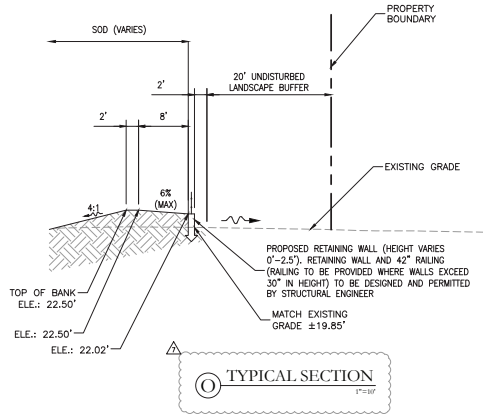
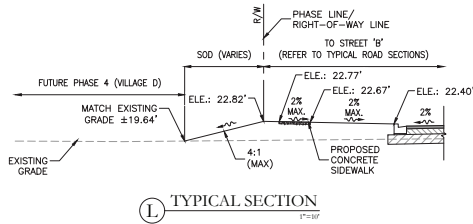
C4.11



Rafael L. Arsenau, P.E.
This seal has been automatically registered with the Board of Architecture, P.E. on 01/17/2025 with a 50% authorization rate.
Detailed scope of the authorized services is provided on separate sheet and shall not be the 50% authorization rate shall be voided on any other subsequent scope.

POULOS & BENNETT
A Peapack-Corpen Company

Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
Tel: 407.467.2204 www.poulosandbennett.com
Eng. Bus. No. 28567



Consultant:

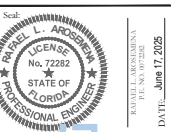
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2	6/6/2023	RESPONSE TO FDOT COMMENTS	RA
3	3/21/2023	RESPONSE TO COUNTY	RA
4	3/9/2023	RESPONSE TO COUNTY & FDOT	RA
5	11/26/2024	RESPONSE TO COUNTY & FDOT	RA
6	06/06/2024	RESPONSE STAFF COMMENTS	RA
7	06/27/2024	RESPONSE COUNTY COMMENTS	RA
8	05/21/2024	SUBMIT TO FDOT	RA
9	01/30/2024	SUBMIT TO STAFF	RA
10	01/15/2024	SUBMIT TO HERNANDO COUNTY	RA

Project Name: **CANOPY VILLAGE A**

Submittal To: **HERNANDO COUNTY, FL**

Sheet Title: **GRADING SECTIONS**

Sheet No: **C4.22**



Rafael L. Arsenas
Professional Engineer
No. 72282
State of Florida
DATE: June 17, 2025

POULOS & BENNETT
a Pape-Dawson company

Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
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Eng. Bus. No. 28567

1	6/17/2023	REVISION TO COUNTY
2	6/6/2023	RESPONSE TO FDOT COMMENTS
3	3/21/2023	RESPONSE TO COUNTY
4	3/9/2023	RESPONSE TO COUNTY & FDOT
5	11/26/2024	RESPONSE TO COUNTY & FDOT
6	10/6/2024	RESPONSE STAFF COMMENTS
7	10/27/2024	RESPONSE COUNTY COMMENTS
8	05/21/2024	SUBMIT TO FDOT
9	01/30/2024	SUBMIT TO STAFF
10	01/15/2024	SUBMIT TO HERNANDO COUNTY
NO.	DATE	DESCRIPTION
SUBMISSIONS/REVISIONS		
VERTICAL DATUM	NAVD 88	
JOB NO.	23-035	
DESIGNED BY:	RA	
DRAWN BY:	SA	
CHECKED BY:	RA	
APPROVED BY:	JP	
SCALE IN FEET:	1"=2'	

Project Name:
CANOPY VILLAGE A

Submittal To:
HERNANDO COUNTY, FL

Sheet Title:
CONTROL STRUCTURE DETAIL

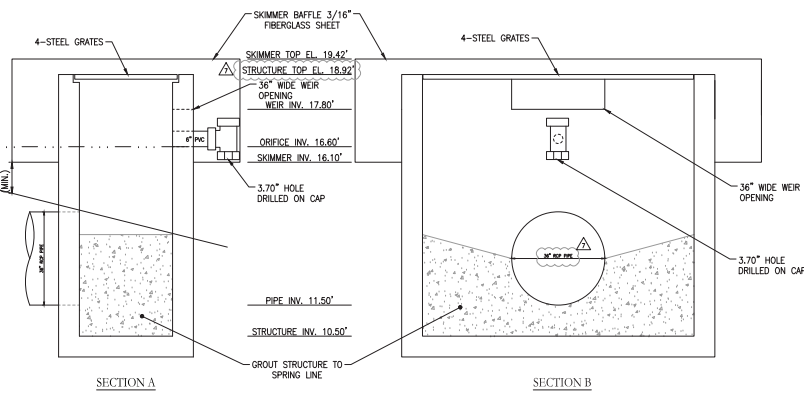
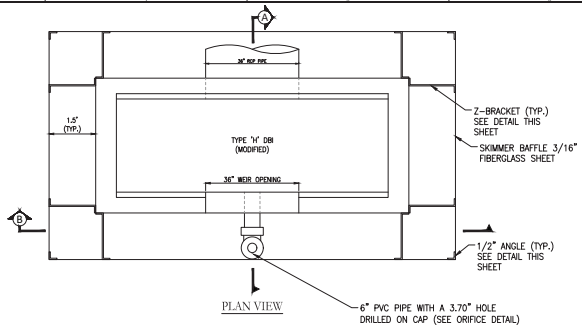
Sheet No:
C4.31



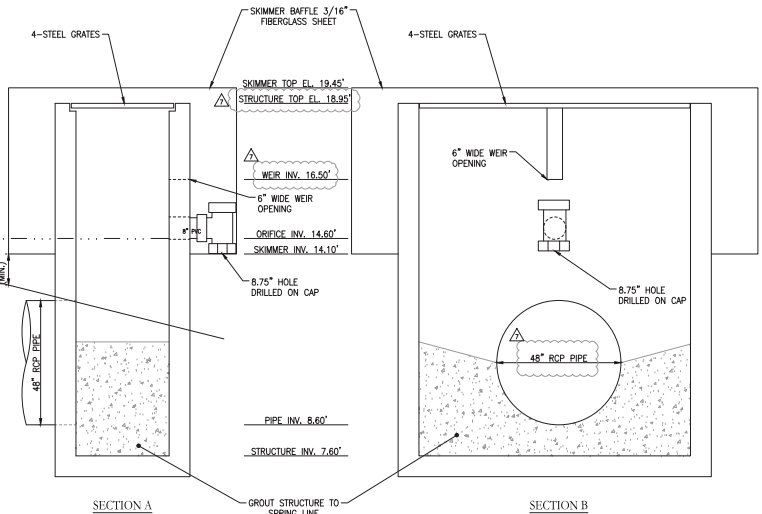
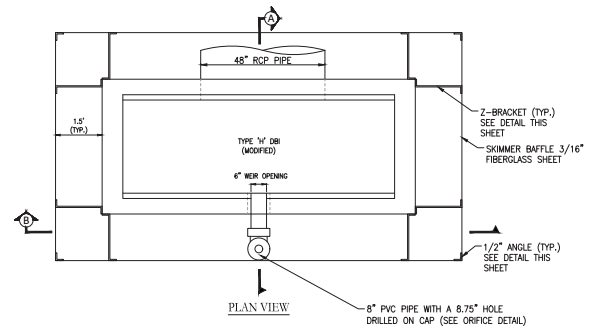
Rafael L. Arsemena
Professional Engineer

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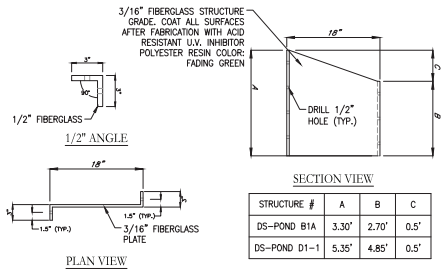
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DROP STRUCTURE (DS-POND B1A)



DROP STRUCTURE (DS-POND D1-INTERIM)

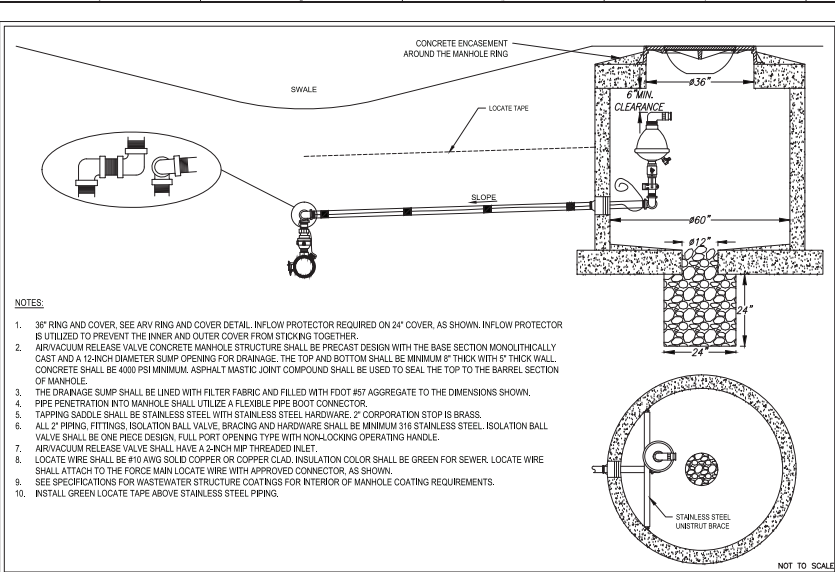


- NOTES:**
1. MOUNT BRACKETS TO SKIMMERS W/ 1/4" STAINLESS STEEL BOLTS.
 2. MOUNT BRACKETS TO STRUCTURES W/ 3/8" x 3 1/2" STAINLESS STEEL WEDGE ANCHORS.
 3. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

MOUNTING Z-BRACKET DETAIL

- NOTES:**
1. MOUNT BRACKETS TO SKIMMER W/ 1/4" STAINLESS STEEL BOLTS.
 2. MOUNT BRACKETS TO STRUCTURES W/ 3/8" x 3 1/2" STAINLESS STEEL WEDGE ANCHORS.
 3. A BENCH MARK IS TO BE SET ON TOP OF THE OUTLET STRUCTURES.
 4. SKIMMER TO BE MOUNTED TO D.B.I. IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS USING Z-BRACKETS.
 5. THE CONTROL STRUCTURES ARE TO BE LOCATED IN THE POND PER THE CONTROL STRUCTURE DETAIL.
 6. ALL BOX STRUCTURES ARE TO INCLUDE GRATES AND CHAINS.

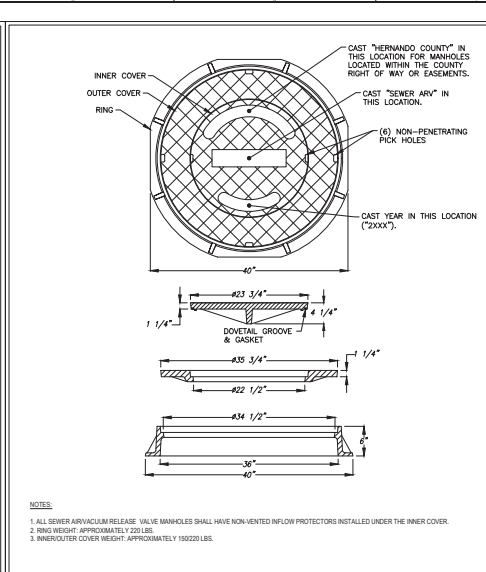
Z:\2023\03-035 PARK SOURCE - CANOPY HERNANDO CD\DWG\FINAL\COUNTY\125-035 PH1-CSD



- NOTES:**
- 36" RING AND COVER. SEE ARV AND COVER DETAIL. INFLOW PROTECTOR REQUIRED ON 24" COVER, AS SHOWN. INFLOW PROTECTOR IS UTILIZED TO PREVENT THE INNER AND OUTER COVER FROM STICKING TOGETHER.
 - ARV/CUMULUM RELEASE VALVE CONCRETE MANHOLE STRUCTURE SHALL BE PRECAST DESIGN WITH THE BASE SECTION MONOLITHICALLY CAST AND A 12-INCH DIAMETER SUMP OPENING FOR DRAINAGE. THE TOP AND BOTTOM SHALL BE MINIMUM 8" THICK WITH 5" THICK WALL. CONCRETE SHALL BE 4000 PSI MINIMUM ASPHALT MASTIC JOINT COMPOUND SHALL BE USED TO SEAL THE TOP TO THE BARREL SECTION OF MANHOLE.
 - THE DRAINAGE SUMP SHALL BE LINED WITH FILTER FABRIC AND FILLED WITH FOOT #57 AGGREGATE TO THE DIMENSIONS SHOWN.
 - PIPE PENETRATION INTO MANHOLE SHALL UTILIZE A FLEXIBLE PIPE BOOT CONNECTOR.
 - TAPPING SADDLE SHALL BE STAINLESS STEEL, HARDWARE 2" COPPERATION STOP IS BRASS.
 - ALL 2" PIPING, FITTINGS, ISOLATION BALL VALVE, BRACING AND HARDWARE SHALL BE MINIMUM 316 STAINLESS STEEL. ISOLATION BALL VALVE SHALL BE ONE PIECE DESIGN, FULL PORT OPENING TYPE WITH NON-OPERATING HANDLE.
 - ARV/CUMULUM RELEASE VALVE SHALL HAVE A 2 INCH NPT THREADED INLET.
 - LOCATE WIRE SHALL BE #10 AWG SOLID COPPER OR COPPER CLAD. INSULATION COLOR SHALL BE GREEN FOR SEWER, LOCATE WIRE SHALL ATTACH TO THE FORCE MAIN LOCATE WIRE WITH APPROVED CONNECTOR, AS SHOWN.
 - SEE SPECIFICATIONS FOR WASTEWATER STRUCTURE COATINGS FOR INTERIOR OF MANHOLE COATING REQUIREMENTS.
 - INSTALL GREEN LOCATE TAPE ABOVE STAINLESS STEEL PIPING.

HERNANDO COUNTY UTILITIES DEPARTMENT
 15365 CORTEZ BOULEVARD
 BROOKSVILLE, FLORIDA 34613
 OFFICE: (352) 754-4037 FAX: (352) 754-4485

OFFSET ARV MANHOLE
 DATE: JUNE 2023
 DETAIL: S-08



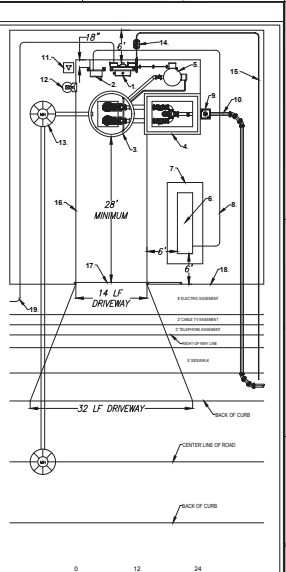
HERNANDO COUNTY UTILITIES DEPARTMENT
 15365 CORTEZ BOULEVARD
 BROOKSVILLE, FLORIDA 34613
 OFFICE: (352) 754-4037 FAX: (352) 754-4485

ARV RING AND COVER
 DATE: JUNE 2023
 DETAIL: S-09



HERNANDO COUNTY UTILITIES DEPARTMENT
 15365 CORTEZ BOULEVARD
 BROOKSVILLE, FLORIDA 34613
 OFFICE: (352) 754-4037 FAX: (352) 754-4485

DUPLEX PUMP STATION LAYOUT
 DATE: JUNE 2023
 DETAIL: S-10



HERNANDO COUNTY UTILITIES DEPARTMENT
 15365 CORTEZ BOULEVARD
 BROOKSVILLE, FLORIDA 34613
 OFFICE: (352) 754-4037 FAX: (352) 754-4485

DUPLEX PUMP STATION CONTROL PANEL
 39 HP OR LESS
 DATE: JUNE 2023
 DETAIL: S-13

Consultant:

7/01/2023	REVISION TO COUNTY
6/01/2023	RESPONSE TO FDOT COMMENTS
5/01/2023	RESPONSE TO COUNTY
4/30/2023	RESPONSE TO COUNTY & FDOT
11/20/2022	RESPONSE TO COUNTY & FDOT
08/16/2024	RESPONSE TO FDOT COMMENTS
06/27/2024	RESPONSE TO COUNTY COMMENTS
05/21/2024	SUBMIT TO FDOT
01/20/2024	SUBMIT TO FDOT
01/25/2024	SUBMIT TO HERNANDO COUNTY
NO DATE	DESIGNER'S
NO DATE	SCHEMATIC REVISIONS

Project Name:
CANOPY VILLAGE A

Submitted To:

HERNANDO COUNTY, FL

Sheet Title:

HERNANDO COUNTY WATER & SEWER DETAILS

Sheet No.:

C9.16

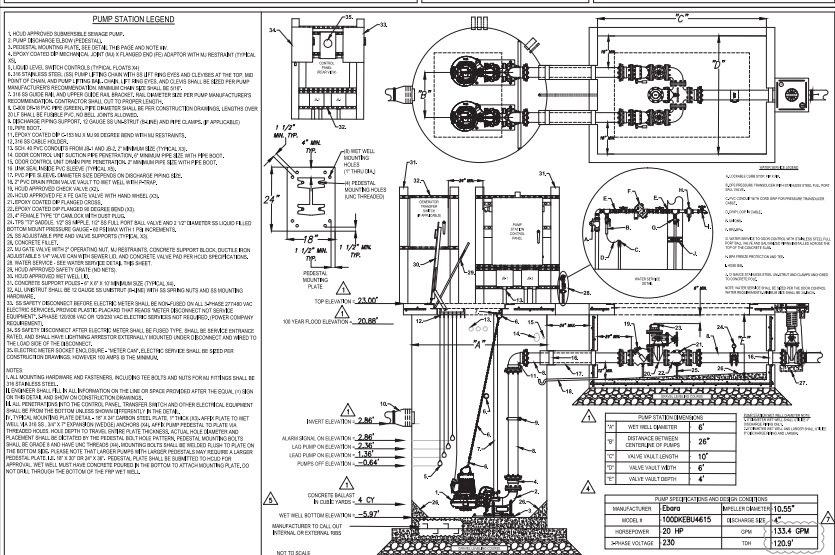
Scale:

AS SHOWN

DATE: JUN 17, 2025

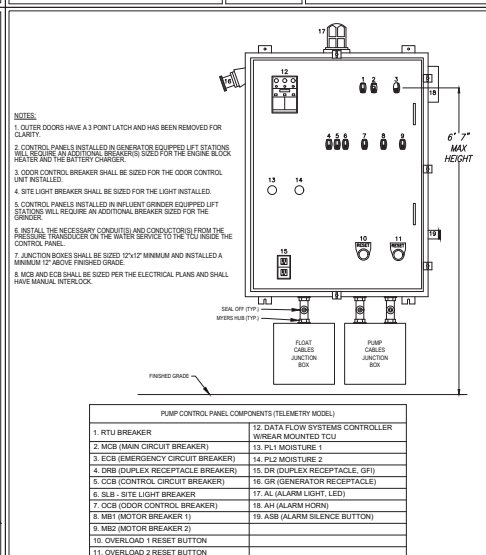
POULOS & BENNETT
 a Page- Dawson company

Poulos & Bennett, LLC
 2042 E. Livingston St., Orlando, FL 32803
 Tel: 407-487-2704 www.poulosandbennett.com
 Lic. Bus. No. 28567



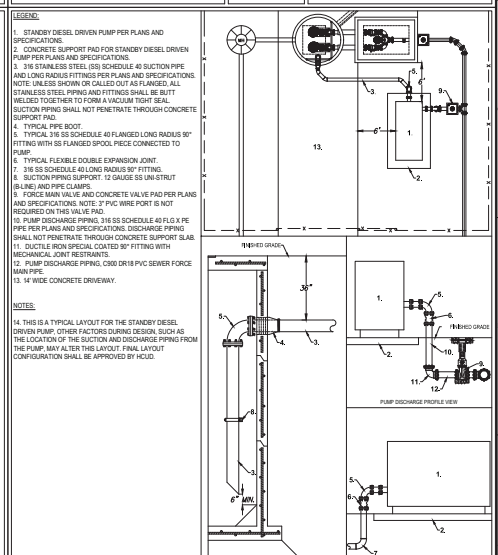
HERNANDO COUNTY UTILITIES DEPARTMENT
 15365 CORTEZ BOULEVARD
 BROOKSVILLE, FLORIDA 34613
 OFFICE: (352) 754-4037 FAX: (352) 754-4485

DUPLEX PUMP STATION WITH 39 HP WET WELL
 DATE: JUNE 2023
 DETAIL: S-12



HERNANDO COUNTY UTILITIES DEPARTMENT
 15365 CORTEZ BOULEVARD
 BROOKSVILLE, FLORIDA 34613
 OFFICE: (352) 754-4037 FAX: (352) 754-4485

DUPLEX PUMP STATION CONTROL PANEL
 39 HP OR LESS
 DATE: JUNE 2023
 DETAIL: S-13



HERNANDO COUNTY UTILITIES DEPARTMENT
 15365 CORTEZ BOULEVARD
 BROOKSVILLE, FLORIDA 34613
 OFFICE: (352) 754-4037 FAX: (352) 754-4485

STANDBY DIESEL DRIVEN PUMP
 DATE: JUNE 2023
 DETAIL: S-22